



## **PLANNING COMMISSION MEETING**

**January 12, 2026 – 7:00 p.m.**

**City Council Chambers**

**23600 Liberty Street**

**Farmington, MI 48335**

---

### **AGENDA**

- 1. ROLL CALL**
- 2. APPROVAL OF ITEMS ON CONSENT AGENDA**
  - A. December 8, 2025 Minutes**
- 3. APPROVAL OF REGULAR AGENDA**
- 4. UNFINISHED BUSINESS**
  - A. None**
- 5. NEW BUSINESS**
  - A. FAÇADE REVIEW – DOWNTOWN OFFICES, 33211 GRAND RIVER**
  - B. SPECIAL LAND USE PUBLIC HEARING – MAKE A CHANGE WELLNESS, 23629 LIBERTY STREET**
  - C. SPECIAL LAND USE – MAKE A CHANGE WELLNESS, 23629 LIBERTY STREET**
  - D. SITE PLAN APPROVAL – FIRST BAPTIST CHURCH OF FARMINGTON, 33400 SHIAWASSEE**
  - E. PRESENTATION OF MASTER PLAN, DOWNTOWN MASTER PLAN, AND PARKS AND RECREATION MASTER PLAN**
  - F. SCHEDULING OF PUBLIC HEARING FOR MASTER PLAN AND DOWNTOWN MASTER PLAN**
  - G. PUBLIC HEARING - 2025 PARKS AND RECREATION MASTER PLAN**
  - H. 2025 PARKS AND RECREATION MASTER PLAN REVIEW AND RECOMMENDATION**
- 6. UPDATE - CURRENT DEVELOPMENT PROJECTS**
- 7. PUBLIC COMMENT**
- 8. PLANNING COMMISSION COMMENTS**



## **9. ADJOURNMENT**

*The City will follow its normal procedures for accommodation of persons with disabilities. Those individuals needing accommodations for effective participation in this meeting should contact the City Clerk (248) 474-5500, ext. 2218 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*



FARMINGTON PLANNING COMMISSION PROCEEDINGS  
23600 Liberty Street  
Farmington, Michigan  
December 8, 2025

Chairperson Perrot called the meeting to order in Council Chambers, 23600 Liberty Street, Farmington, Michigan, at 7:00 p.m. on Monday, December 8, 2025.

**ROLL CALL**

Present: Crutcher, Gray, Mantey, Perrot and Westendorf  
Absent: Kmetzo, Majoros

A quorum of the Commission was present.

**OTHER OFFICIALS PRESENT:** Chris Weber, Assistant City Manager; Beth Saarella, City Attorney Brian Belesky, Director of Media, Brian Golden, Director of Media, Audrianna Jordan, OHM Advisors, Jennifer Morris, OHM Advisors Austin Downe, OHM Advisors, Bonnie Murphy, Recording Secretary.

**APPROVAL OF ITEMS ON CONSENT AGENDA**

**A. November 10, 2025 minutes**

MOTION by Crutcher, seconded by Westendorf, to approve the items on the Consent Agenda.

MOTION carried, all ayes.

**APPROVAL OF ITEMS ON REGULAR AGENDA**

MOTION by Crutcher, seconded by Westendorf, to approve the items on the Regular Agenda.

MOTION carried, all ayes.

**UNFINISHED BUSINESS**

None heard.

**NEW BUSINESS**

**A. 33431 Grand River Parking Waiver Request**

Chairperson Perrot introduced this item and turned it over to staff, Assistant City Weber stated that the developer entered into a purchasing agreement with the current owner of 33431 Grand River Avenue and is considering converting the upper part of the building to four to five apartments. . The structure is built lot line to lot line and there's no parking available on site. The Applicant is seeking a parking waiver from the Planning



Commission for the proposed new apartments under Section 35-104.b(3). Because the regulations of this section of the are intended to encourage pedestrian/traffic friendly design and compact mixed used development that requires less reliance on automobiles. On site parking required under Article 14 may be waived under the following conditions: A.. The site is located within 500 feet of other parking facilities intended for public use such as a municipal parking lot, parking structure or on street parking that provides adequate parking spaces to serve the proposed use, and B: failure to provide onsite parking shall be deemed to constitute an acknowledgment and acceptance of the benefits of onsite parking standards such that if the City establishes a Special Assessment District to fund the construction, operation and maintenance of public parking, the property owner agrees to become part of such district and further agrees payment of assessment in lieu of the provided onsite parking .The City may require written acknowledgement of the site benefits provided. I would invite the developer to come up and if you have any questions the Planning Commission may have with regard to this project.

Steve Toth, 810 Pinehurst, Northville, MI came to the podium and stated they are excited for this project, taking the old Focal Point photo studio, making the downstairs a retail/commercial and then transferring the upper which is about 4,500 square feet and putting in some custom apartments. I think it will be a good project for the City and obviously for the heart of the downtown area. But again, one of the biggest issues we have is parking so I guess per City code if we have apartments, we need ten spots, is that correct and that is what we're asking for. I don't need ten dedicated spots but we need ten spots where our tenants can park in the evening and in the day go about their business, I need ten spots and that is what we're asking from you guys tonight.

Weber asked if you have any questions about the development itself, you can ask the developer, otherwise I would ask Audrianna to talk about the letter we put in the packet and talks about considerations for the Planning Commission in terms of granting that waiver.

Audrianna Jordan, OHM Advisors, stated that the property requires about 25 spaces. What the applicant is proposing is using the first floor for either commercial or office development and then put up to five apartments on the second floor. And if that is the case we would be looking at, the Applicant mentioned ten spaces on the second floor under the current provisions of the Zoning Ordinance. She stated that that is the summary.

Further discussion was held concerning parking.



MOTION by Crutcher, supported by Mantey that the parking waiver request for 33431 Grand River Avenue subject to the first floor being used for commercial retail and/or service office business because the proposed use can be adequately supported.  
Motion carried, all ayes

#### B. Presentation of Farmington Parks and Recreation Master Plan

Chairperson Perrot introduced this item and turned it over to staff.

Jennifer Morris, OHM Advisors , stated it has been a busy year working on three Master Plans simultaneously.to be presented at the Public Hearing scheduled for the 1-12-26 meeting.

She said they kicked this off Farmington Forward, there were many opportunities for data collection, feedback from the Steering Committee, and the first plan has a 43-day waiting period and then if it's adopted by Planning Commission and then turned over to City Council for approval.

Rachel Bush, OHM Advisors, gave an overview of the project. She stated that they started with feedback from the Steering Committee and finalized the draft plan and started the adoption process.

She stated they started by reviewing prior versions and built on that through demographics. Facilities have been added and new parks. Sixty percent of residents live within a ten minute walk to park. Level of service analysis which is used to form the foundation for recommendation through demographics, who lives in Farmington now and in the future. There are shifts in population but Farmington is stable.

She defined the two open houses that were held: OPEN HOUSE 1 – gathered info – provided list of parks, what's missing, feedback further affirmed connectivity - shade picnic areas – walkability.  
Initial comments used to form preliminary recommendations.

OPEN HOUSE 2 – made recommendations for 5 parks and presented to community in October and asked them to tell us what they're most excited about. Ultimately what we heard was activate parks programing, events, fitness amenities, prioritizing greenspaces, and making parks and civic areas more inviting where you are adding equipment making sure it is inclusive and



accessible for all ages and just to make parks more functional and practical and improve and enhance underused public spaces with landscape and public art.

So that is the structure of the Parks and Recs Plan and what we've talked about so far focused on Chapters 1 through 5 and we'll next go into Chapter 6.

We developed the goal statement for the Parks and Recreation Plan and that came from what we heard from community engagement.

From the community engagement and the Steering Committee we developed these five objective statements which support the accomplishments of our goal statements and that is broken down as active items to implement each of these objectives.

The most exciting part is the park specific plans, we developed a series of recommendations for a handful of the parks and all of the parks are in the packet in alphabetical order so I'm going to move through them. We understand that the Civic Theater is beloved by the community and ultimately our recommendation is to start doing some community engagement on facility improvements and concept design.

Drake Park – accessibility improvements, potentially converting a ball field into a cricket pitch, they're exploring that.

Flanders Park – there's an opportunity to increase shade throughout the park, install lighting that is not intrusive to surrounding neighborhood but helps create more safety and more inviting and also although the equipment is relatively new, it could be replaced with shredded rubber in the play area.

Gazebo Park – this one is really important because as we were talking with the Steering Committee, a new vision for this area has been re-imagined. So you'll get a sneak peek of this in the Downtown Master Plan.

Riley Park – we're looking for electrical upgrades, exploring the addition of restrooms to Riley Park, winterizing it through the addition of those rolling black garage doors on the shed. We also heard about some accessibility and safety concerns and could we improve design and circulation be considered there as well as covered parking area that could function as a more permanent shed during events. So, parking wouldn't change, it would be a covered parking area that is accessible to vendors during events.



Promenade Park – the main action here is to determine a calendar of events.

Shiawassee Park is truly the gem of Farmington and recommendations are to connect the park to downtown which is an ongoing effort as well as through community engagement and developing a Master Plan for Shiawassee Park.

For the Warner Mansion, their main objective here is to explore the feasibility of this concept plan which includes parking lot improvements, interior and exterior improvements, and in addition to the existing house the DDA expects gazebo improvements and courtyard improvements.

Jennifer Morris stated after this process we will start the implementation and adoption, and the thirty day review period. The Notice will be published Wednesday, citizens are encouraged to provide comments on website and informed of opportunity on boards. The Public Hearing will be held at the January 12, 2025 Planning Commission and the Master Plan will be ready to go to Council and submitted to DNR by February 1<sup>st</sup>.

Perrot asked about accessibility, how is City of Farmington doing versus like communities and Morris replied Farmington is unique, it has a historic mansion, owned and operated theater visit downtown park and Shiawassee Park.

C. Consideration of Resolution to Schedule Public Hearing for 2025  
Parks and Recreation Master Plan

MOTION by Westendorf supported Crutcher to approve to schedule the Public Hearing for the 2025 Parks and Recreation Master Plan for the January 12, 2026 Planning Commission meeting.

Motion carried, all ayes.

D. 2026 Schedule of Planning Commission Meeting

Weber stated that the Planning Commission meetings are held on the 2<sup>nd</sup> Monday of month at 7:00 p.m. .

MOTION by Westendorf, supported by Crutcher to approve the 2026 Schedule of Planning Commission Meetings.

Motion carried, all ayes.



### **UPDATE CURRENT DEVELOPMENT PROJECTS**

Weber stated at the prior meeting we were going to set a Public Hearing for the Parking Ordinance but it will be back in February.

Legion Square preconstruction meeting today ,Work will start mid January

Hillside Townes – twelve units have been sold and some residents have moved in.

Drakeshire new meat store featuring Halal Meat.

Sips new sports bar – next to Mama Eats

Rose Best opened on Orchard Lake

Back Nine opened which is a golf simulator and open 24/7.

### **PUBLIC COMMENT**

None heard.

### **PUBLIC COMMENT**

None heard.

### **PLANNING COMMISSION COMMENT**

None heard.

### **ADJOURNMENT**

MOTION by Mantey , supported by Gray to adjourn the meeting.  
Motion carried, all ayes.

The meeting was adjourned at 8:04 p.m.

Respectfully submitted,

---

Secretary



<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission Date:</b> January 12, 2026	<b>Reference Number</b>
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Description</b> Proposed Building Façade Modification – Downtown Offices, 33211 Grand River		
<p><b>Motion:</b>  Motion to approve the proposed façade modifications for Downtown Offices, 33211 Grand River because they meet the requirements of Section 35-104 of the Zoning Ordinance subject to the conditions described in the Façade Review Letter from OHM dated January 6, 2026.</p> <p>OR</p> <p>Move to approve the proposed façade modifications for Downtown Offices, 33211 Grand River because they meet the requirements of Section 35-104 of the Zoning Ordinance subject to the conditions described in the Façade Review Letter from OHM dated January 6, 2026 as well as the following modifications_____.</p> <p>OR</p> <p>Move to deny the proposed façade modifications for Downtown Offices, 33211 Grand River because they do not meet the requirements of Section 35-104 of the Zoning Ordinance</p>		
<p><b>Background</b></p> <p>This item is a review of a proposed Building Façade Modification to the existing building located at 33211 Grand River. The proposed modification includes renovation of the north façade, modernizing the building’s look without expanding the footprint, replacing dated elements, and improving curb appeal in order to support future tenant recruitment.</p> <p>Site Plan Review is required under Section 35-162 Building renovations, modifications to building facade or other architectural features that do not result in additions to floor area or increased building height. Building facades in the Central Business District are reviewed for compliance with the standards set forth in Section 35-104 of the Zoning Ordinance.</p> <p>The applicant, Downtown Offices, has submitted plans prepared by NCS Team for the proposed Building Façade Modification.</p> <p>The applicant will be at the January 12, 2026 meeting to review the proposed Building Façade Modification with the Commission.</p> <p>Attached are the Nonresidential Building Design Standards to be considered by the Planning</p>		



Commission.

Attachments:

- Plan Review Letter Dated January 6, 2026
- Site Plan, Elevation Plan, and Photometric Plan
- DDA Design Committee 12.18.25 Draft Minutes
- Zoning Ordinance Section 35-104 – Central Business District—Nonresidential and Mixed-Use Development Requirements





# City of Farmington Façade Review

**Date:** January 6, 2026

**To:** Chris Weber, Assistant City Manager  
**cc:** Jennifer Morris, Principal, OHM  
**From:** Kristen Hatfield, Senior Planner, OHM

**Re:** 33211 Grand River Avenue, Farmington, MI 48336

**Subject:** 33211 Grand River Avenue (Façade Review)  
**Location:** 33211 Grand River Avenue  
**Parcel ID:** 20-23-27-155-046  
**Zoning:** CBD, Central District  
**Applicant(s) and Owner(s):** Downtown Offices, LLC

At the City of Farmington's request, OHM Advisors has performed a review of the above-referenced façade improvements and offers the following comments and findings for your consideration. This review is based on the revised site plan dated December 22, 2025.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to City site plan and ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation. Key review items in this letter are underlined for the benefit of the applicant.

## **SITE DESCRIPTION**

The site consists of one (1) parcel and is located on the south side of Grand River Avenue, east of Farmington Roads and west of Grove Street. Online assessing states that 31030 Grand River Avenue is approximately 24,654 square feet with a frontage on Grand River Avenue of 130'. The site is home to Farmington Insurance Agency (formerly Clappison and Conroy), an insurance office. The site plan application indicates that the owner of the site is "Downtown Offices" which is confirmed by online assessing records.

## **EXHIBIT A: AERIAL VIEW OF SITE**





**EXHIBIT B: STREET VIEW (EXISTING)**



## REVIEW COMMENTS

1. **Zoning and Use (§35-102).** The site is in the CBD, Central Business District and is bordered on all sides by parcels in the CBD District. "Professional offices and service establishments" are permitted by right in the CBD District; an office for an insurance agency would be classified under this designation.
2. **Nonresidential and Mixed-Use Development Requirements in the CBD District (§35-104).** Any development or modification to a building in the CBD that requires Planning Commission approval under *Article 13, Site Plan Review*, shall be first reviewed by the DDA Design Committee prior to being placed on the agenda for final site plan approval by the Planning Commission. The DDA Design Committee shall review the site plan and building architecture for compliance with the requirements of this section and provide a recommendation to the Planning Commission. We note that the City of Farmington Downtown Development Authority Design Committee recommended approval of the façade improvements, conditioned upon the applicant providing further information at their December 17, 2025, meeting. The applicant submitted a revised site plan dated December 22, 2025, which contains the requested information.





- a. **Area and Bulk Requirements.** As this is an existing structure which is not being expanded, area and bulk requirements are not included as part of this review.
- b. **Pedestrian-Oriented Design Requirements.** The site appears to be designed to promote safe and effective pedestrian and transit-oriented circulation on-site.
- c. **Building Design.**
  - i. **Purpose.** The façade improvements as presented appear to meet the purpose of the ordinance.
  - ii. **Main Entrance.** The elevations show entrance(s) that are located on the Grand River Avenue street front. Additionally, entrances have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas. We note that while the ordinance requires a front entranceway that is inset a minimum of three (3) feet from the front building wall, this is an existing nonconforming structure.
  - iii. **Roofs.** The applicant proposes to demolish portions of the existing roof and construct one that appears to be flat from the street with a small parapet, bringing it into conformance with the ordinance. We note that all rooftop-mounted equipment should be screened from view on all sides of the building; if any rooftop-mounted equipment is proposed it be shown on the site plan, along with method of screening.
  - iv. **Awnings.** The awnings as detailed on the elevations meet the standards of the ordinance. If any signage is proposed for the awnings, it must conform to the ordinance and the applicant will be required to obtain any necessary permits.
  - v. **Required Window Area and Exterior Finishes.**
    1. **Windows.** Facades facing a public street or sidewalk shall include windows that equal seventy (70) percent of the wall area measured between two (2) feet and eight (8) feet above grade. The bottom of any window may not be more than four (4) feet above grade. The façade as presented meets the standards of the ordinance. We note that required window areas shall consist of clear glass windows, clear glass doors and clear glass panels, and may not be covered or blocked with the back of shelving units
    2. **Exterior Finish Materials.**

Required	Proposed	Comment
Wall shall be constructed of at least seventy-five (75) percent modular brick or stone.	Eight-three (83) percent of the proposed façade is brick.	<b>Meets the intent of the ordinance.</b>
Up to twenty-five (25) percent of the remaining wall area may include other materials.	Seventeen (17) percent of the proposed façade is EFIS, an accent material permitted by the ordinance.	<b>Meets the intent of the ordinance.</b>

The EFIS panels will be painted SW 7006 “Pure White”, and the existing brick will be painted SW 7018 “Dovetail”.

3. **Exterior Lighting (§35-48).** The applicant provided a photometric plan as part of the site plan submittal. The intensity of lighting on the site, as well as the proposed fixtures meet the intent of the ordinance.
4. **Site Plan Submittal Requirements (§35-165).** The applicant has provided a description of exterior building materials including paint colors. Material samples should be presented to the Planning Commission for their review and approval.
5. **Comments from Other Departments.** All applicable City departments and consultants should review the site plan and identify any remaining issues.





## RECOMMENDATION

Planning recommends approval of the site plan subject to the following conditions:

1. **Nonresidential and Mixed-Use Development Requirements in the CBD District (§35-104).** If any rooftop-mounted equipment is proposed, it should be shown on the site plan along with method of screening.
2. **Nonresidential and Mixed-Use Development Requirements in the CBD District (§35-104).** All required window areas shall consist of clear glass windows, clear glass doors and clear glass panels.
3. **Site Plan Submittal Requirements (§35-165).** The applicant should provide material samples to the Planning Commission for their review and approval.

If you have any questions, please don't hesitate to contact me at (810) 215-0993.

Thank you,

Kristen Hatfield, AICP  
Senior Planner



AREA OF CONSTRUCTION



LIST OF DRAWINGS

- 1 SITE PLAN
- S-1 ARCHITECTURAL SITE PLAN, LOCATION MAP
- A-1 DEMOLITION FLOOR PLAN, PARTITION FLOOR PLAN
- A-2 DEMOLITION ELEVATIONS
- A-3 PROPOSED ELEVATIONS
- A-4 3D RENDERINGS

LEGAL DESCRIPTION

THE LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

T1N, R9E, SEC 27 LAPHAMS ADD PART OF LOT 33 BEGINNING AT SOUTHEAST CORNER OF LOT 41, BLOCK 1 OF 'DAVIS ADD', THENCE SOUTH 57 DEGREES 15 MINUTES 00 SECONDS EAST 53.95 FEET, THENCE SOUTH 00 DEGREES 33 MINUTES 00 SECONDS WEST 59.14 FEET, THENCE NORTH 57 DEGREES 15 MINUTES 00 SECONDS WEST 85.32 FEET, THENCE NORTH 32 DEGREES 32 MINUTES 00 SECONDS EAST 50.00 FEET TO BEGINNING, ALSO ALL OF LOT 40, ALSO LOT 41 EXC SOUTHWESTERLY 12.00 FEET, ALSO EAST 30.00 FEET OF LOT 42 EXCEPT SOUTHWESTERLY 12.00 FEET BLOCK 1 OF 'DAVIS ADD'.

NET ACREAGE

.566 ACRES

PARKING REQUIREMENTS

BUSINESS USE - 4 SPACES PER 1,000 SF OF LEASABLE AREA  
8,444 LEASABLE AREA = 34 PARKING SPACES REQUIRED  
34 PARKING SPOTS PROVIDED INCLUDING 2 HANDICAP SPOTS

CODE ANALYSIS

ARCHITECT INFO

NAME: DONALD J SCHEIBLE  
LICENSE NUMBER: 1301018960  
EXPIRATION DATE: 01-01-27  
EMAIL: DSCHIEBLE@SCHEIBLEASSOCIATES.COM

REVIEW CODE

2021 MICHIGAN REHABILITATION CODE FORE EXISTING BUILDINGS LEVEL 2  
2021 MICHIGAN MECHANICAL CODE  
2021 MICHIGAN PLUMBING CODE  
2023 NATIONAL ELECTRIC CODE  
2021 MICHIGAN ENERGY CODE INCLUDING ASHRAE 90.1-2013  
2009 ICC/ANCI A117.1 STANDARD FOR ACCESSIBLE BUILDINGS & FACILITIES

ZONE

CENTRAL BUSINESS DISTRICT

TOTAL FLOORS IN BLDG.

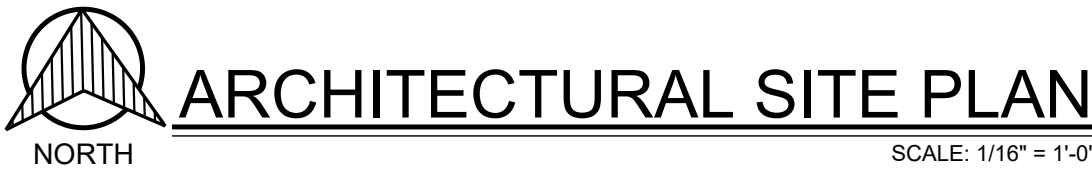
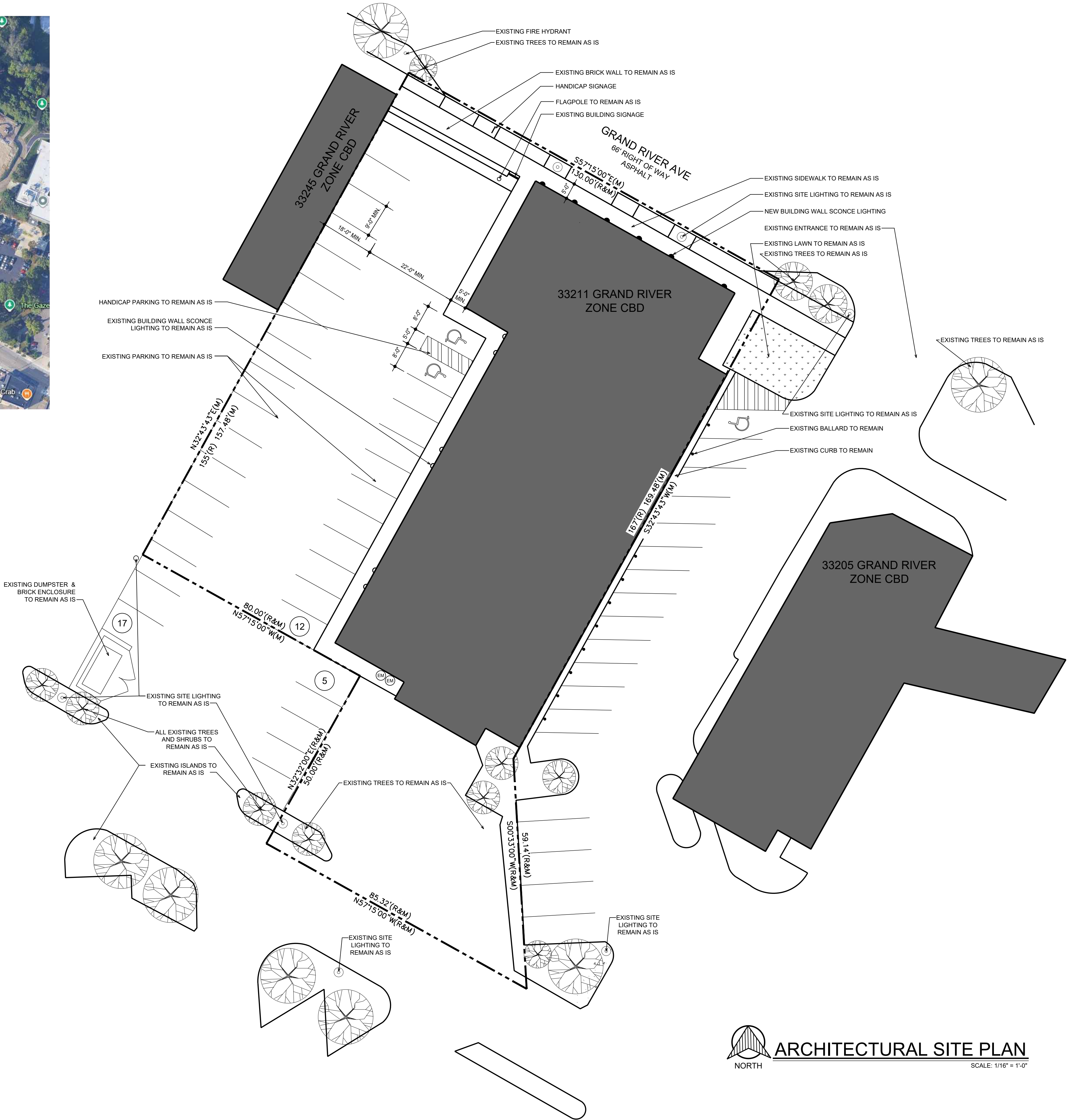
1

USE GROUP

"B" BUSINESS

TYPE OF CONSTRUCTION

TYPE II-B



ARCHITECT:

**Scheible & Associates  
L.L.C.**

46 Kensington Blvd.  
Pleasant Ridge, MI 48069  
(248) 797-9890  
scheibleassociates.com

DRAWN BY:



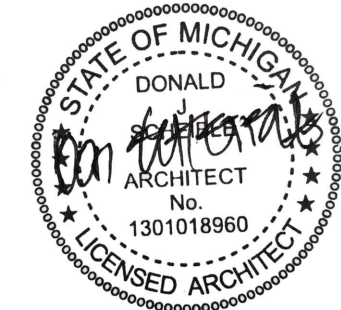
**NCS TEAM**  
One Towne Square  
Suite 150  
Southfield, MI 48076  
Tel: 989-992-6179  
www.ncs-team.com  
Josh@NCS-Team.com

BUILDING RENOVATION

33211 GRAND RIVER AVE  
FARMINGTON, MI 48336

ISSUED FOR:  
SITE PLAN APPROVAL  
11-04-25

SEAL:



SHEET#

S-1

DATE:

JOB#

NOT FOR CONSTRUCTION



SCALE: 1" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

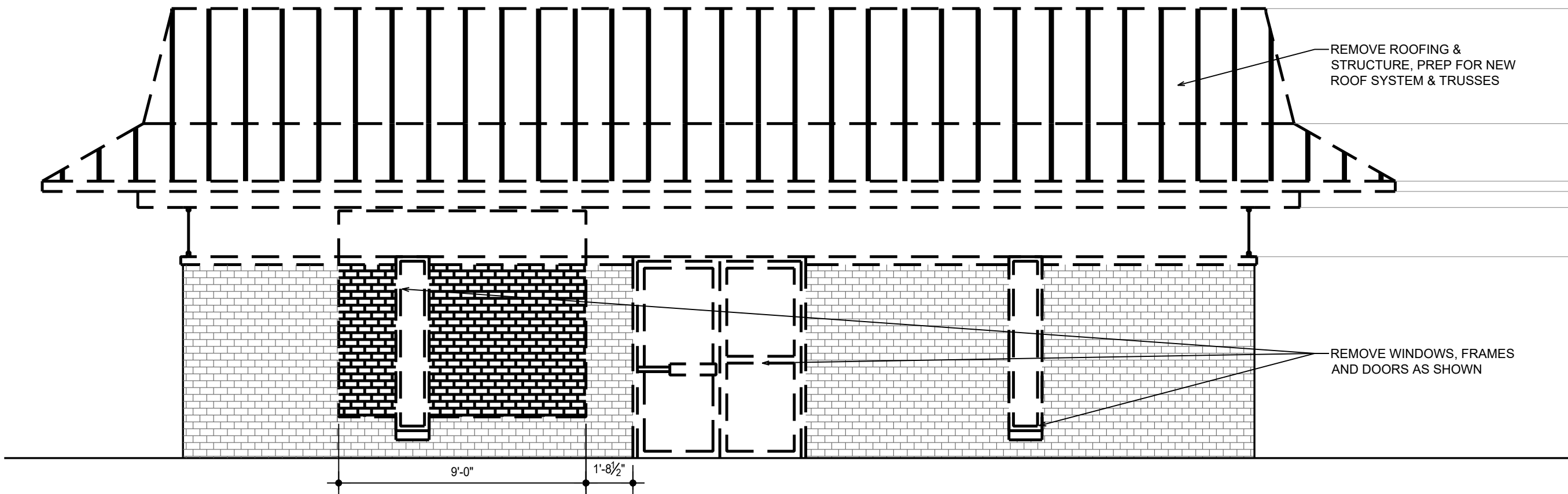
JOB#

**NOT FOR CONSTRUCTION**

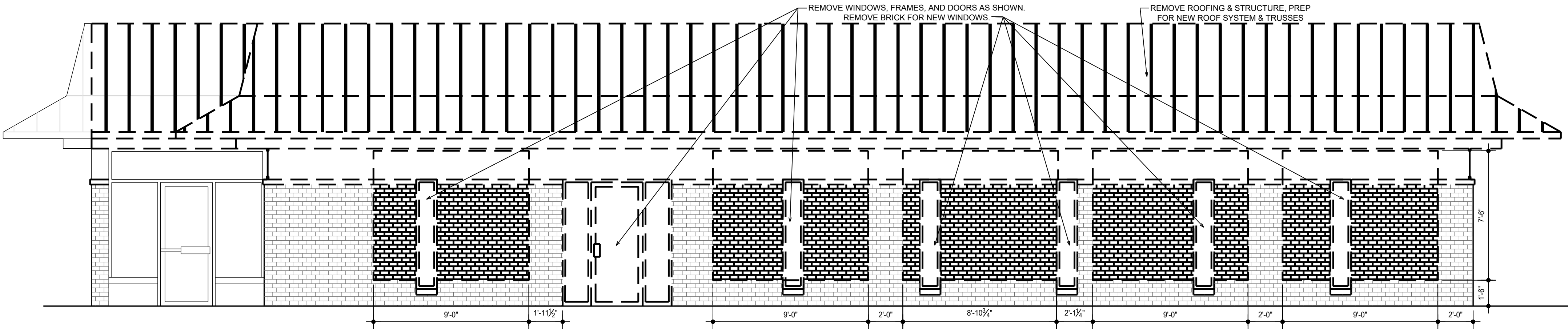




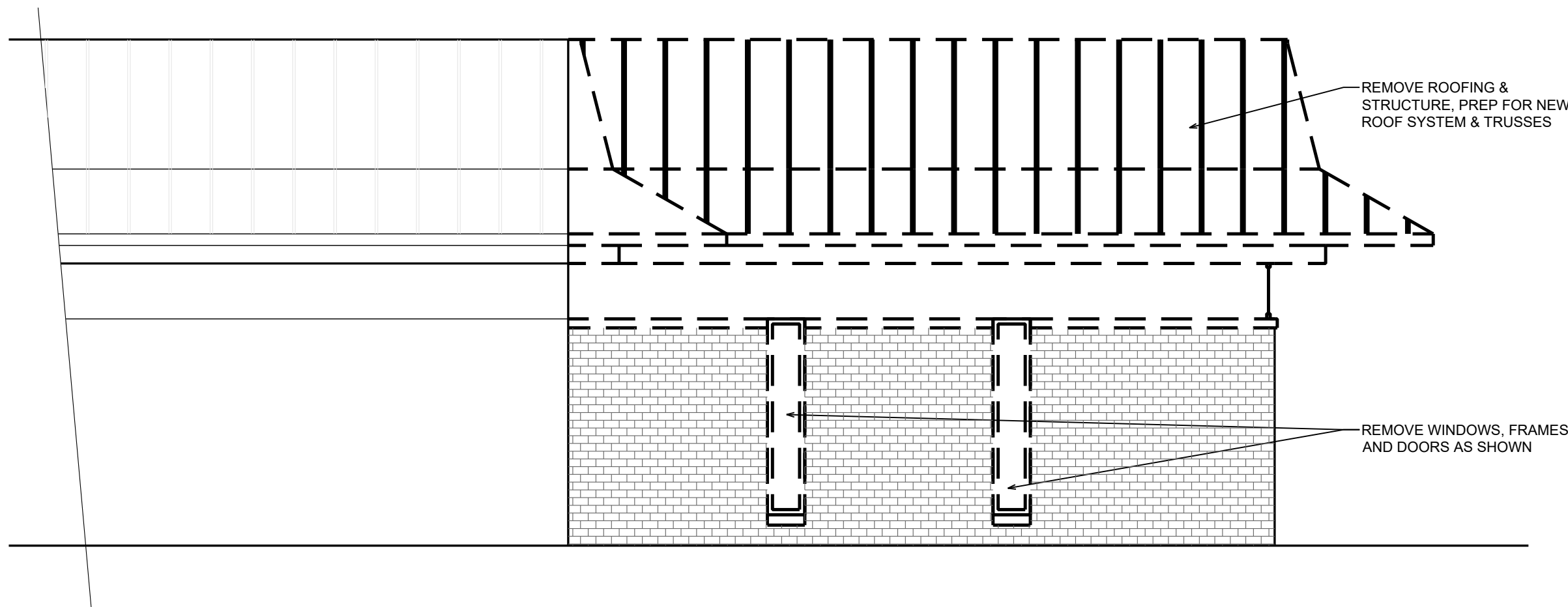
**NCS TEAM**  
One Towne Square  
Suite 150  
Southfield, MI 48076  
Tel: 989-992-6179  
www.ncs-team.com  
Josh@NCS-Team.com



**NORTH DEMOLITION ELEVATION (SIDE)**  
SCALE: 1/4" = 1'-0"



**WEST DEMOLITION ELEVATION (FRONT)**  
SCALE: 1/4" = 1'-0"



**EAST DEMOLITION ELEVATION (SIDE)**  
SCALE: 1/4" = 1'-0"

**BUILDING RENOVATION**

**33211 GRAND RIVER AVE  
FARMINGTON, MI 48336**

ISSUED FOR:  
SITE PLAN APPROVAL  
11-04-25

SEAL:

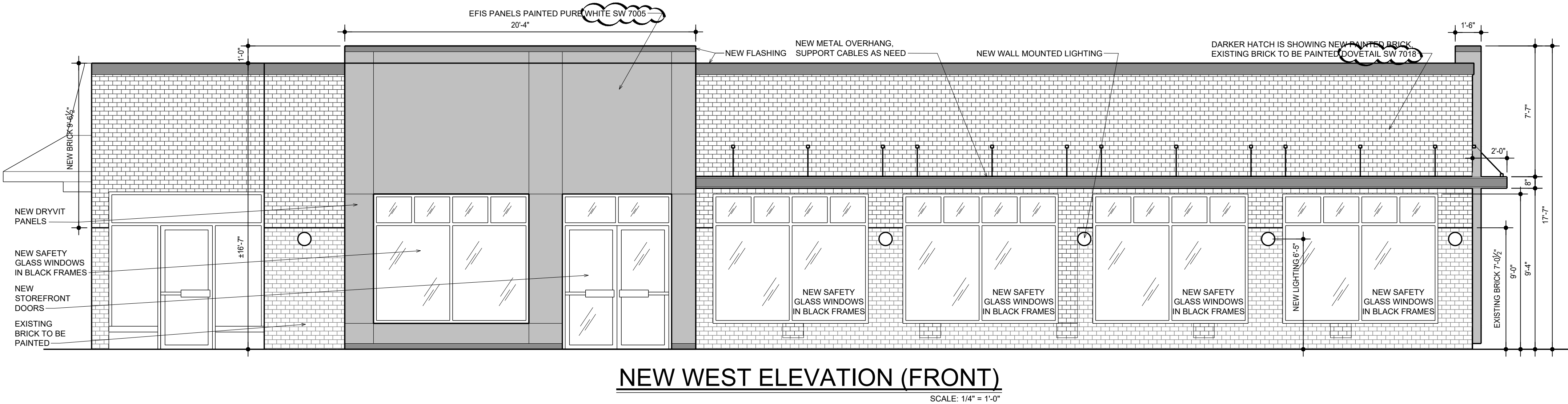
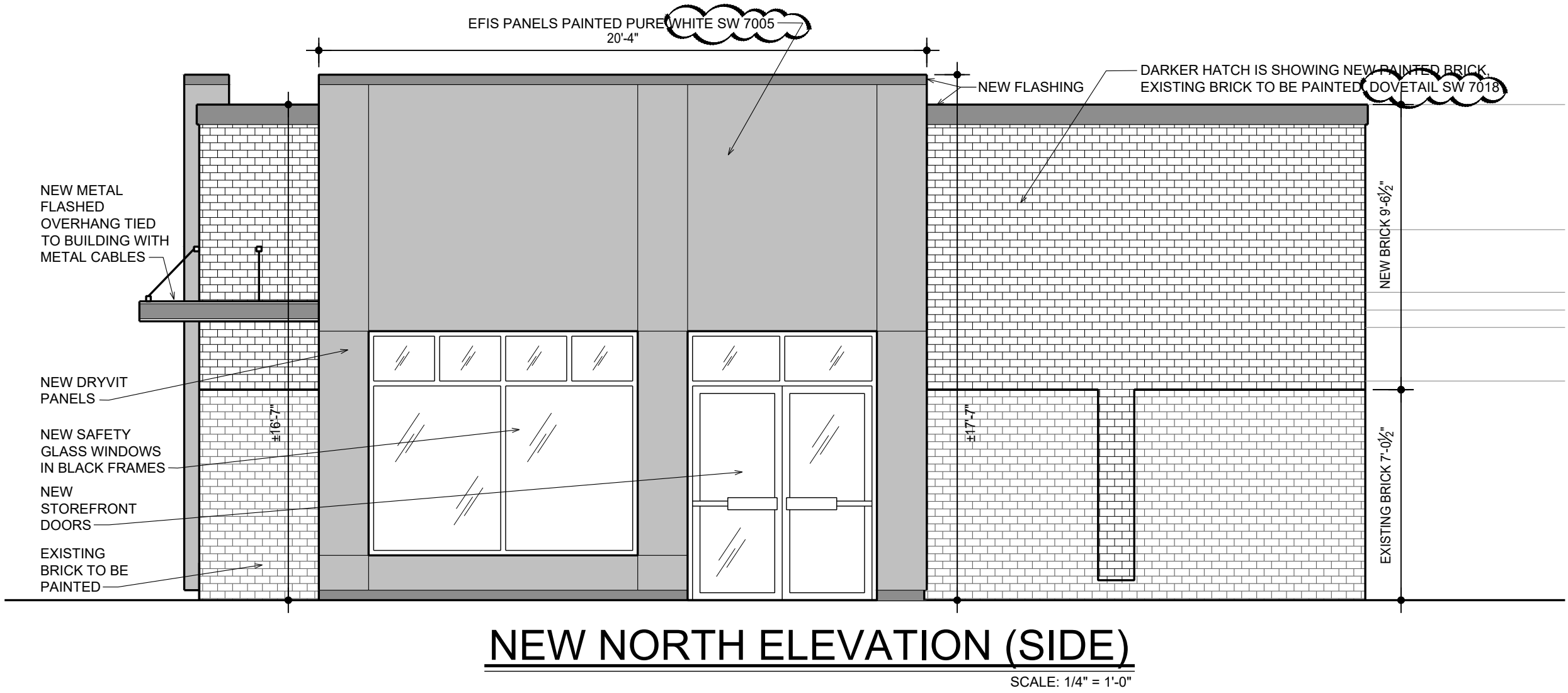


SHEET#  
DATE:  
JOB#

A-2

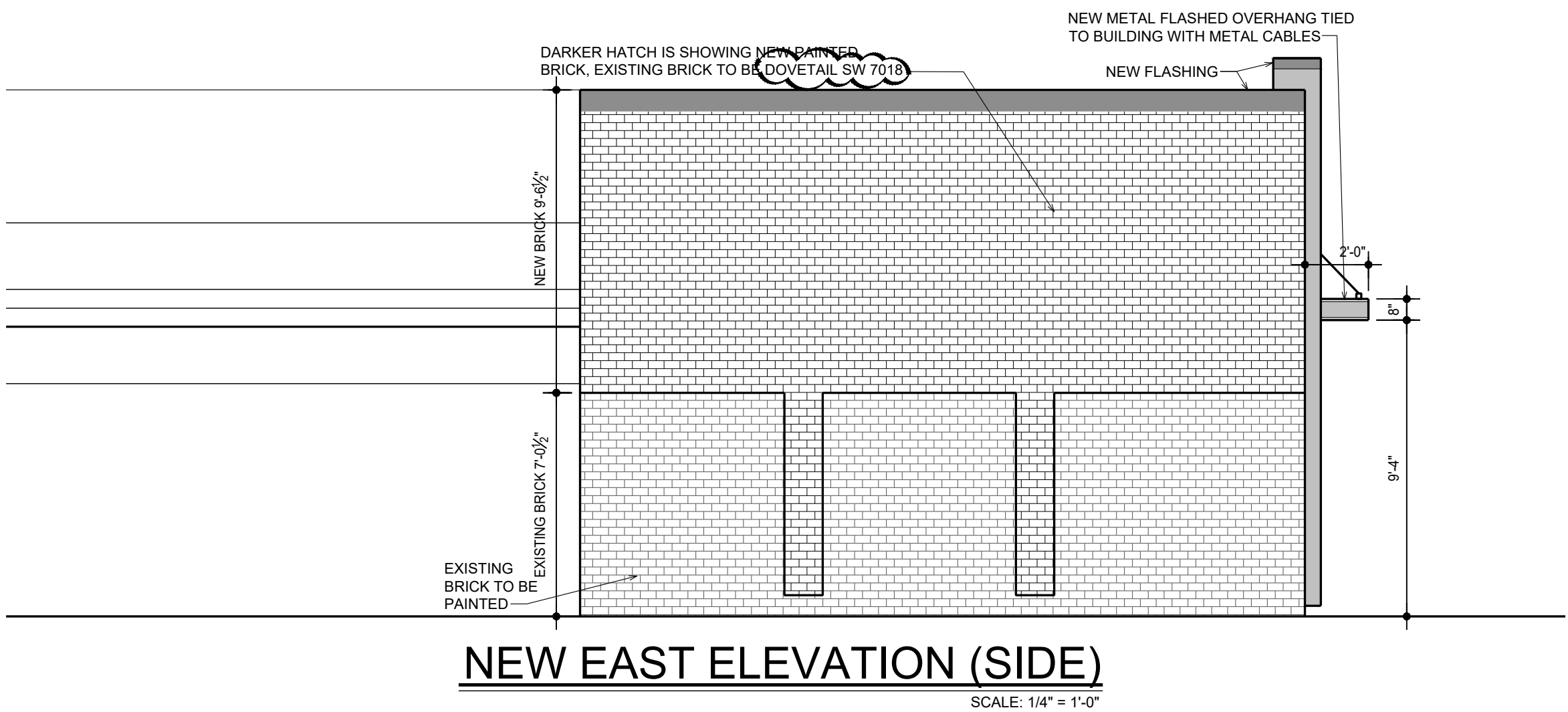
**NOT FOR CONSTRUCTION**





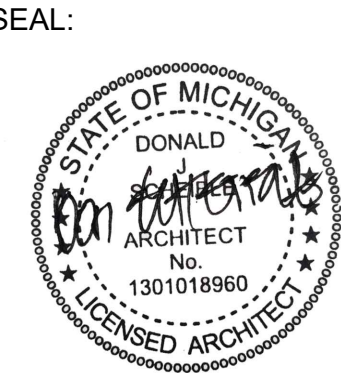
480 SF OF BUILDING FACADE  
360 SF OF WINDOWS  
75% GLASS ON FACADE  
BETWEEN 2' & 8'

DRYVIT PERCENTAGE ON  
BUILDING  
WHOLE FACADE 1,347 SF  
SQ FT OF DRYVIT 233 SF  
17% OF FACADE IS DRYVIT



**BUILDING RENOVATION**  
**33211 GRAND RIVER AVE**  
**FARMINGTON, MI 48336**

ISSUED FOR:  
SITE PLAN APPROVAL  
11-04-25  
REVISION 1  
12-22-25



SHEET# A-3  
DATE:  
JOB#

**NOT FOR CONSTRUCTION**





DRAWN BY:



**NCS TEAM**  
One Towne Square  
Suite 150  
Southfield, MI 48076  
Tel: 989-992-6179  
www.ncs-team.com  
Josh@NCS-Team.com

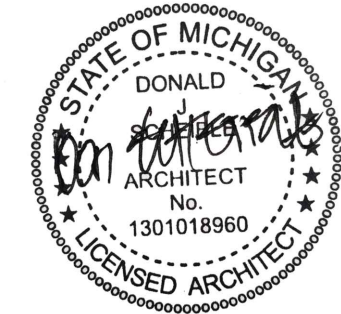


**BUILDING RENOVATION**

**33211 GRAND RIVER AVE  
FARMINGTON, MI 48336**

ISSUED FOR:  
SITE PLAN APPROVAL  
11-04-25

SEAL:



SHEET#                      A-4  
DATE:  
JOB#

**NOT FOR CONSTRUCTION**





DDA Design Committee Meeting  
7:30 am December 17, 2025  
Farmington, MI 48335

## **Minutes**

**The meeting was called to order at 7:32 AM by Claire Perko.**

### **1. Attendance**

Present: Claire Perko Steve Schneemann, Brian Golden, Ken Crutcher, Brett Budnik

Others Present: Jess Westendorf, Jenny Gray, Pat Donnelly (FIA), and Dave Przygoda (DNS Contractors)

### **2. Approve October 30, 2025 Design Committee Minutes**

#### **Approval of Minutes**

The minutes of the **October 30, 2025** Design Committee meeting were approved unanimously on a motion by Golden, seconded by Schneemann.

### **3. 33211 Grand River (Farmington Insurance Agency) Review**

The committee conducted a preliminary design review for façade improvements at 33211 Grand River. The applicant team explained that the intent is to modernize the building's north façade without expanding the footprint, replacing dated elements and improving curb appeal to support future tenant recruitment. Committee discussion focused on ordinance alignment and submittal clarity—particularly confirmation of façade material selections, color specifications, and compliance calculations for required window/door coverage within the specified height band. The committee also discussed property-line/sidewalk depiction discrepancies in submitted drawings and noted the importance of documenting easements or explaining conditions where existing constraints affect compliance.

Committee agreed to recommend approval to the Planning Commission, contingent upon the applicant providing clearer documentation (including colors, material percentages, and compliance calculations) consistent with the design intent presented.

### **4. 33211 Grand River Façade Grant Review**

The committee reviewed the associated façade grant request and discussed the DDA's annual grant allocation and reimbursement structure, including timing considerations relative to the fiscal year and permitting/construction schedule. Committee members noted the project's value as a meaningful exterior improvement, while also acknowledging it as an incremental upgrade compared to broader long-range redevelopment concepts referenced in ongoing planning discussions. The committee agreed to support the application and defer the final award amount to the DDA Board based on overall program capacity and other potential requests.



## **Motions**

A motion was made by Golden and seconded by Crutcher to recommend that the DDA Board approves the façade grant application and leave the determination of the grant dollar amount to the DDA Board. The motion carried unanimously.

## **5. Sign Advisory Review**

### **a. Farmington Jewelers**

The committee reviewed the sign proposal and noted limited information was provided in the materials available at the meeting. The committee's advisory feedback emphasized simplifying the sign content—specifically recommending removal of additional promotional text (“Jewelry Repairs, Custom Designs, we buy gold”) in favor of a cleaner presentation focused on the business name and logo, moved to the right side. The committee also requested additional specifications (materials, colors, and whether lighting is internal) to support informed review.

### **b. Famous Hamburgers**

The committee reviewed the proposed signage for Famous Hamburgers, including two sign faces for the corner location. Staff noted the applicant was already being asked to reduce signage to meet ordinance requirements 7-10%. The committee recommended approval of the sign design subject to the ordinance-driven size reduction and with the explicit understanding that the business would be “maxed out” on allowable signage and therefore should not anticipate additional window decals beyond what is permitted under the final calculation.

## **6. Famous Hamburgers Sign Grant Review**

The committee discussed eligibility under the sign grant program parameters discussed during the meeting. The committee recommended approval of the sign design subject to the ordinance-driven size reduction and with the explicit understanding that the business would be “maxed out” on allowable signage and therefore should not anticipate additional window decals beyond what is permitted under the final calculation.

## **Motion**

A motion was made by Perko and seconded by Golden to recommend that the DDA Board approve the Famous Hamburgers sign grant, with the final grant amount to be determined by the DDA Board. The motion carried unanimously.

## **7. Other Business**



Perko noted that the committee will be developing its work plan for the coming year and will discuss the Design Committee's role, priorities, and potential new members at an upcoming meeting. Staff also raised a related citywide collaboration topic: the Corridor Improvement Authority (CIA) expressed interest in receiving design input, and the committee discussed the concept of addressing CIA items following DDA business during meetings, with appropriate separation between agendas and participation from corridor representatives.

## **8. Adjournment**

The meeting was adjourned at **8:43 AM**.



---

## Sec. 35-104. Central Business District—Nonresidential and Mixed-Use Development Requirements.

The following regulations shall apply to all nonresidential buildings and "mixed use" buildings, which are those that contain nonresidential uses on the first floor and residential above the first floor. Any development or modification to a building in the CBD that requires planning commission approval under Article 13, Site Plan Review, shall be first reviewed by the DDA design committee prior to being placed on the agenda for final site plan approval by the planning commission. The DDA design committee shall review the site plan and building architecture for compliance with the requirements of this section and provide a recommendation to the planning commission.

A. *Area and Bulk Requirements.*

1. *Lot Area and Width.* There is no required minimum lot area or width.
2. *Setback Requirements.* The required nonresidential and mixed-use building setbacks are intended to promote streetscapes that are consistent with the desired character of the CBD and reinforce a pedestrian orientation and built-up streetscape. The setback requirements for areas that abut residential zones are intended to promote development that will maintain light, air, and the potential for privacy for adjacent residential zones.

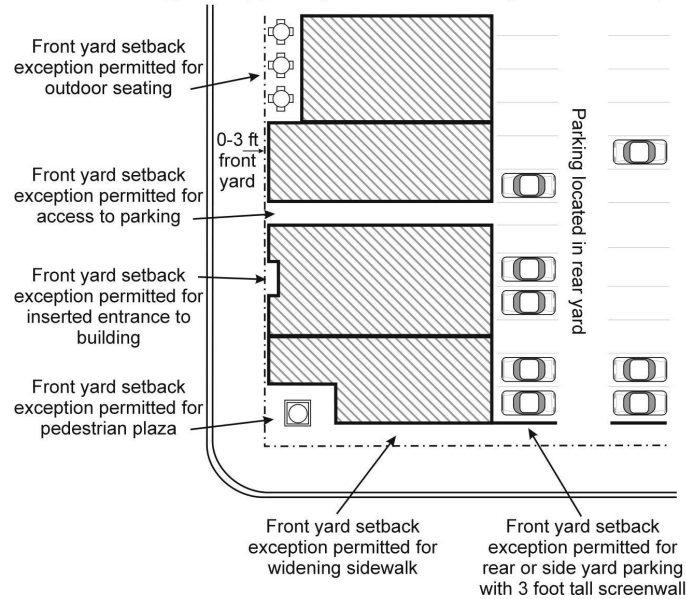
	Setback
Front (a)	The building shall be built to within 3 feet of the front lot line and cannot be set back a greater distance except as provided for in subsection 3., below.
Side	There shall not be a minimum side yard setback required; provided a side wall of a building that is not a fire rated wall or contains windows shall be set back a minimum of 10 feet from the side lot line.
Rear	There shall be no minimum rear yard setback.
Lot line abutting a residential zone	Where the side or rear lot line adjoins a lot that is zoned single-family residential, two-family residential or multiple-family residential, a minimum 30-foot setback shall be provided.

- a. Projections into setbacks permitted under section 35-39, projections into yards, including cornices, eaves, sills, balconies, bay windows, awnings, signs and other architectural elements, shall also be permitted to project over the public sidewalk with planning commission approval; provided, there shall be a minimum eight-foot vertical clearance between the sidewalk grade and the architectural element that is overhanging the sidewalk.
3. *Front Yard Building Setback Exceptions.* One hundred (100) percent of the length of the ground level street-facing facade of the building must be built to within three (3) feet of the front lot line. The building height along the frontage shall be a minimum of twenty-four (24) feet. Exceptions may be granted by the planning commission when the front yard area, or forecourt, is used for the following purposes listed below.



## Commercial/Mixed use building placement

Building required to be built to within 3 feet of front lot line except as approved by planning commission for front yard setback exceptions



- a. Widening the sidewalk along the frontage of the building.
  - b. Providing a public gathering area or plaza that offers seating, landscape enhancements, public information and displays, fountains, or other pedestrian amenities.
  - c. Accommodating an inset entranceway to the building.
  - d. Providing outdoor seating for the proposed use.
  - e. Where necessary to avoid utilities.
  - f. The building is used for public or quasi-public/institutional purposes with a plaza or open space area provided in the front yard.
  - g. Driveway or pedestrian access to parking at the rear of the building.
  - h. Side yard parking along no more than forty (40) percent of the frontage, with a three-foot tall screenwall between the parking and public sidewalk, set back three (3) feet from the front lot line and subject to the requirements of subsection D., below.
  - i. Where older residential structures have been converted to a nonresidential or mixed-use and are to be retained.
  - j. Sandwich board signs (or A-frame signs), marquee signs and wall signs as permitted in the sign ordinance are the only business signs permitted within the forecourt area.
4. **Building Height.** The height limits are intended to control the overall scale of buildings and to discourage buildings that visually dominate adjacent residential areas.

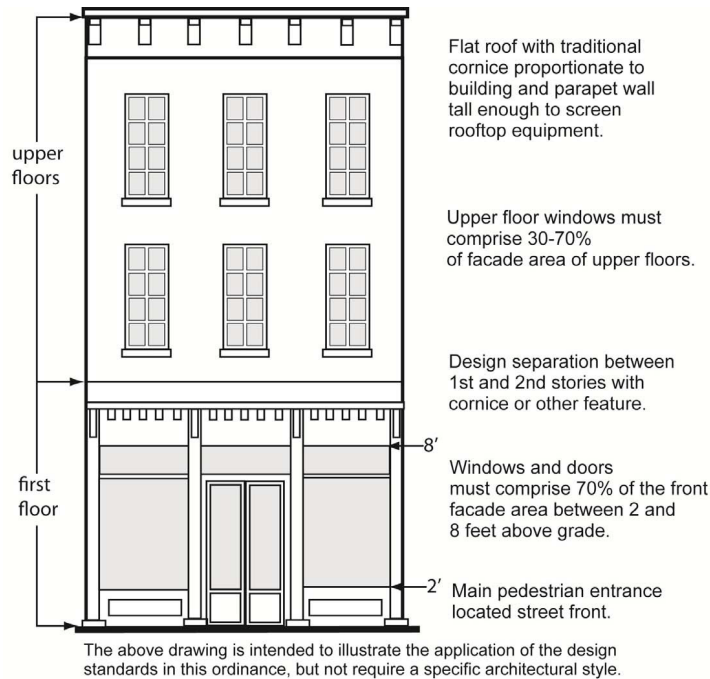
Building Height Requirement	
Minimum	24 feet and 1 story
Maximum	45 feet and 4 stories



- 
- a. For buildings with more than two (2) stories adjacent to a single-family residential zone, the floors above the second story of the building shall be tiered back such that the highest point of the building is set back a distance at least equal to twice the height of the building from the adjacent single family residential lot.
  - b. If a development is proposed as a planned unit development (PUD), the planning commission may approve an increase in the maximum building height and number of stories, if the proposed development is for a mixed-use building with retail, or service business on the first floor and residential, or office on the upper floors. The planning commission may require a greater setback from any adjoining single-family residential district in order to minimize the impact of building mass on views and sunlight in the residential district. In determining the amount of additional required setback, the planning commission shall take into account the area and configuration of the adjoining residential parcel or parcels, the size, height, and location of existing residential structures on the adjoining residential parcel or parcels, and any other relevant characteristics of the adjoining residential parcel or parcels.
  - c. If a parking structure is proposed as part of the building the planning commission may approve additional total building height and stories to achieve additional usable building floor area equal to the area occupied by the parking deck, subject to the regulations of subsection D., below.
  - d. Buildings located at the corner of two (2) intersecting streets may be increased in height to fifty (50) feet.
  - e. Refer to section 35-42, exceptions to height limit, for allowable building height projections.
- B. *Pedestrian-Oriented Design Requirements.* All sites shall be designed to promote safe and effective pedestrian and transit-oriented circulation on-site, between sites, and between parking and streets. Sites shall comply with pedestrian-oriented design requirements of section 35-45, pedestrian walkways, and Chapter 28, Streets, Sidewalks and Other Public Places, of the City of Farmington Code.
- C. *Building Design.*
- 1. *Purpose.* The following building design standards ensure that new construction in the CBD reflect a high level of building quality that will endure over time and will incorporate timeless design details. The requirements also ensure that all new construction is consistent because the character of the CBD is not reflected in just one (1) structure, but in all the buildings combined. The regulations herein are intended to ensure proper building form, relationship to the street and compatibility with other buildings. The regulations are not intended to dictate a particular style of architecture, rather to encourage innovative design that is consistent and complementary to the existing built environment.
  - 2. *Main Entrance.* All buildings shall have a main entrance that is located on at least one (1) streetfront. Main entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas. The front entranceway shall be inset a minimum of three (3) feet from the front building wall to minimize encroachment on the sidewalk.
  - 3. *Roofs.* Roofs shall be required to meet the following:
    - a. Unless otherwise approved by the planning commission, buildings should have flat roof appearance from the street with a cornice that is designed proportionate to the size of the building and length of the wall.



- b. The planning commission may permit a pitched roof if the design of the roof and building are consistent with the character of the CBD and adjacent buildings. Pitched and mansard roofs shall not be permitted with eaves below a height of twenty-four (24) feet. All roof edges shall be accentuated in a manner proportionate to the size of the building and length of the wall.
  - c. Flat roofs shall be enclosed by parapets.
  - d. All rooftop-mounted equipment shall be screened from view on all sides of the building.
  - e. Parapets and other screening treatment shall use high-quality building materials and shall blend with the design of the building in terms of color, materials, scale and height.
4. *Awnings.* Awnings in the CBD may project over the public sidewalk; provided they shall be:
- a. Positioned immediately above the ground floor window area of the facade.
  - b. Provide a minimum eight-foot clearance from the sidewalk.
  - c. Constructed of a durable, weather-proof material such as canvas or steel.
  - d. Have a straight shed that projects from the building at a straight angle with open sides.
  - e. Signage is in conformance with the city sign code.
5. *Required Window Area and Exterior Finishes.* While creativity in building design is encouraged, buildings in the CBD must adhere to the following:



a. *Windows.*

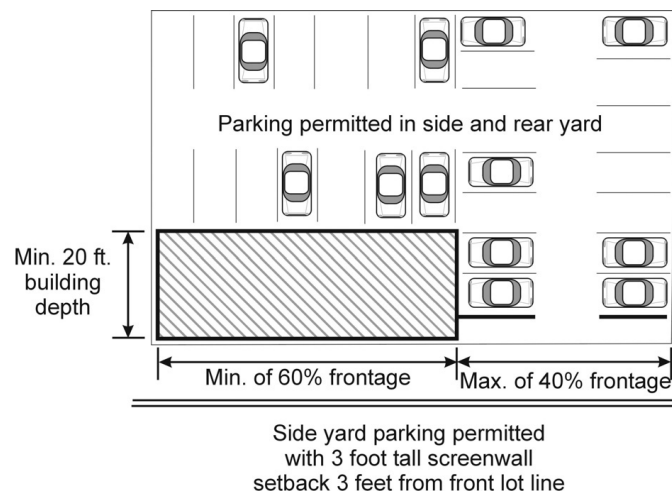
- (1) Facades facing a public street or sidewalk shall include windows that equal seventy (70) percent of the wall area measured between two (2) feet and eight (8) feet above grade. The bottom of any window may not be more than four (4) feet above grade.



- 
- (2) Required window areas shall consist of clear glass windows, clear glass doors and clear glass panels, and may not be covered or blocked with the back of shelving units.
    - (3) Required window areas shall be either windows that allow views into retail space, working areas or lobbies, pedestrian entrances, or display windows set into the wall.
    - (4) Windows and doors above the first floor shall comprise between thirty (30) percent and seventy (70) percent of the total wall area of all upper floors.
    - (5) The number, shape, size, and spacing of the windows shall be compatible with the established rhythm of adjoining or nearby buildings in the downtown.
  - b. *Exterior Finish Materials.* The building wall (exclusive of any windows or doors) of any facade visible from public view shall consist of the following:
    - (1) The wall shall be constructed of at least seventy-five (75) percent modular brick or stone. Panel brick and tilt-up brick textured paneling shall not be permitted on the front facade.
    - (2) Up to twenty-five (25) percent of the remaining wall area may include wood siding, fiber cement siding, exterior insulation finish systems (EFIS), stucco (cementitious finish), precast masonry, metal or molded polyurethane trim.
    - (3) Exterior walls that may be concealed by future building development on adjacent sites may be constructed of lower-cost materials that are consistent with the building facade, including modular brick or stone, panel brick, tilt-up brick textured paneling, wood siding, fiber cement siding, exterior insulation finish systems (EFIS), stucco (cementitious finish), precast masonry, metal or molded polyurethane trim.
    - (4) The planning commission may permit other high-quality exterior finish materials comparable to those required above. The planning commission shall consider the standards of subsection 35-104.C.10., Modifications, and a recommendation of the DDA design committee that the amount, design, and type of materials proposed are consistent with the intended character of the CBD.
    - (5) Buildings that have upper stories shall be designed to create a distinct and separated ground floor area through the use of accents such as a cornice, change in material or textures, or an awning or canopy between the first and second stories.
  6. *Corner Buildings.* Buildings situated at a corner shall possess a level of architectural design that incorporates accents and details that accentuate its prominent location. This can be accomplished through height projections incorporated into a design feature such as additional height, a building peak, tower, or similar accent with the highest point located at the intersecting corner. Alternatively, a pedestrian plaza may be provided at the corner of the intersecting streets. A main entrance must be on a street-facing wall and either at the corner or within twenty-five (25) feet of the corner.
  7. *Overhead Doors.* Overhead doors are not encouraged in the CBD. When necessary for loading, unloading, and other service needs they shall be located where it will receive the least visibility to the public or neighboring residential uses, and have the least impact on traffic operations. Overhead doors for loading areas shall be closed when not in use for loading operations.



- 
8. *Converted Dwellings.* Where buildings that were originally constructed for single-family residential purposes have been converted to nonresidential uses, the building design requirements of this subsection may be modified by the city where consistent with the historic character of the building. Such modifications may include allowing the use of siding in lieu of masonry materials and residential fenestration (windows) in lieu of the requirement for storefront windows on the first floor.
9. *Modifications.* The planning commission may approve deviations to the building design standards of this subsection 35-104.C., following the recommendation of the DDA design review committee, in order to achieve the objectives of this subsection through the use of creativity and flexibility in development and design. Each deviation shall require a finding that the design standard sought to be deviated from would, if no deviation was permitted, prohibit an enhancement that would be in the public interest. A front elevation drawing of the proposed building shall be provided superimposed on a color drawing or photograph of the entire block showing the relation of the proposed building design to other buildings along the block, which shall be utilized to evaluate the proposed building design based upon all of the following criteria:
- a. Innovations in architectural design may be permitted, provided the building design shall be in keeping with the desired character of the CBD, as articulated in the city Master Plan and the Downtown Plan, and the proposed building fits within the context of adjacent buildings along the block.



- b. The building shall be oriented towards the front sidewalk and maintain or enhance the continuity of the pedestrian oriented environment.
- c. The roof design shall not be out of character with other buildings along the block and shall be within the minimum and maximum height requirements of the district.
- d. The exterior finish materials shall be of equal or better quality and durability as those permitted above, with the intent to allow for new technologies in building material while maintaining the desired character of the CBD.
- e. Ground floor windows shall be provided along the front sidewalk to maintain the pedestrian orientation of the streetscape and upper story windows shall not be incompatible with the rhythm and proportions of windows on other buildings along the block.
- D. *Parking.* Parking lots shall meet the following requirements:



- 
1. Parking is permitted only in side and rear yards. When parking is located in a side yard (behind the front building line) and has frontage on a public right-of-way, no more than forty (40) percent of the total site's frontage shall be occupied by parking. Parking in the side yard shall be screened by a three-foot tall brick screening wall between the sidewalk and the parking lot. The screening wall shall be set back a minimum of three (3) feet and designed and located to ensure a safe, clear vision zone is provided for vehicles and pedestrians.
  2. Where off-street parking is proposed, at least sixty (60) percent of the site's frontage shall be occupied by usable building space to a depth of at least twenty (20) feet. Where a parking structure is provided, usable building space shall occupy at least sixty (60) percent of the site's frontage on the first level to a depth of at least twenty (20) feet.
  3. Parking lot design shall conform to the requirements of Article 14, Off-Street Parking and Loading Standards and Access Design. Because the regulations of this section are intended to encourage pedestrian/transit friendly design and compact mixed-use development that requires less reliance on automobiles, on-site parking required under Article 14 may be waived under the following conditions:
    - a. The site is located within five hundred (500) feet of other parking facilities intended for public use, such as a municipal parking lot, parking structure or on-street parking that provides adequate parking spaces to serve the proposed use.
    - b. Failure to provide on-site parking shall be deemed to constitute and acknowledgement and acceptance of a benefit (i.e., the relaxation of on-site parking standards) such that, if the city establishes a special assessment district to fund the construction operation and maintenance of public parking that will serve the property, the property owner agrees to become part of such district and further agrees to payment of the assessment in lieu of providing on-site parking. The city may require a written acknowledgement with respect to the benefit provided.
- E. *Landscaping.* For buildings that comply with the front build-to requirements of this section, street trees located within the public sidewalk may be used to satisfy the frontage landscaping requirements of Article 15, Landscaping Standards. Where existing street trees along the frontage are in poor condition, the planning commission may require replacement of the trees. Where there are no street trees along the site frontage, or there is a gap of sixty (60) feet or more between existing trees, the planning commission may require the installation of a new tree, with a tree grate that matches the other tree grates used in the downtown.
- F. *Access Management.* Refer to Article 14, Off-Street Parking and Loading Standards and Access Design, for access management requirements. In addition to current access management standards, a strong emphasis shall be placed in the CBD to limit driveways on Grand River Avenue and Farmington Road. Whenever possible, existing driveways shall be removed and access provided to the site from rear access or from an intersecting side street.
- G. *Lighting.* Refer to section 35-48, exterior lighting, for lighting requirements.

(Ord. No. C-746-2010, § 1, 4-19-10)



<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission Date:</b> January 12, 2026	<b>Item Number</b>
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b><u>Agenda Topic:</u></b> Public Hearing – Make a Change Wellness, 23629 Liberty Street		
<b><u>Proposed Motion:</u></b>  Move to open the Public Hearing on Make a Change Wellness, 23629 Liberty Street  Move to close the Public Hearing on Make a Change Wellness, 23629 Liberty Street		
<b><u>Background:</u></b>  Make a Change Wellness is proposing to locate their mental health and social work practice in the building located at 23629 Liberty Street. The social work practice is centered on providing accessible, community-focused mental health and wellness services to children and adolescent teens. Attached to this report is background information about Make a Change Wellness for Commission review.  This property is zoned Office Service. Medical/dental office use and professional office/service establishments are a special land use in this district, requiring Planning Commission approval. The special land use was noticed to the public in the Oakland Press as required.  The procedures for a special land use typically require a site plan to be submitted; however, there are no proposed changes to the existing site at this time. Future renovations are planned in 2026. These renovations will be reviewed by the Building Official and if necessary, be brought to the Planning Commission for approval.  The applicant will present their project to the Commission during this agenda item.  After the applicant presents their project, OHM will provide their special land use report.  Finally, the Commission will open the public hearing, and once all comments have been received, close the public hearing.		
<b><u>Materials:</u></b> Special Land Use Application Special Land Use Review by OHM		





## **Make A Change Wellness, LLC**

23629 Liberty St, Farmington, MI 48335

### **Special Land Use Application [responses to each question]**

- a. The proposed special land use shall be compatible with and in accordance with the general goals, objectives, and policies of the City of Farmington Master Plan.***

The proposed special land use for Make A Change Wellness is fully compatible with, and supports, the general goals, objectives, and policies outlined in the City of Farmington Master Plan. Our social work practice is centered on providing accessible, community-focused mental health and wellness services to children and adolescent teens—an objective that aligns directly with the City’s commitment to enhancing quality of life, supporting community well-being, and promoting reinvestment in existing structures.

For the first seven months of operation, no changes will be made to the building. The offices will be utilized as-is, ensuring continuity, minimizing disruption, and maintaining the existing character of the area.

Beginning July–August 2026, Make A Change Wellness will submit a proposal for a comprehensive renovation of the building, including both interior and exterior improvements. These renovations will be designed to elevate the building’s appearance, enhance accessibility, and further align the site with the long-term vision of the Master Plan by contributing to neighborhood vitality and reinvestment.

Overall, the proposed use supports Farmington’s goals for community health, responsible redevelopment, and thoughtful land use planning.

- b. The special land use shall promote the intent of the zoning district in which the use is proposed.***

The proposed special land use for Make A Change Wellness promotes and supports the intent of the zoning district in which it is located. As a social work and wellness provider, our operations are consistent with the district’s purpose of accommodating professional office uses, community-serving services, and low-impact businesses that enhance the surrounding area.

The building will always maintain designated office space on at least one floor for office use and leases—both prior to renovations and after the full interior and exterior renovations scheduled for July–August 2026. Maintaining this dedicated office function ensures that the property continues to meet the zoning district’s intent by supporting professional services, preserving business diversity, and contributing to a stable, service-oriented environment.

This long-term commitment to office use reinforces compatibility with the district and supports the City’s goals for maintaining a balanced, functional, and community-focused commercial area.



- c. The special land use shall be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the area in which it is proposed.***

The proposed special land use for Make A Change Wellness is fully compatible with the existing and intended character of the surrounding area and will not alter the essential character of the neighborhood. The building has historically functioned as professional office space, and our social work and wellness services align naturally with this established use.

Our operations are low-impact, appointment-based, and professional in nature, which ensures minimal traffic, noise, or disruption to nearby properties. For the first seven months, the building will be utilized as-is, maintaining the current appearance and function without any changes to its exterior or interior layout.

Future renovations planned for July–August 2026 will be designed to enhance the building while preserving its professional character and ensuring it continues to blend seamlessly with the surrounding properties. These improvements will respect the area’s existing aesthetic and intended long-term development goals.

Overall, Make A Change Wellness will operate in a manner that supports and maintains the established character of the area, contributing positively to the community without introducing any incompatible elements.

- d. The special land use shall be served adequately by public facilities and services such as traffic operations, police, and fire protection, drainage structures, water and sewer facilities and schools.***

The proposed special land use for Make A Change Wellness will be adequately served by existing public facilities and municipal services. The site is located within an established commercial and professional corridor that is already supported by the City of Farmington’s fully developed infrastructure.

Traffic operations in the area are designed to accommodate professional office uses, and our appointment-based service model ensures low traffic volume and minimal impact on existing roadway capacity. Police and fire protection services currently serve the area effectively, and no additional burden is anticipated as a result of this use.

The property is already connected to the City’s existing water, sewer, and drainage systems, all of which are sufficient to support the proposed operations without the need for upgrades or modifications. Similarly, the site is within proximity to public schools, but the nature of our services does not increase demand on educational facilities.

Overall, Make A Change Wellness will operate within the capabilities of the public facilities and services already in place, ensuring that no undue strain is placed on city resources.



- e. The proposed special land use shall not involve uses, activities, processes, materials, equipment or conditions of operation that in comparison to the uses permitted in the district, will be detrimental to the natural environment, public health, safety or welfare.*

The proposed special land use for Make A Change Wellness will not involve any uses, activities, materials, or operational conditions that are detrimental to the natural environment, public health, safety, or general welfare. Our services are strictly professional, appointment-based social work and wellness supports, consistent with the low-impact office uses already permitted within the zoning district.

Operations will not include hazardous materials, industrial equipment, or any processes that generate excessive noise, traffic, emissions, or waste. The building will function as a standard professional office environment, maintaining the same level of environmental and public safety compatibility as existing allowable uses in the district.

Furthermore, the planned future renovations (scheduled for July–August 2026) will adhere to all applicable building codes, safety standards, and environmental regulations, ensuring continued protection of both the community and the surrounding environment.

Overall, Make A Change Wellness will operate safely, responsibly, and in full alignment with the district's expectations for low-impact, community-serving professional uses.





# City of Farmington Special Land Use Review

**Date:** January 6, 2026

**To:** Chris Weber, Assistant City Manager  
**cc:** Jennifer Morris, Principal, OHM  
**From:** Kristen Hatfield, Senior Planner, OHM

**Re:** 23629 Liberty St, Farmington, MI 48336

**Subject:** Make a Change Wellness, LLC (Special Land Use Review)  
**Location:** 23629 Liberty St  
**Parcel ID:** 20-23-28-276-011  
**Zoning:** OS, Office Services District  
**Applicant(s):** Dr. Ali Y. Bazzi  
**Owner(s):** Dr. Ali Y. Bazzi

At the City of Farmington's request, OHM Advisors has performed a review of the above-referenced special land use request and offers the following comments and findings for your consideration. This review is based on a special land use application dated December 10, 2025.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to City site plan and ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation. Key review items in this letter are underlined for the benefit of the applicant.

## **SITE DESCRIPTION**

The site consists of one (1) parcel and is located on the west side of Liberty Street, south of Grand River Avenue and north of State Street. Online assessing states that 23629 Liberty Street is approximately 11,717 square feet with a frontage on Liberty Street of 50'. The existing two-story structure is 4,320 SF with multiple tenants with professional offices. Surrounding zoning districts are OS, Office Service to the north, CBD, Central Business District to the east, OS, Office Service to the south and R1, Residential to the west. The special land use application indicates that Dr. Ali Y. Bazzi is the owner of the parcel; however online assessing lists the owner of 23629 Liberty Street as "TDP Holdings, LLC". The applicant must clarify the ownership of the parcel.

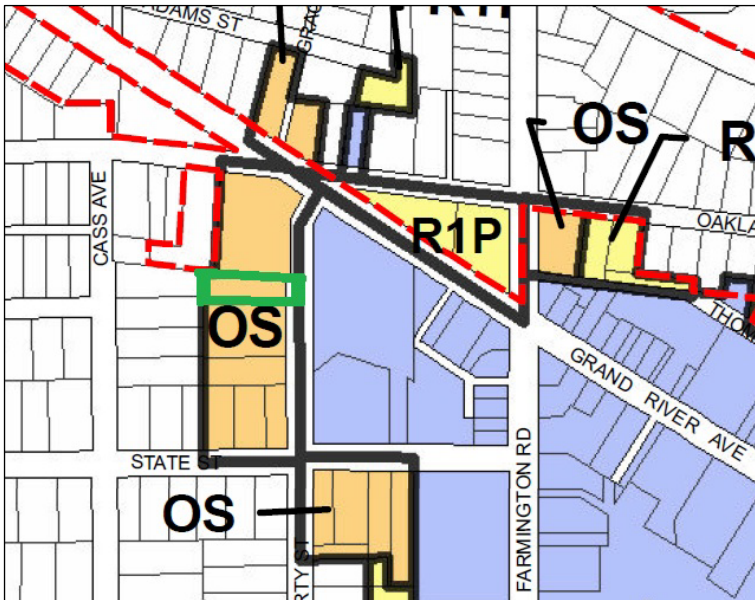




## EXHIBIT A: AERIAL VIEW OF SITE



## EXHIBIT B: ZONING MAP



## REVIEW COMMENTS

*Article 12, Special Land Uses* of the City of Farmington's zoning ordinance, provides standards for the Planning Commission to determine the appropriateness of a given special land use. An application for a special land use must be considered against these standards.

### General Standards

Prior to approving a special land use application, the Planning Commission shall require that the following general standards be satisfied. The proposed use or activity shall:





**1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.**

**Comment:** This special land use request is compatible with the objective of increasing commercial opportunities in the City of Farmington. **Meets the standard.**

**2. Promote the intent of the zoning district in which the use is proposed.**

**Comment:** The intent of the O, Office and OS, Office Service districts is to encourage office uses of a business and professional nature. The OS, Office Service district in particular serves as a transitional area between residential and commercial districts or as a buffer between residential neighborhoods and arterial roadways. In this case, the subject parcel will provide an office use that is professional in nature while also serving as a transitional area between residential and commercial, and providing a buffer between residential neighborhoods and arterial roadways. **Meets the standard.**

**3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.**

**Comment:** This property has been used for professional offices in the past, and as such, will not change the essential character of the area in which it is proposed. **Meets the standard.**

**4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.**

**Comment:** This property is served adequately by public facilities and services. **Meets the standard.**

**5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.**

**Comment:** We find no indication that this special land use would have a negative impact on the above items through the excessive production of traffic, noise, etc. **Meets the standard.**

Finally, we note that a site plan meeting the requirements of *Article 13, Site Plan Review* of the City of Farmington's zoning ordinance is typically included with an application for a special land use request. As indicated on the special land use application dated December 10, 2025, the applicant intends to make exterior renovations within the next twelve (12) months. We recommend that the Planning Commission condition validity of the special land use approval upon receipt of a site plan for the parcel within twelve (12) months of approval of the special land use request, if the Planning Commission opts to approve the request.

## **RECOMMENDATION**

Planning recommends approval of the special land use application subject to the following conditions:

- 1. Site Plan Submittal Requirements (§35-165).** The applicant must clarify the ownership of the parcel.
- 2. Special Land Use Application Procedure (§35-153).** The applicant must submit a site plan for the parcel within twelve (12) months from the date of approval of the special land use request.

If you have any questions, please don't hesitate to contact me at (810) 215-0993.

Thank you,





*Kristen Hatfield*

Kristen Hatfield, AICP  
Senior Planner



<b>Farmington Planning Commission Staff Report</b>	<b>Meeting Date:</b> January 12, 2026	<b>Reference Number</b>
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Agenda Item:</b> Special Land Use Review for 23629 Liberty Street, Make a Change Wellness		
<p><b><u>Requested Action</u></b></p> <p>Move to Approve the Special Land Use for 23629 Liberty Street, Make a Change Wellness subject to Review and Approval of the Final Interior and Exterior Plans by the Building Official, because:</p> <ol style="list-style-type: none"> <li>1. The proposed use will be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan because_____.</li> <li>2. The proposed use will promote the intent of the zoning district in which the use is proposed, because_____.</li> <li>3. The proposed use will be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed, because_____.</li> <li>4. The proposed use will be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools, because all of these facilities are existing.</li> <li>5. The proposed use will not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance, because_____.</li> </ol> <p>Subject to bringing any site deficiencies up to current standards, as identified by the building official, and subject to review and approval of the Final Interior and Exterior Plans by the Building Official, when any changes to the building are proposed.</p> <p>Or</p> <p>Move to Deny the Special Land Use for 23629 Liberty Street, Make a Change Wellness subject to Review and Approval of the Final Interior and Exterior Plans by the Building Official, because:</p> <ol style="list-style-type: none"> <li>1. The proposed use will not be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan because_____.</li> <li>2. The proposed use will not promote the intent of the zoning district in which the use is proposed, because_____.</li> <li>3. The proposed use will not be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed, because_____.</li> <li>4. The proposed use will not be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and</li> </ol>		



sewage facilities and primary and secondary schools, because all of these facilities are existing.

5. The proposed use will involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance, because\_\_\_\_\_.

### **Background**

The Make a Change Wellness Special Land Use will have been introduced during the public hearing and any comments from the public presented. For this agenda item, the Commission will decide whether to approve or deny the request.

Attached to this staff report are the Standards for Approval for a Special Land Use, Sec. 35-152

### **Agenda Review**

**Department Head**

**Finance/Treasurer**

**City Attorney**

**City Manager**



---

## **Sec. 35-152. Standards for Approval.**

- A. Prior to approving a special land use application the planning commission shall require that the following general standards, in addition to the specific standards noted for individual uses in section 35-158, special land use specific requirements, be satisfied. The proposed use or activity shall:
1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.
  2. Promote the intent of the zoning district in which the use is proposed.
  3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.
  4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.
  5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.
- B. Properties for which application for special land use approval is made shall also be subject to site plan review in accordance with the requirements of Article 13, Site Plan Review. Failure to obtain site plan approval will constitute denial of the approved special land use.

(Ord. No. C-746-2010, § 1, 4-19-10)

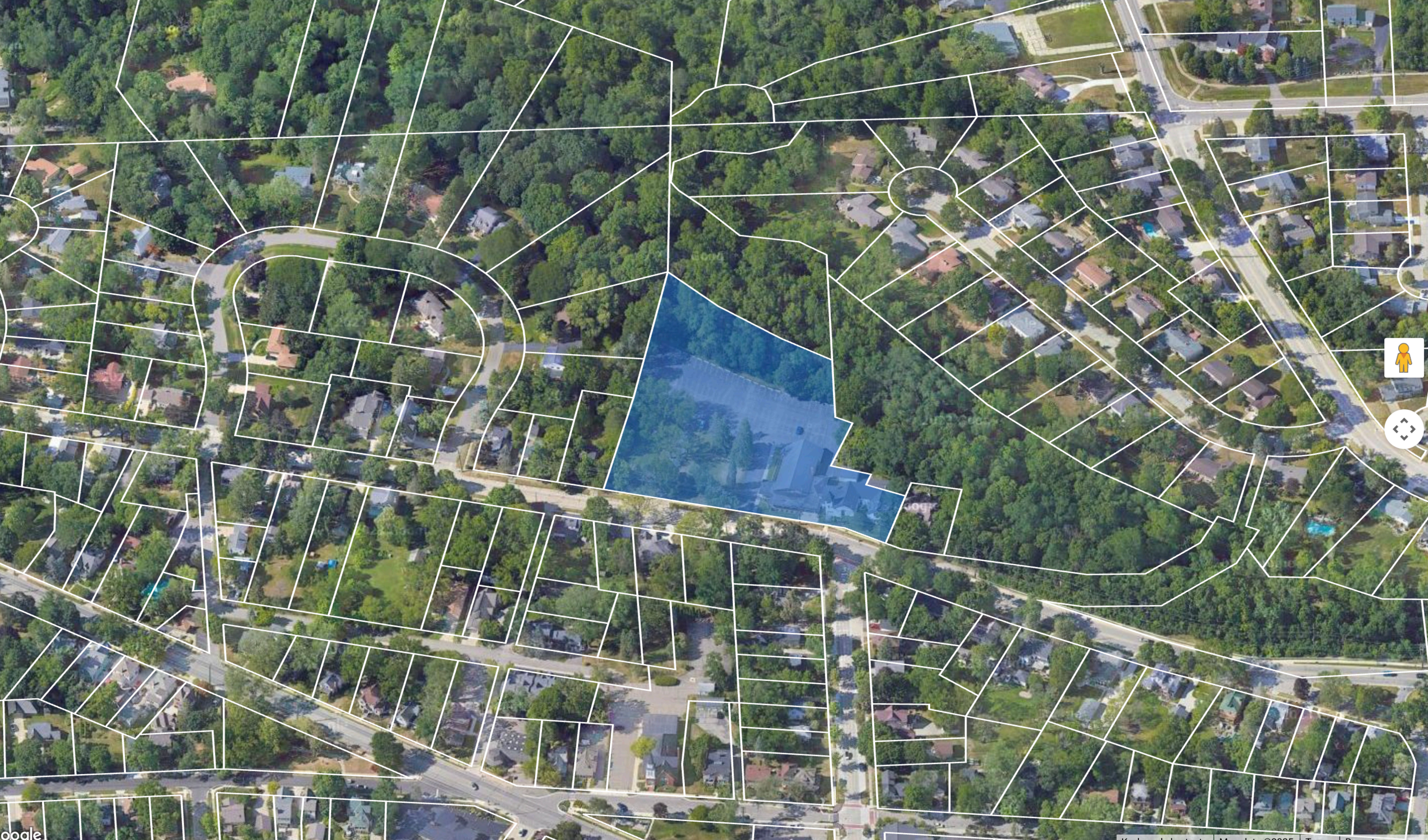


<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission</b> <b>Date:</b> January 12, 2025	<b>Reference Number</b>
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Agenda Topic:</b> Site Plan Review - 33400 Shiawassee Road, First Baptist Church of Farmington		
<p><b>Proposed Motion:</b></p> <p>Move to approve the building façade modifications for 33400 Shiawassee Road, First Baptist Church of Farmington because the proposed modifications meet the requirements of Section 35-53 of the Zoning Ordinance.</p> <p>OR</p> <p>Move to deny the building façade modifications for 33400 Shiawassee Road, First Baptist Church of Farmington because the proposed modifications do not meet the requirements of Section 35-53 of the Zoning Ordinance, because_____.</p>		
<p><b>Background:</b></p> <p>The First Baptist Church of Farmington is proposing a modification to the southwest corner of the building, including a small addition to the existing vestibule and a barrier free ramp to improve access to the building and to allow caskets to safely be maneuvered in and out during funerals. This building is located in the Historic District and therefore subject to Historical Commission review and comment. At their December 17, 2025 meeting, the Historical Commission voted unanimously to recommend approval of the plan.</p> <p>Site Plan Review is required under Section 35-162 Building renovations, modifications to building facade or other architectural features that do not result in additions to floor area or increased building height. Section 35-53 of the City's Zoning Ordinance sets for the requirements for nonresidential design requirements. Section 35-53 is attached.</p> <p>The applicant, has submitted plans prepared by Wakely Associates, Inc. Architects for the proposed Building Façade Modification and will be at the January 12, 2026 meeting to review the proposed Building Façade Modification with the Commission.</p> <p>The plans for the modification have been reviewed by the Building Official for the site elements and no issues have been identified.</p>		
<p><b>Materials:</b>  Conceptual Rendering  Site Plan  Zoning Ordinance Section 35-53</p>		













# FIRST BAPTIST CHURCH OF FARMINGTON ENTRANCE ADDITION / RENOVATION

ISSUED FOR: BID SET  
DATE: JUNE 27, 2025  
PROJECT NO.: 232004

## ARCHITECT:

 WAKELY ASSOCIATES, INC./ ARCHITECTS  
30500 VAN DYKE AVE, SUITE 209, WARREN, MI 48093, 586.573.4100

## STRUCTURAL ENGINEER:

 ANDERSON, ECKSTEIN, & WESTRICK, INC.  
51301 SCHOENHERR RD, SHELBY TOWNSHIP, MI 48315, 586.726.1234

## MECHANICAL/ ELECTRICAL ENGINEERS:

 UNIFIED BUILDING SYSTEMS ENGINEERING, LLC  
75 N. MAIN ST. SUITE 221, MT. CLEMENS, MI 48043, 248.804.1741









WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 200  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com

FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335

GENERAL NOTES, KEYNOTE  
LEGENDS, & KEYNOTES

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY DCW/JMW  
CHECKED BY DCW/BS

REVISIONS

DATE: JUNE 27, 2025  
SHEET NO.

G2.0

JOB NO. 232004

NEW WORK KEY NOTES - FLOOR PLAN:

- 107

NEW INDOOR WHEELCHAIR PLATFORM LIFT BY ASCENSION OR EQUAL. 3508 E. FORT LOWELL RD., TUCSON, AZ 85716. MODEL - CLARITY ENCLOSED WHEELCHAIR LIFT. VERTICAL TRAVEL. DISTANCE: 34" TO 168". CAPACITY - 750 LBS.. LIFT FOOTPRINT - 48"Wx68"L. COORDINATE AND VERIFY INSTALLATION WITH MANUFACTURER PRIOR TO ARRIVING ON SITE. INCLUDE ADDITIONAL FOUNDATION OR THICKENED SLAB WORK AS REQUIRED FOR NEW LIFT.
- 108

NEW FABRICATED STEEL GUARD AND HANDRAIL FACTORY PRIMED AND FINISHED. USE APPROVED EPOXY ANCHORS FOR INSTALLATION INTO CONCRETE SLABS.
- 109

EXISTING LOWER ENTRY FLOOR AREA. ELEVATE TO MATCH EXISTING HIGHER INTERIOR CONCRETE SLAB PER DETAILS. NEW FINISH FLOOR ELEVATION AND PLAZA ELEVATION TO MATCH EXISTING HIGHER INTERIOR FLOOR HEIGHT. +/- 14" ABOVE EXTERIOR FINISH GRADE. VERIFY DIMENSION IN FIELD.
- 104

EXISTING STAIR AREA. INFILL TO MATCH EXISTING HIGHER INTERIOR CONCRETE SLAB PER DETAILS. NEW FINISH FLOOR ELEVATION AND PLAZA ELEVATION TO MATCH EXISTING HIGHER INTERIOR FLOOR HEIGHT. +/- 14" ABOVE EXTERIOR FINISH GRADE. VERIFY DIMENSION IN FIELD.
- 105

INSTALL NEW EXTERIOR ALUMINUM STOREFRONT ENTRY DOOR/WINDOW SYSTEM COMPLETE.
- 106

PROVIDE NEW 12'-0"W x 7'-0"H OPENING IN EXISTING EXTERIOR WALL. PROVIDE NEW LINTEL AS SHOWN. TOOTH-IN EXISTING MASONRY AS REQUIRED. REWORK AND RELOCATED EXISTING EXTERIOR HOSE BIB. REFER TO MECHANICAL DRAWINGS.
- 107

PATCH EXISTING MASONRY WALL AS REQUIRED AFTER EXISTING WALL CABINET HEATER IS REMOVED. PRIME AND PAINT ENTIRE SPACE.
- 108

ALTERNATE 1: NEW STEEL CANOPY WITH TRANSLUCENT PANEL ROOF.
- 109

NEW 4" CONCRETE HOUSEKEEPING PAD FOR NEW FURNACE. (SEE MECHANICAL PLANS)
- 110

EXISTING 3" STL. TUBE COLUMN AND MASONRY ENCLOSURE TO REMAIN.
- 111

NEW FABRICATED STEEL HANDRAIL FACTORY PRIMED AND FINISHED. USE APPROVED EPOXY ANCHORS FOR INSTALLATION INTO CONCRETE SLABS.
- 112

EXISTING IT CABINET TO REMAIN. PROTECT DURING CONSTRUCTION. REMOVE PLYWOOD BACKING FASTENED TO EXISTING MASONRY WALL AS REQUIRED FOR NEW DOOR AND FRAME INSTALLATION.
- 113

NEW FURNACE INSTALLATION. SEE MECHANICAL DRAWINGS.
- 114

4" POURED CONCRETE PLAZA SLAB. PROVIDE REINFORCING AS SHOWN ON DRAWINGS. SAWCUT CONTROL JOINTS EVENLY SPACED.
- 115

INSTALL 12" THICK POURED THICKENED CONCRETE PAD WITH W2.9xW2.9 WWF IN THE TOP 1/2 OF THE SLAB OVER VAPOR BARRIER. DRILL AND EPOXY SET #6 12" LONG BARS AT 12" O.C. INTO EXISTING 4" CONCRETE SLAB PRIOR TO POURING NEW THICKENED SLAB.
- 116

ADD (6) ARBORVITAE SHRUBS AROUND NEW CONDENSING UNIT FOR SCREEN. PLANT FAR ENOUGH AWAY FOR PROPER VENTILATION

DEMOLITION KEY NOTES - FLOOR PLAN:

- 1

REMOVE EXISTING LANDSCAPE BED AND LANDSCAPING COMPLETE.
- 2

REMOVE EXISTING LANDSCAPE. STRIP EXISTING GRASS AREA AND REMOVE TOP SOIL. PREPARE AREA FOR BASEMENT EXCAVATION.
- 3

REMOVE EXISTING WINDOW AND STONE SURROUND COMPLETE. INFILL EXISTING OPENING AS DEPICTED IN DRAWINGS.
- 4

REMOVE PORTION OF EXISTING EXTERIOR WALL FOR NEW OPENING AS DEPICTED IN DRAWINGS.
- 5

REMOVE EXISTING FLOOR COVERING AND BASE COMPLETE.
- 6

REMOVE EXISTING METAL STAIR AND RAILING COMPLETE.
- 7

REMOVE EXISTING LAY-IN CEILING AND GRID COMPLETE. PREPARE FOR NEW LAY-IN CEILING.
- 8

REMOVE EXISTING CONCRETE SIDEWALK FOR NEW WORK. VERIFY EXACT DIMENSIONS IN FIELD.
- 9

REMOVE EXISTING WOOD ENTRY DOOR SYSTEM COMPLETE INCLUDING HARDWARE.
- 10

REMOVE EXISTING WALL CABINET HEATER. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- 11

REMOVE EXISTING EXTERIOR HOSE BIB. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- 12

REMOVE EXISTING RISERS FOR NEW WORK. REFER TO ARCHITECTURAL DRAWINGS.
- 13

REMOVE EXISTING HANDRAIL COMPLETE.
- 14

REMOVE PORTION OF EXISTING 12" CONCRETE MASONRY WALL FOR NEW DOOR OPENING. TOOTH-IN NEW MASONRY BULL-NOSED JAMBS.
- 15

EXISTING OVERHANG TO REMAIN. STRIP BACK EXISTING BUILT UP ROOF, METAL FASCIA AND COPING COMPLETE IN PREPARATION FOR NEW CONSTRUCTION. TEMP IN EXISTING ROOF AS REQUIRED TO KEEP EXISTING SPACE WATERTIGHT.
- 16

REMOVE EXISTING OVERHANG COMPLETE FOR NEW CONSTRUCTION. STRIP BACK EXISTING BUILT UP ROOF, METAL FASCIA AND COPING COMPLETE. CUT 2x6 BACK SO IT'S FLUSH WITH FACE OF BUILDING. TEMP IN EXISTING ROOF AS REQUIRED TO KEEP EXISTING SPACE WATERTIGHT.
- 17

REMOVE EXISTING STONE SURROUND COMPLETE. PREPARE FOR NEW BRICK INSTALLATION. TOOTH IN NEW BRICK AS SHOWN OR DRAWINGS.
- 18

REMOVE EXISTING MASONRY AND SHORE AS REQUIRED FOR NEW WORK.
- 19

REMOVE EXISTING 12"x12" CEILING TILE SYSTEM.
- 20

REMOVE EXISTING SOFFIT MATERIAL AS REQUIRED FOR NEW WORK.
- 21

REMOVE PORTION OF EXISTING SOFFIT BACK TO EXISTING 2x10 FOR NEW WORK. STRIP BACK EXISTING BUILT UP ROOF, METAL FASCIA AND COPING COMPLETE. TEMP IN EXISTING ROOF AS REQUIRED TO KEEP EXISTING SPACE WATERTIGHT.
- 22

REMOVE PORTION OF EXISTING CONCRETE SLAB AS REQUIRED FOR NEW THICKENED SLAB PER MANUFACTURES REQUIREMENTS.

NEW WORK PLAN - GENERAL NOTES:  
(APPLIES TO ALL ROOMS)

- ALL DIMENSIONS TO EXISTING ELEMENTS TO BE CONSIDERED +/- (V.I.F.)
- PATCH, PREP, & PAINT ALL AREAS DISTURBED BY CONSTRUCTION.
- REMOVE, SALVAGE, & REINSTALL ALL EXIST SIGNAGE ON EXIST DOORS TO BE REPLACED (VIF)
- PREP & PAINT EXISTING CONSTRUCTION TO MATCH EXISTING AT ALL AREAS OF DEMO/ MECH/ ELEC FIXTURES (I.E. SURFACE MOUNTED LIGHTS, EXIT LIGHTING, ELEC PANELS, ETC.)
- REMOVE & REPLACE EXISTING ACOUSTIC CEILING TILES, GRILLES, REGISTERS, AND DIFFUSERS AS REQUIRED FOR NEW WORK - SEE MECH & ELEC DWGS.
- ALL OUTSIDE CORNERS OF ALL NEW PLASTIC LAMINATE COUNTERTOP TO HAVE A RADIUS.
- SEE PLANS FOR EXISTING TOILET ACCESSORIES TO BE REMOVED & REINSTALLED IN LOCATION TO MATCH EXISTING (VIF) IN AREAS OF NEW WORK.
- IN AREAS TO RECEIVE NEW FLOORING, CONTRACTOR TO PROTECT EXISTING TECHNOLOGY EQUIPMENT TO REMAIN (E.G., PROJECTORS, DIGITAL DISPLAYS, SOUND SYSTEM AMPLIFIERS, WIRELESS ACCESS POINTS, ETC.) IN EACH ROOM AFFECTED - BY OTHERS.
- IN AREAS TO RECEIVE NEW CEILING SYSTEMS, CONTRACTOR TO TEMPORARILY SUPPORT & PROTECT EXISTING TECHNOLOGY EQUIPMENT TO REMAIN AS REQUIRED FOR NEW WORK IN EACH ROOM AFFECTED - BY OTHERS.
- REMOVE & RELOCATE / REINSTALL (1) EXIST LIGHT FIXTURE PER VUV AS REQUIRED FOR NEW WORK - SEE MECH & ELEC DWGS.
- EXIST FLOORING OVER EXIST CLEAN OUT / MONUMENT COVERS TO BE REMOVED AS NOTED FOR REST OF ROOM. NEW LVT TO BE TRIMMED AROUND EXIST CLEAN OUT / MONUMENT COVER & APPLIED TO CLEAN OUT / MONUMENT COVER TO MATCH EXIST CONDITION.

KEY NOTES LEGEND:

1-5

■

 QUANTITY OF SEGMENTS TO BE REPLACED (+/- 4'-1 1/2" W - VIF)

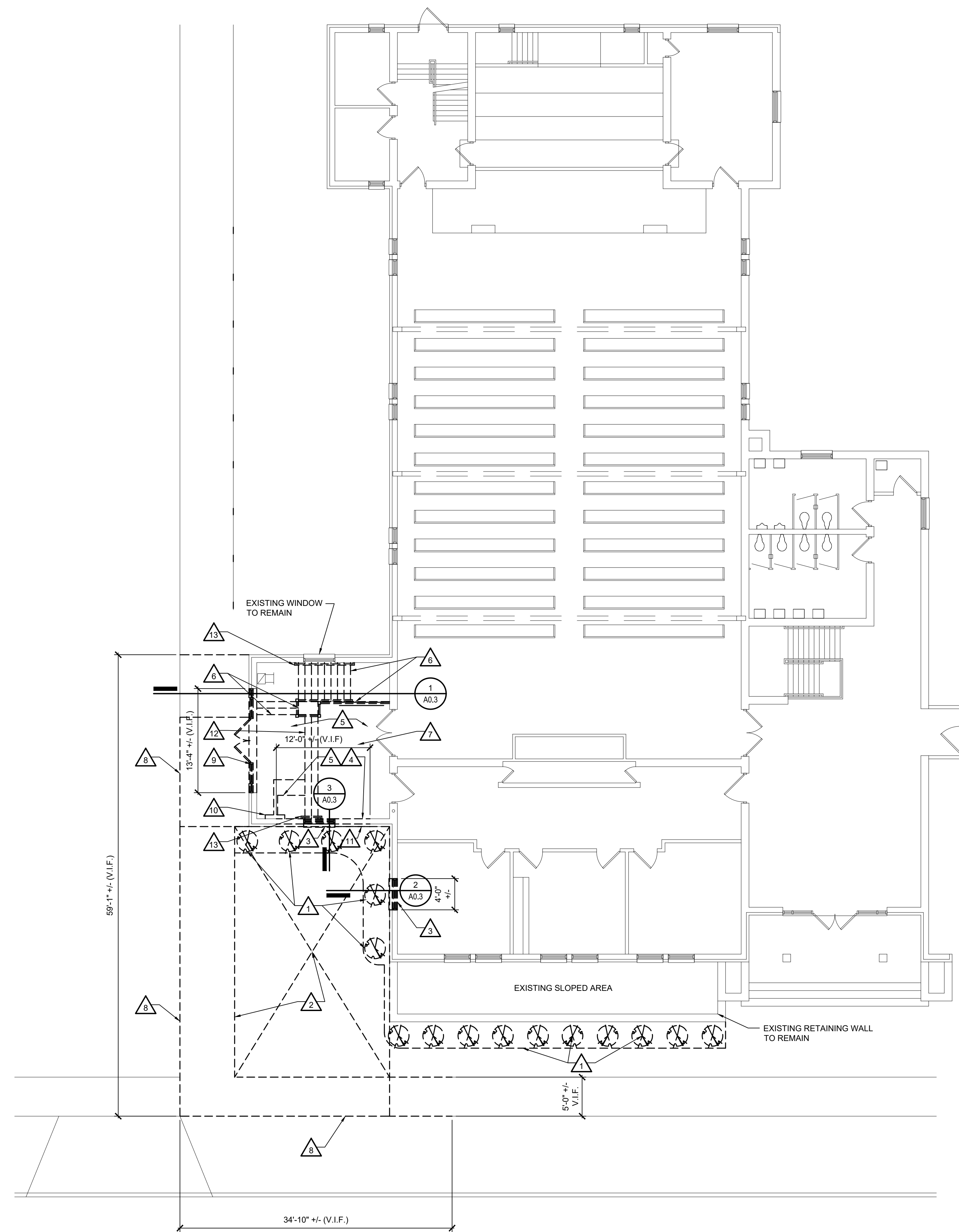
1-3

X'-X" W

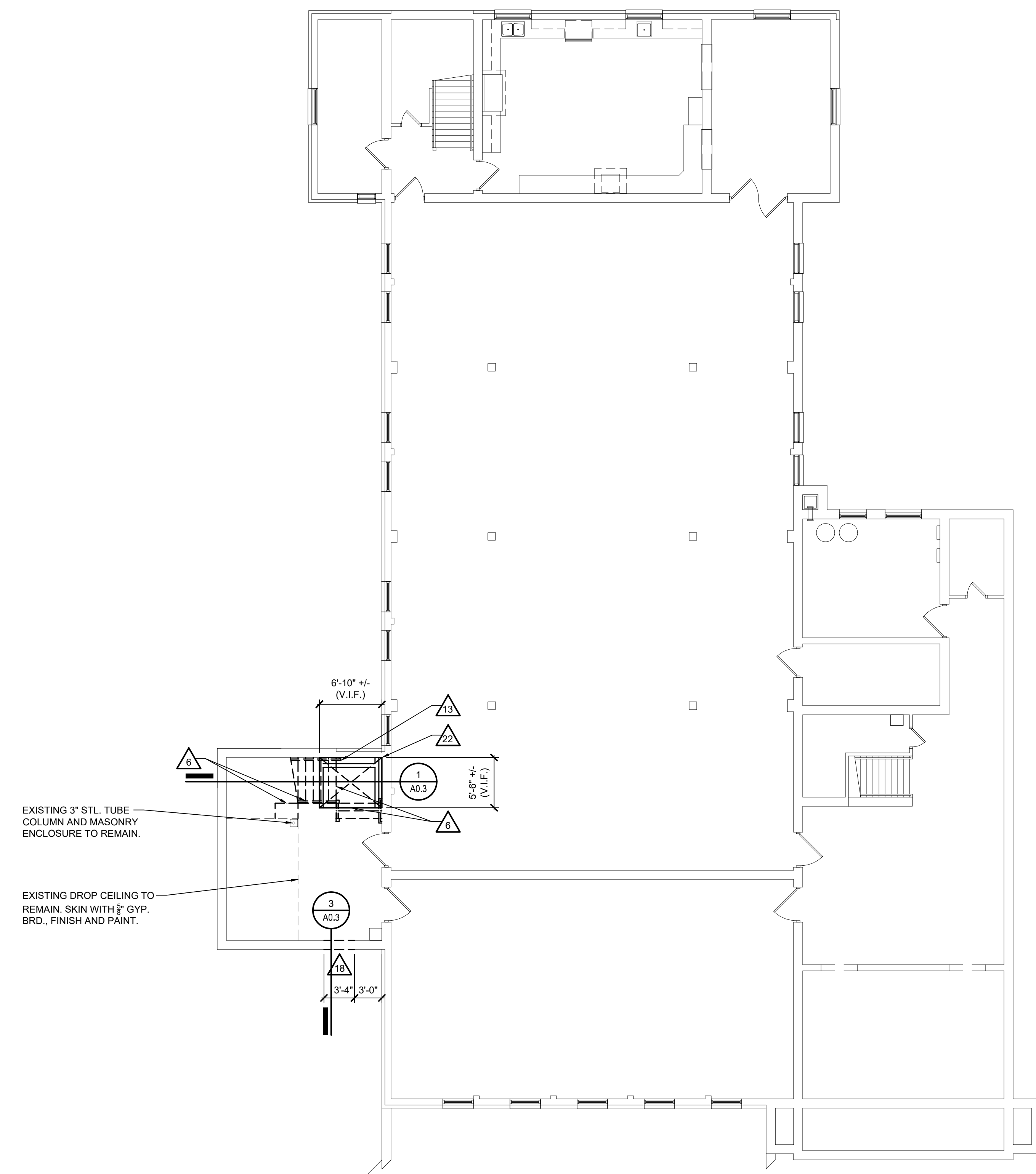
X'-X" H

 OPENING WIDTH (VIF)  
OPENING HEIGHT (VIF)



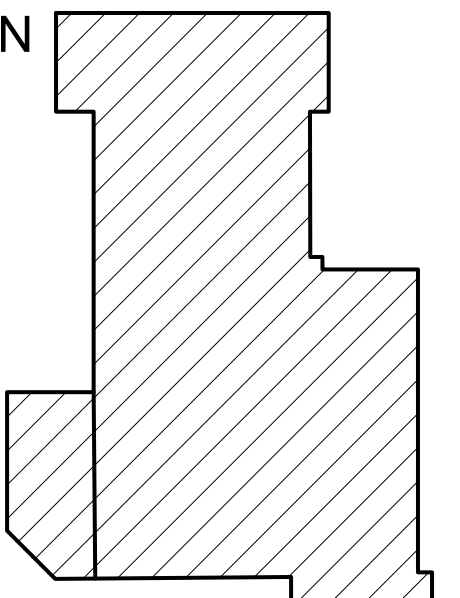


**DEMOLITION - FIRST FLOOR PLAN**



**DEMOLITION - BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"

## KEY PLAN









FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335

DEMOLITION WALL  
SECTIONS

PRELIMINARY	<input type="checkbox"/>
DESIGN DEVELOPMENT	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
FINAL RECORD	<input type="checkbox"/>

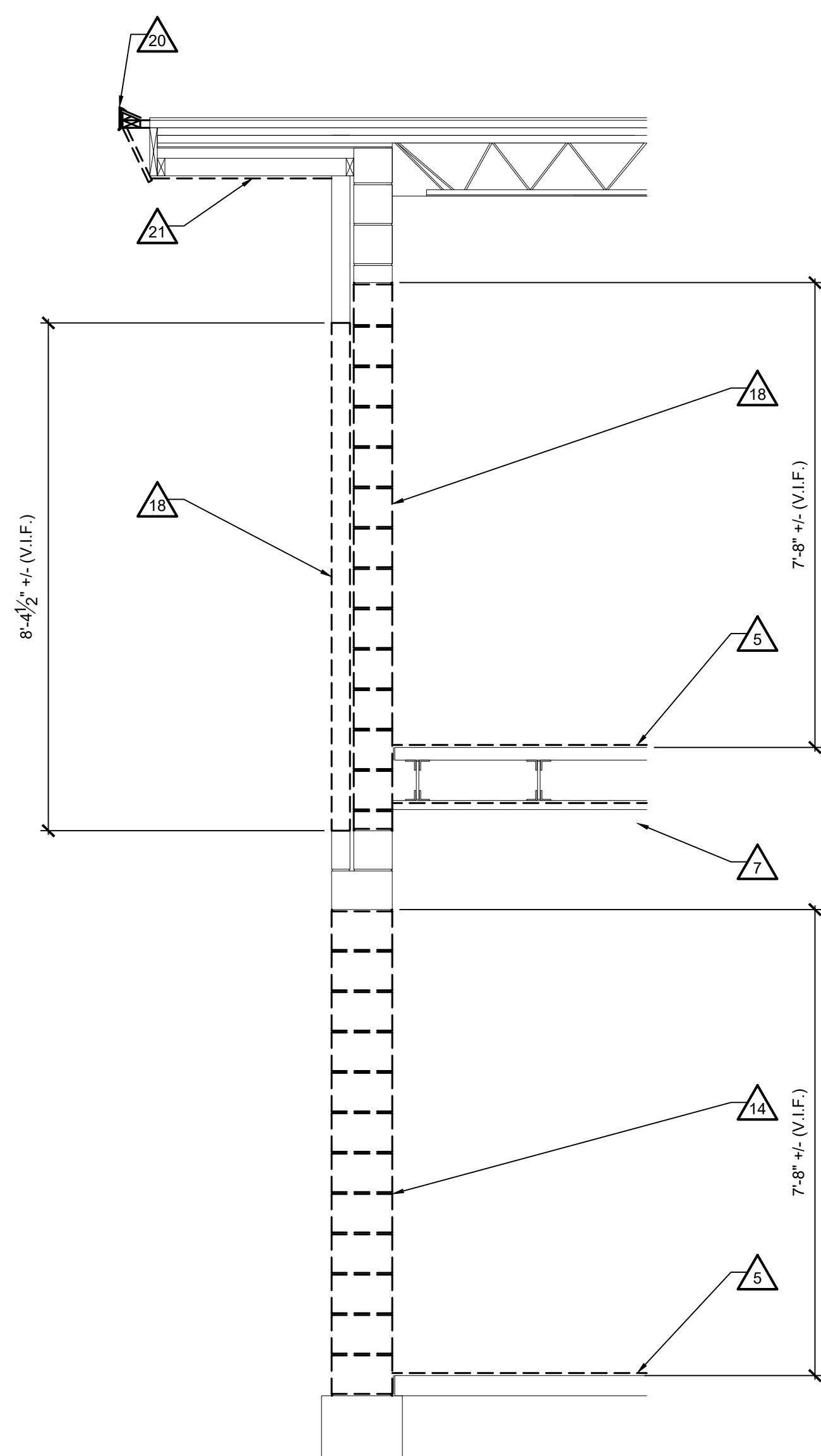
RAWN BY DCW/JMW  
CHECKED BY DCW/BS

## REVISIONS

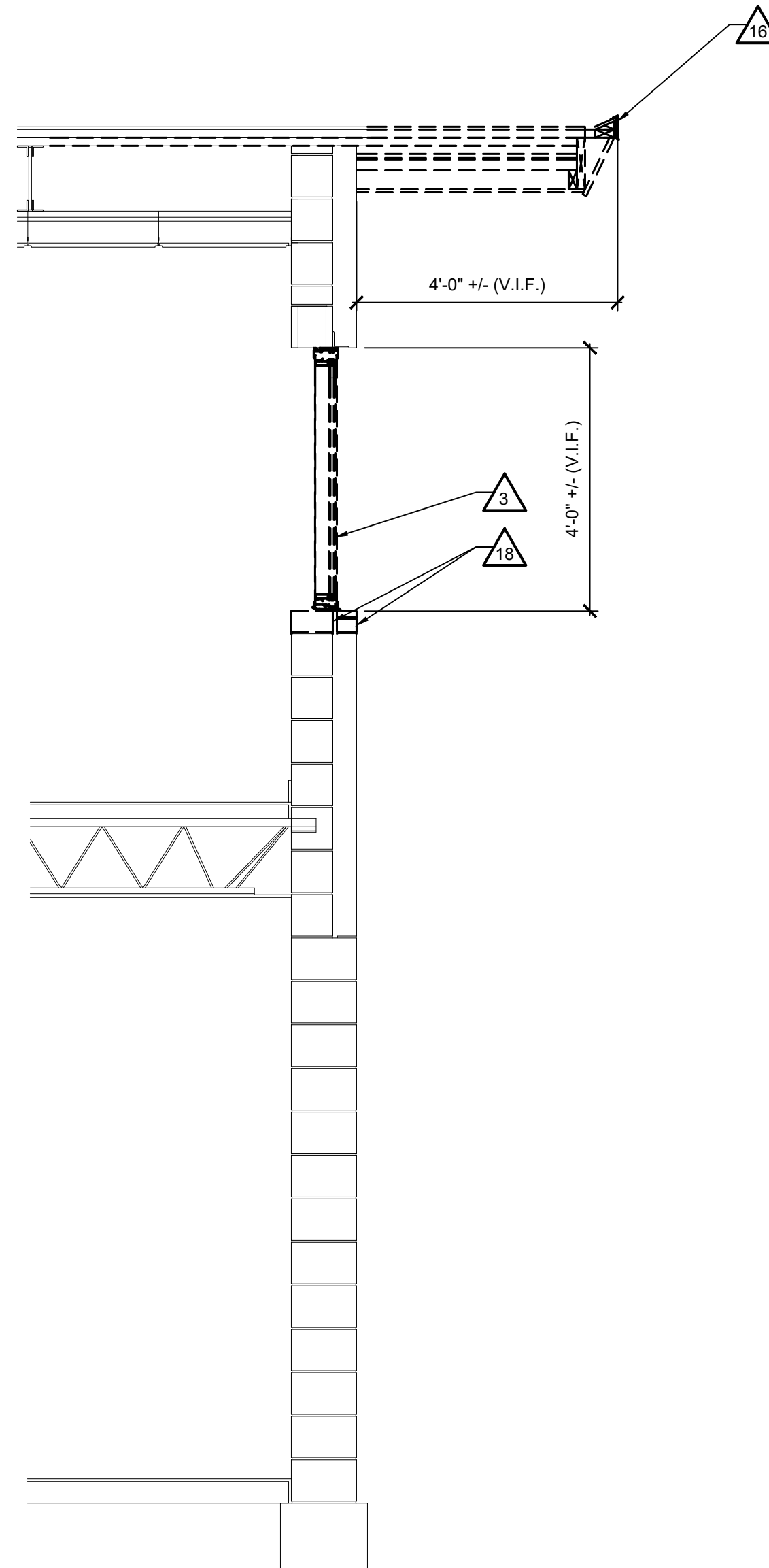
DATE: JUNE 27, 2025
SHEET NO.

A0.3

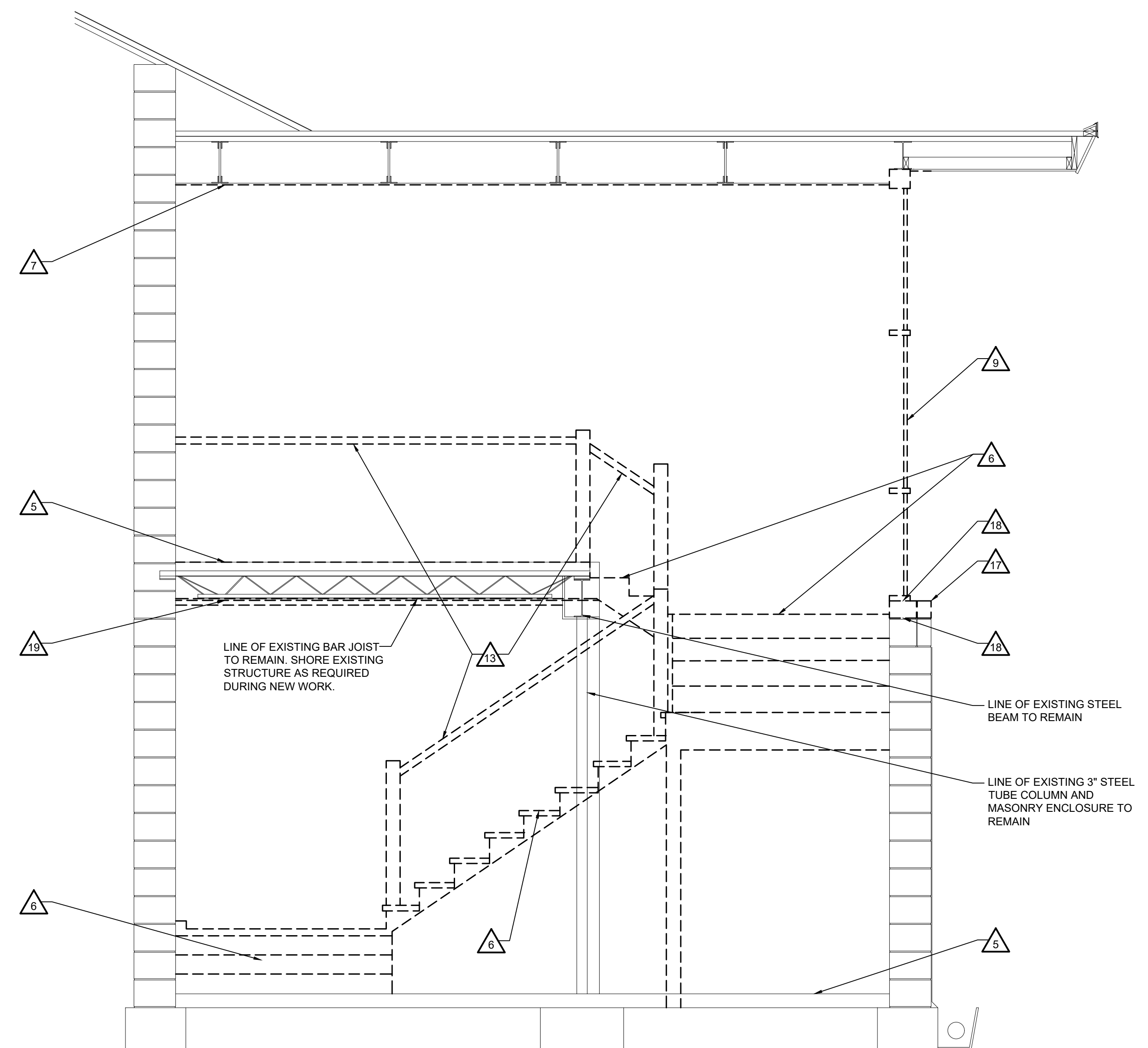
B NO. 232004



3 DEMOLITION WALL SECTION  
A0.3 SCALE: 1/2" = 1'-0"

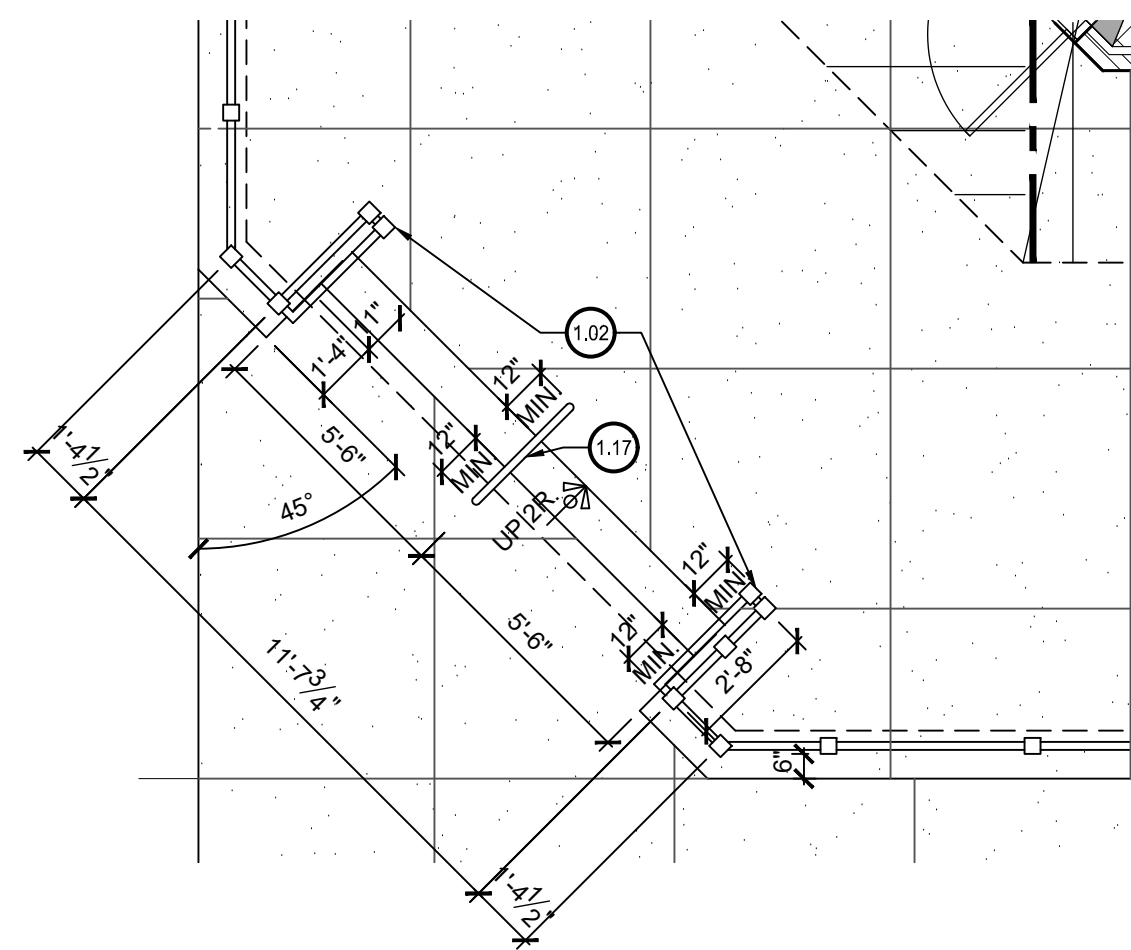
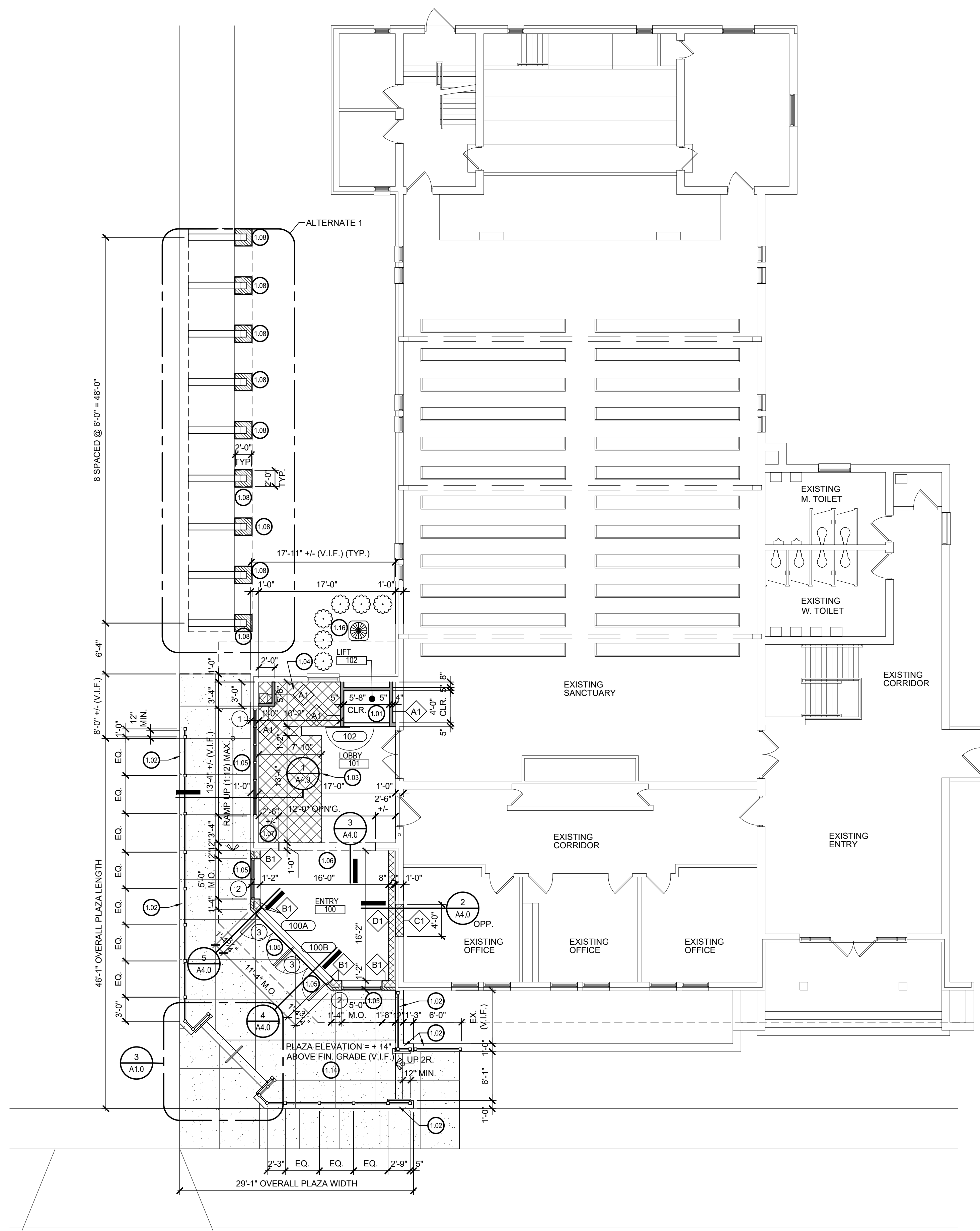


2 DEMOLITION WALL SECTION  
A0.3 SCALE: 1/2" = 1'-0"



1 DEMOLITION WALL SECTION  
A0.3 SCALE: 1/2" = 1'-0"



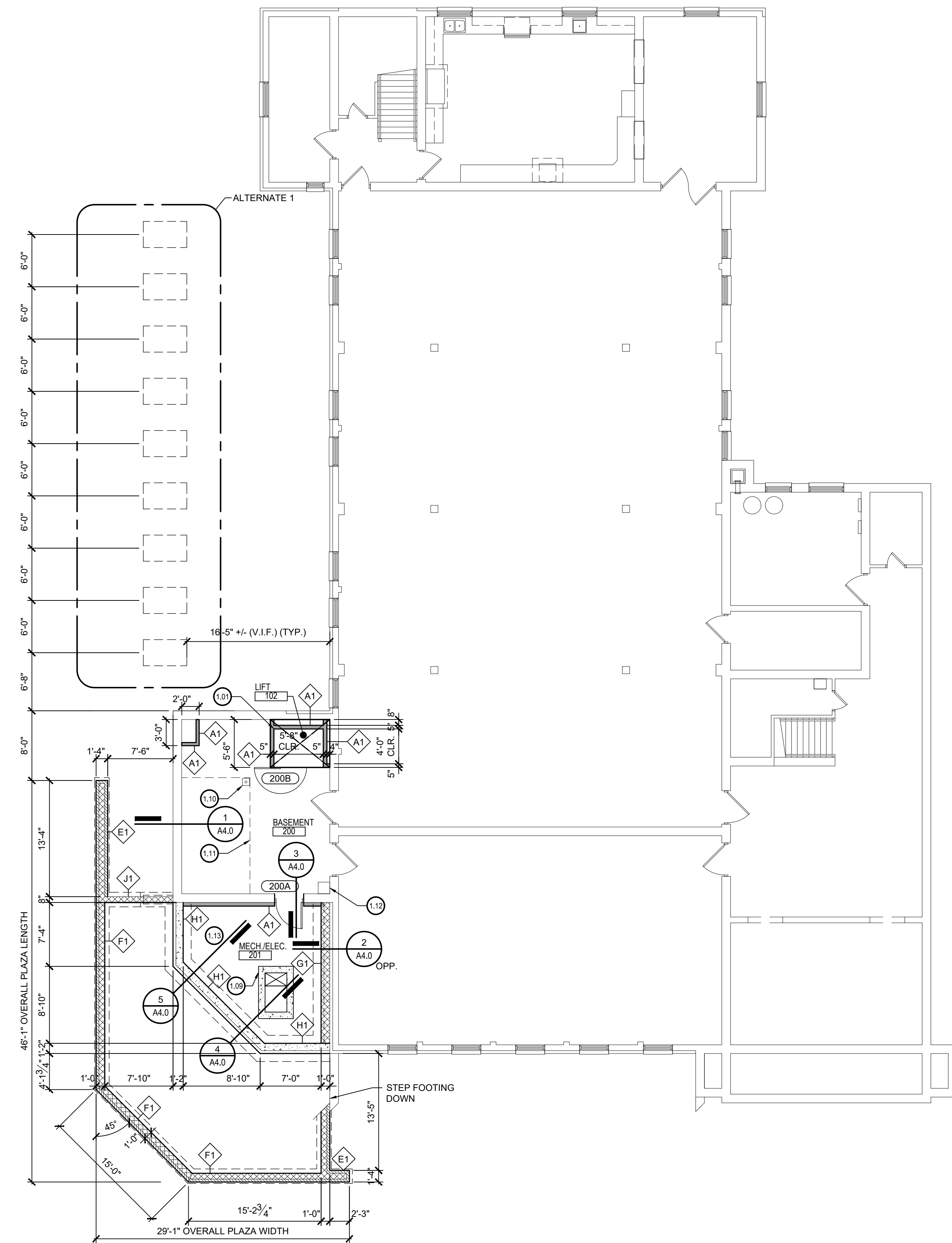
3 ENLARGED PATIO STAIR PLAN  
A1.0 SCALE: 1/4" = 1'-0"2 NEW WORK - MAIN LEVEL PLAN  
A1.0 SCALE: 1/8" = 1'-0"

## WALL LEGEND

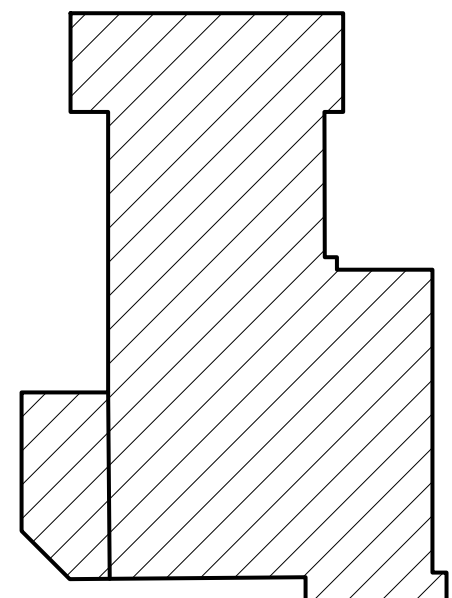
## NOTES:

1. ALL NEW WALLS SHALL BE TO UNDERSIDE OF DECK.

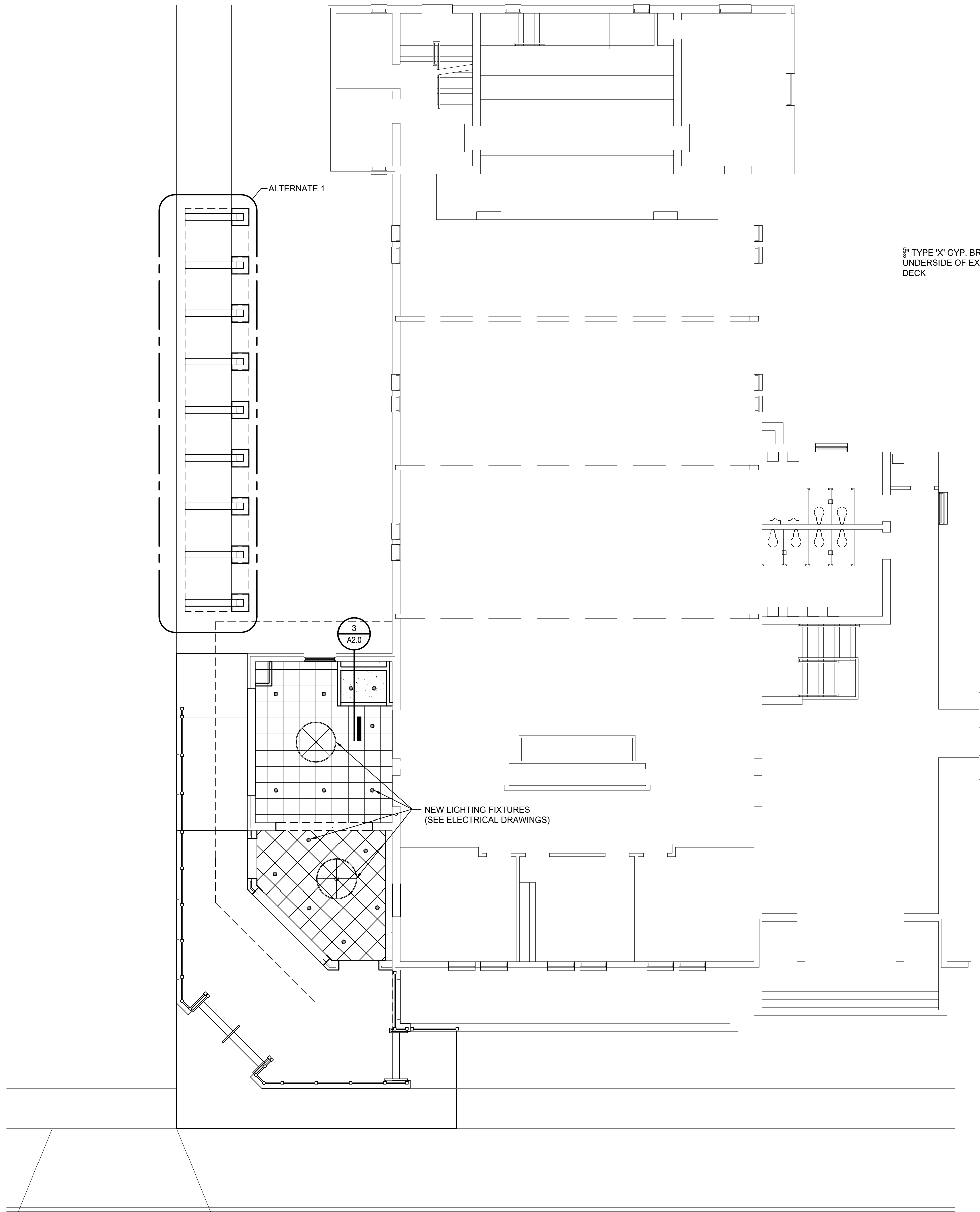
- A1 3" HEAVY GAUGE CFMF @ 16" O.C. W/ 1/2" TYPE 'X' GYP. BRD. EACH SIDE WHERE APPLICABLE
- B1 CAVITY WALL - 8" CONCRETE BLOCK ON 2" RIGID POLYSTYRENE INSULATION OVER 4" BRICK VENEER
- C1 8" CONCRETE BLOCK W/ 2" AIRSPACE BETWEEN EXISTING WALL
- D1 8" CONCRETE BLOCK ON OVER 4" BRICK VENEER
- E1 4" BRICK VENEER ON 8" CONCRETE BLOCK OVER 4" BRICK VENEER (4" CONCRETE BLOCK WITH DAMP PROOFING WHERE BURIED)
- F1 4" BRICK VENEER ON 8" CONCRETE BLOCK WITH DAMP PROOFING WHERE BURIED
- G1 12" CONCRETE BLOCK
- H1 14" POURED CONCRETE WALL
- J1 8" CONCRETE BLOCK WITH DAMP PROOFING WHERE BURIED

1 NEW WORK - BASEMENT PLAN  
A1.0 SCALE: 1/8" = 1'-0"

## KEY PLAN





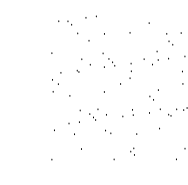


**2 REFLECTED CEILING PLAN - MAIN LEVEL**  
A2.0 SCALE: 1/8" = 1'-0"

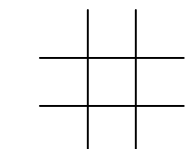
**NEW CEILING LEGEND**

NOTES:

1. SEE MECHANICAL AND ELECTRICAL PLANS FOR ALL LIGHTING AND MECHANICAL FIXTURE LOCATIONS AND TYPES.



5/8" TYPE 'X' GYPSUM BOARD FASTENED TIGHT TO UNDERSIDE OF EXISTING STRUCTURE.

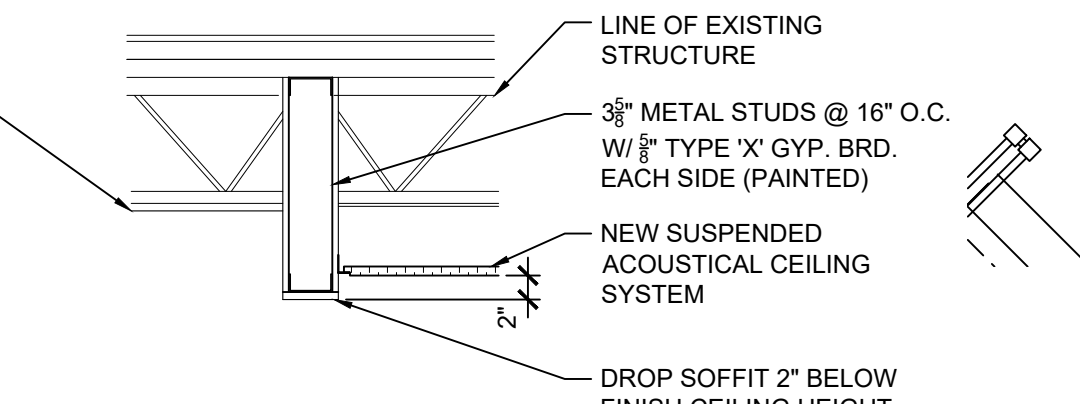


24"x24" ACOUSTICAL CEILING TILE AND GRID - ARMSTRONG, DESIGNER - ANGLED TEGULAR, COARSE TEXTURE, PRELUDE SUSPENSION SYSTEM

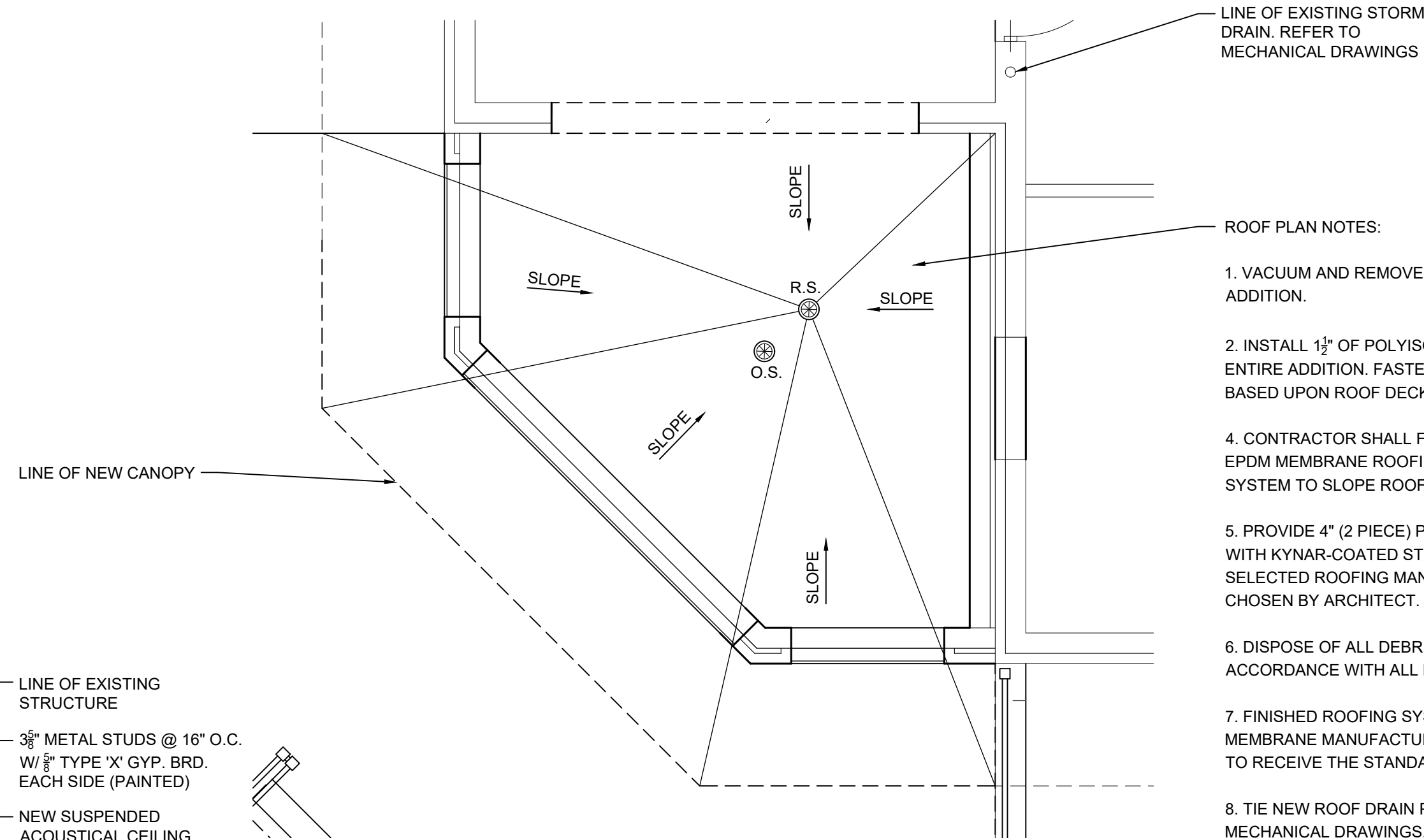


24"x48" ACOUSTICAL CEILING TILE AND GRID - ARMSTRONG, DESIGNER - ANGLED TEGULAR, COARSE TEXTURE, PRELUDE SUSPENSION SYSTEM

5/8" TYPE 'X' GYP. BRD. ON UNDERSIDE OF EXISTING DECK



**3 CEILING DETAIL**  
A2.0 SCALE: 3/4" = 1'-0"



**4 PARTIAL ROOF PLAN**  
A2.0 SCALE: 1/8" = 1'-0"

ROOF PLAN NOTES:

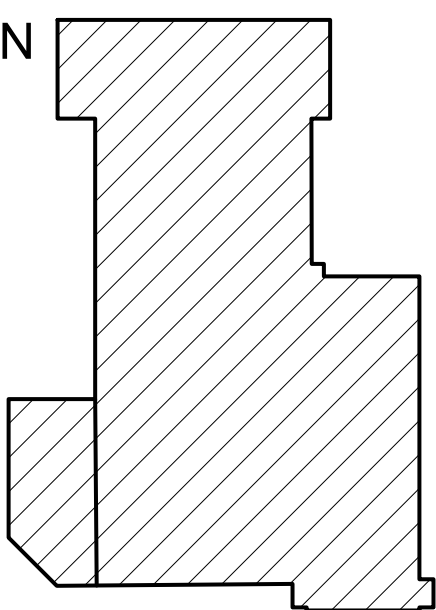
- VACUUM AND REMOVE ALL LOOSE GRAVEL AS REQUIRED FOR NEW ADDITION.
- INSTALL 1 1/2" OF POLYISOCYANURATE INSULATION TO COVER THE ENTIRE ADDITION. FASTEN IN ACCORDANCE WITH SPECIFICATIONS BASED UPON ROOF DECK CONDITION.
- CONTRACTOR SHALL FURNISH AND INSTALL A 60 MIL SINGLE-PLY EPDM MEMBRANE ROOFING SYSTEM. PROVIDE NECESSARY TAPERED SYSTEM TO SLOPE ROOF TOWARD DRAINS.
- PROVIDE 4" (2 PIECE) PRE-FINISHED METAL FASCIA JOOPING COVER WITH KYNAR-COATED STEEL METAL COVER, AS MANUFACTURED BY SELECTED ROOFING MANUFACTURER. COLOR TO MATCH EXISTING OR CHOSEN BY ARCHITECT.
- DISPOSE OF ALL DEBRIS IN AN APPROVED FACILITY IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- FINISHED ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MEMBRANE MANUFACTURERS PUBLISHED SPECIFICATIONS IN ORDER TO RECEIVE THE STANDARD 25 YEAR WARRANTY.
- TIE NEW ROOF DRAIN PIPING INTO EXISTING STORM LINE. (SEE MECHANICAL DRAWINGS.)

OPEN UP EXIST. PLASTER DROP AS REQ'D. FOR NEW MECHANICAL DUCT WORK. SKIN W/ 5/8" GYP. BRD., FINISH & PAINT ENTIRE DROP WHEN COMPLETE

EXPOSED CEILING

**2 REFLECTED CEILING PLAN - BASEMENT LEVEL**  
A2.0 SCALE: 1/8" = 1'-0"

KEY PLAN



**FIRST BAPTIST CHURCH OF FARMINGTON**  
**33400 SHIAWASSEE ST., FARMINGTON, MI 48335**

REFLECTED CEILING PLANS / ROOF PLAN

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY: DCW/JMW  
CHECKED BY: DCW/BS

REVISIONS

DATE: JUNE 27, 2025  
SHEET NO.

**A2.0**

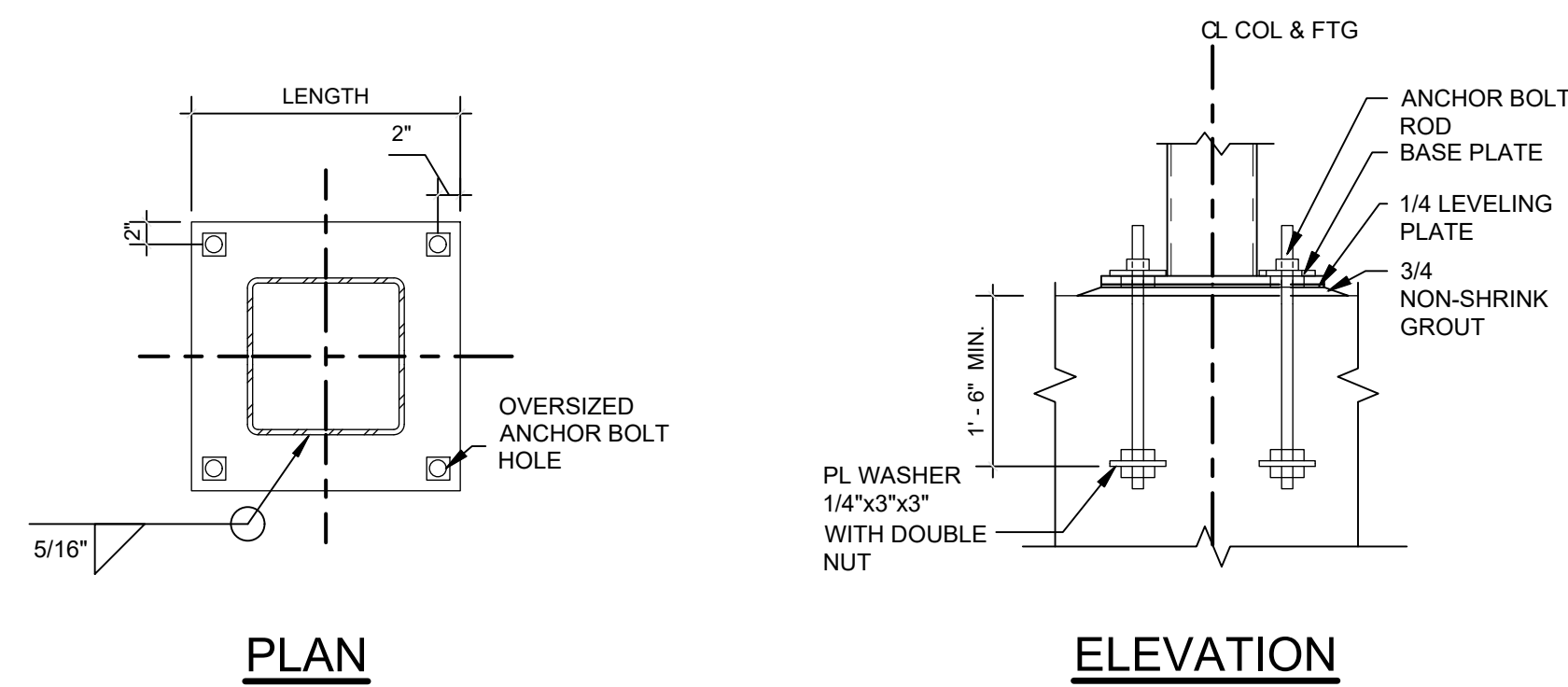
JOB NO. 232004

**WA**

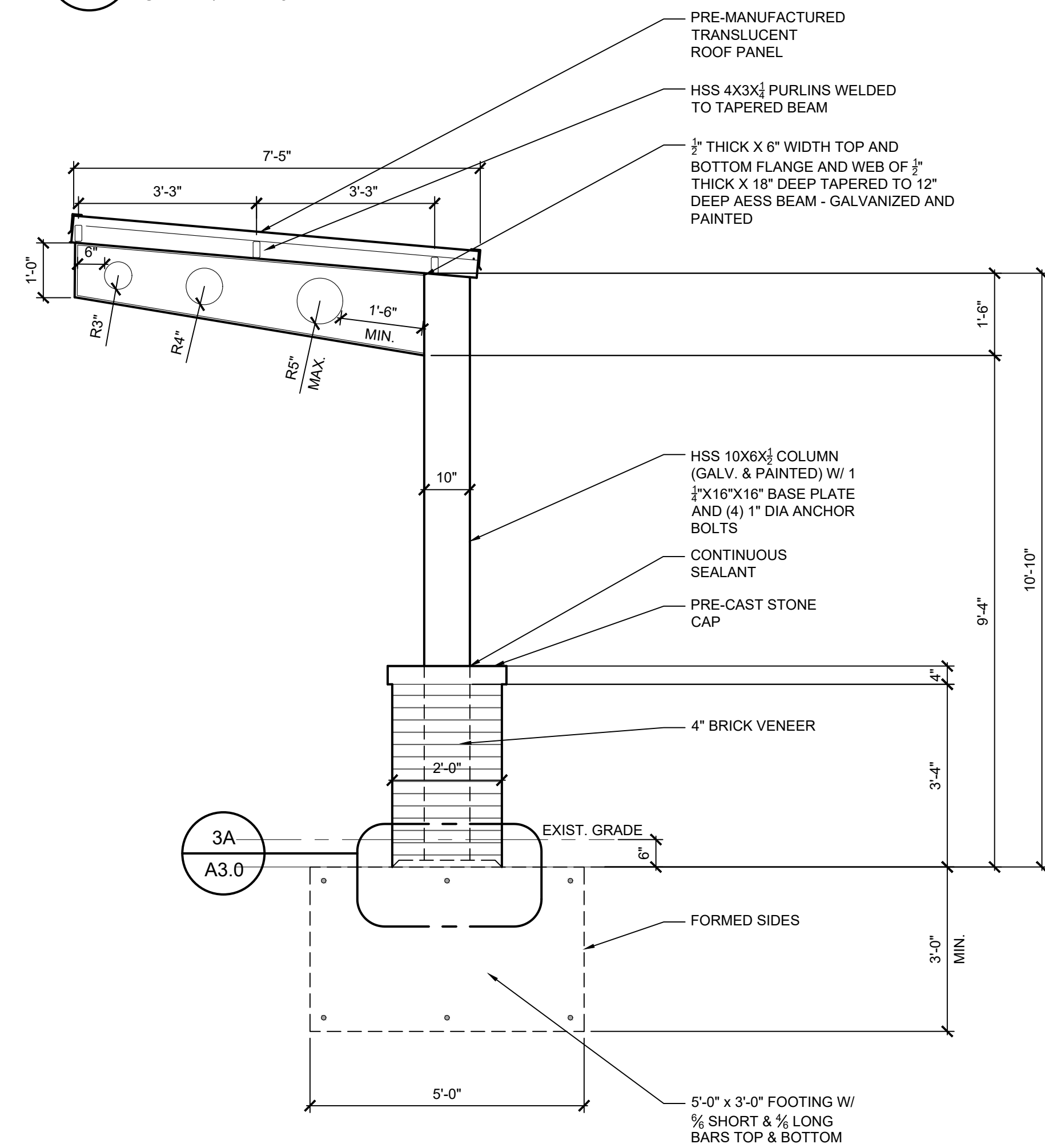
WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 200  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com

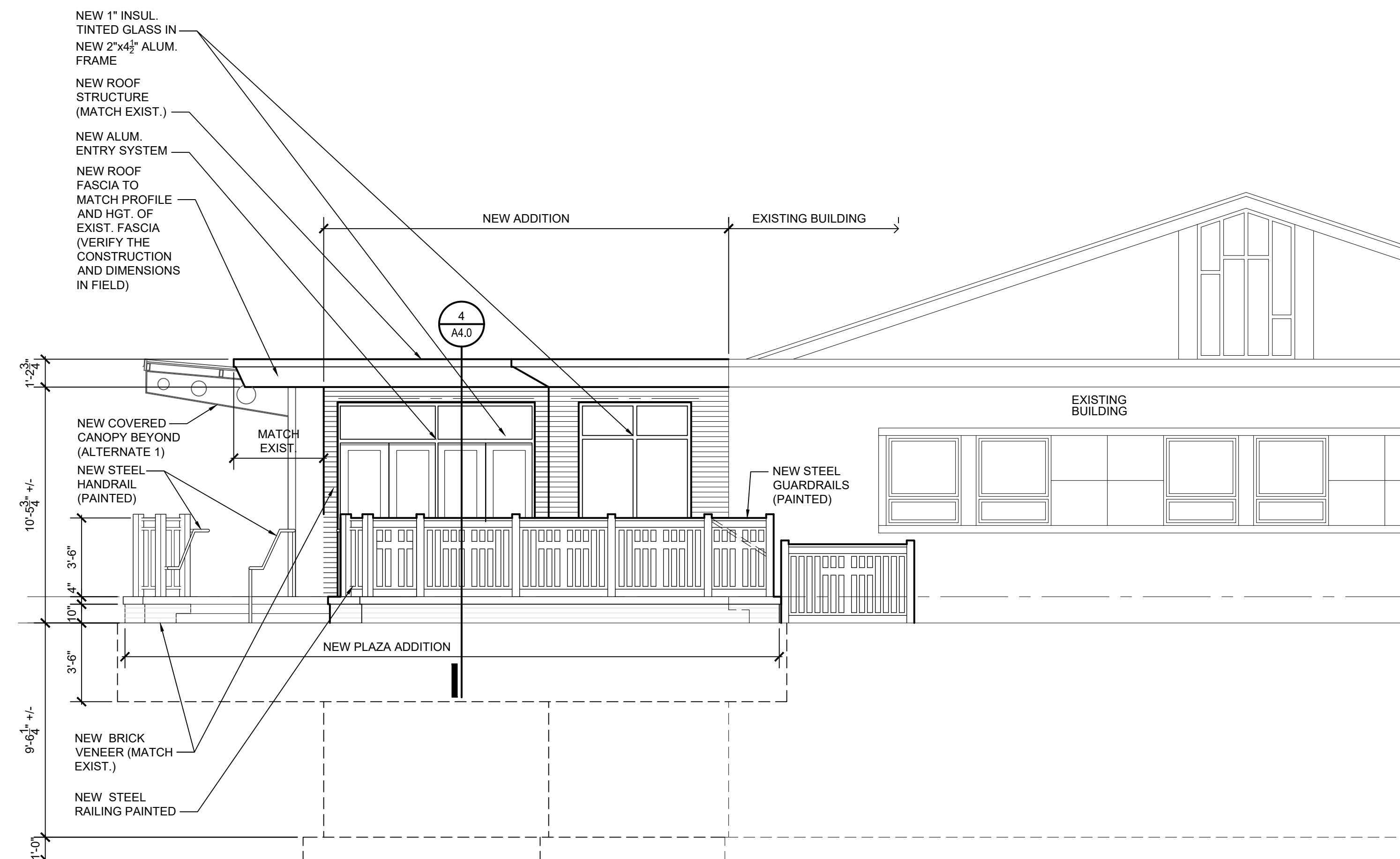




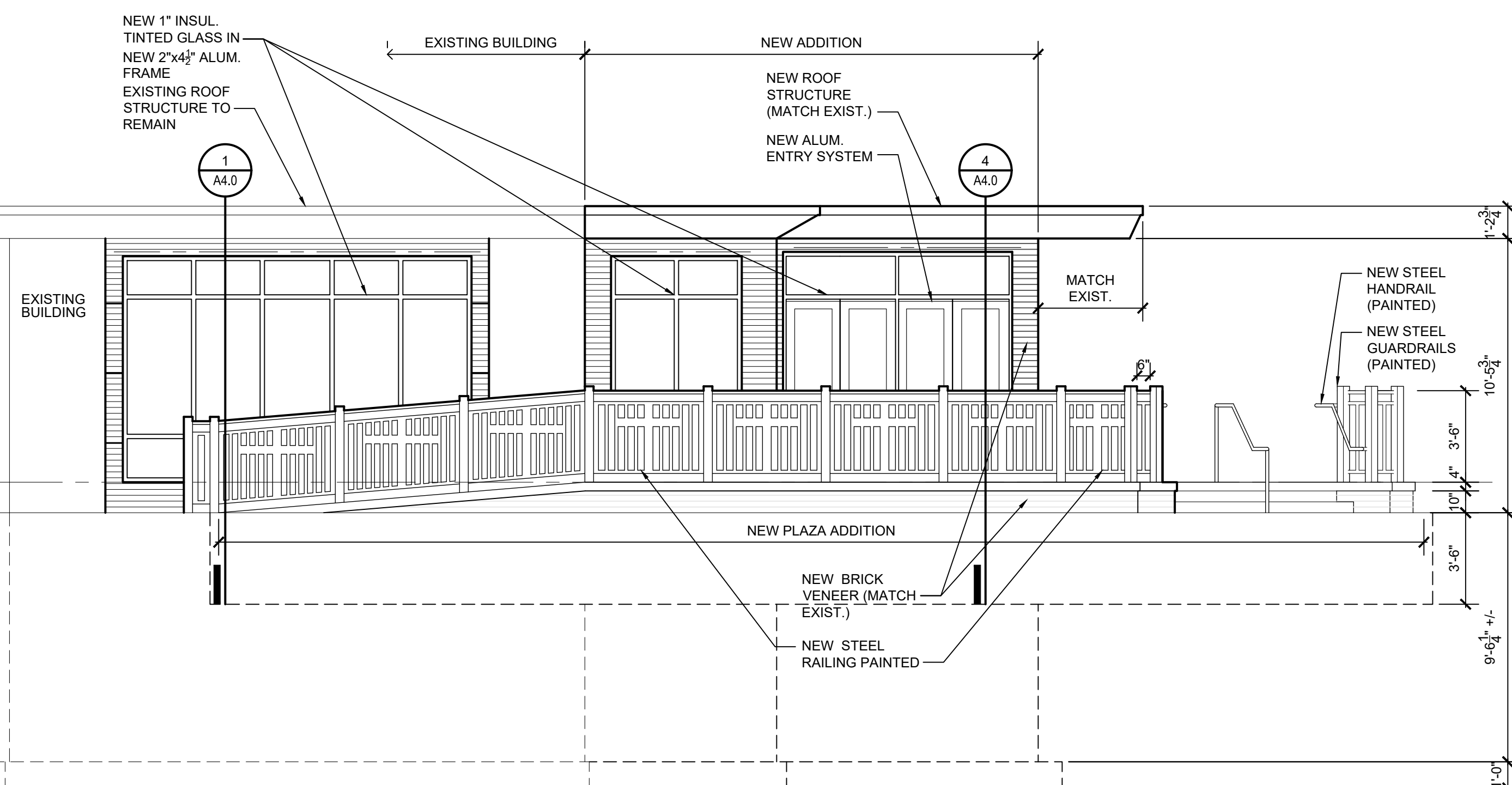
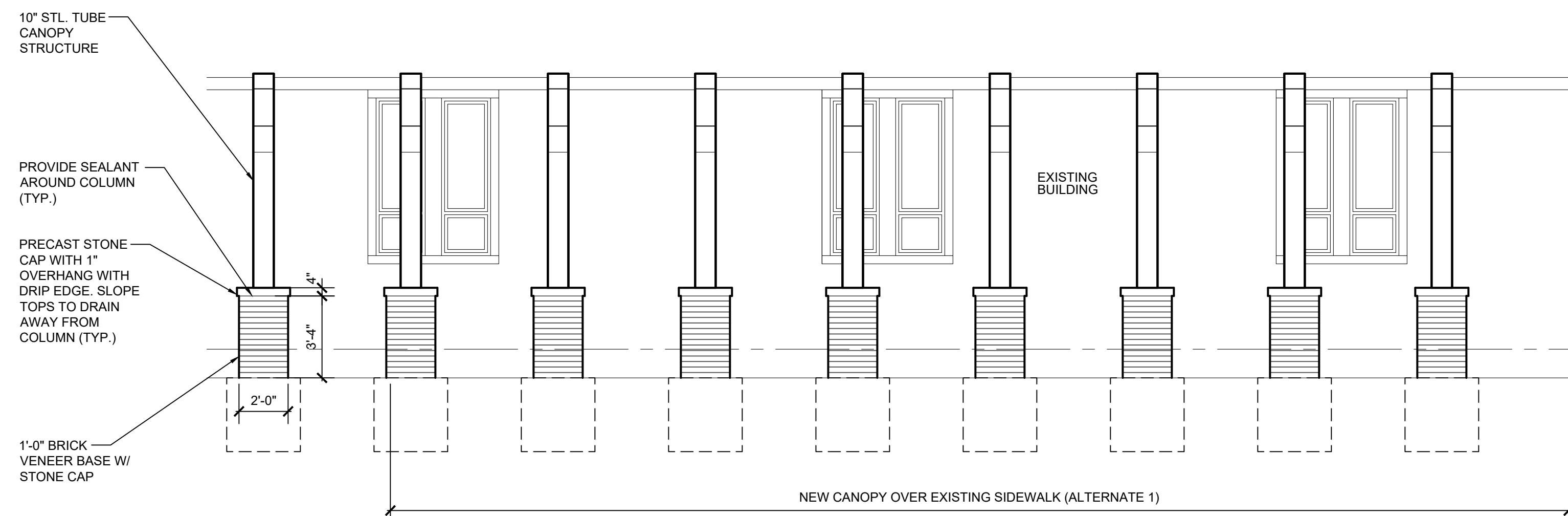
3A ALT. 1 CANOPY ELEVATION  
A3.0 SCALE: 1/4" = 1'-0"



3 ALT. 1 CANOPY ELEVATION  
A3.0 SCALE: 1/4" = 1'-0"

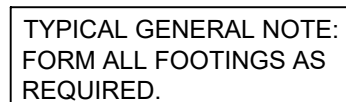


2 PARTIAL SOUTH ELEVATION  
A3.0 SCALE: 1/4" = 1'-0"



1 PARTIAL WEST ELEVATION  
A3.0 SCALE: 1/4" = 1'-0"







ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	SOUTH	WEST	EAST	MAT'L	HGT.	
100	ENTRY	LVT	4RB	ETR	PT	PT	PT	ACT	9'-0"	1,2,3,4
101	LOBBY	LVT	4RB	PT	PT	PT	PT	ACT	8'-8"	1,2,3,4
102	LIFT SHAFT	EC	-	PT	PT	PT	PT	GB	VARIES	1,2,4,5,6
200	BASEMENT	LVT	4RB	PT	PT	PT	PT	ACT	9'-0"	1,2,3,4
201	MECH./ELEC.	LVT	4RB	PT	PT	PT	PT	ES	10'-0"	1,2

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE AND GRID	PT	PAINT
CMU	CONCRETE MASONRY UNITS	GL	GLASS
CT	CERAMIC TILE	DP	DEMOUNTABLE PARTITION
ETR	EXISTING TO REMAIN	LW	LINEAL WOOD
EP	EPOXY PAINT	ES	EXPOSED STRUCTURE
GB	GYPSUM BOARD	WOC	WALK-OFF CARPET
AS	ACOUSTICAL SPRAY ON DECK	RB	4" RESILIENT COVE BASE
CPT	CARPET	EPT	EPOXY PAINT
LVT	LUXURY VINYL TILE	EC	EXPOSED CONCRETE

REMARKS - ROOM SCHEDULE

1	VERIFY ALL FINISH CEILING HEIGHTS IN FIELD. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES PRIOR TO INSTALLATION.
2	CAULK FLOORING AS IT MEETS DISSIMILAR MATERIALS
3	PATCH AND REPAINT ALL EXISTING WALLS AS REQUIRED.
4	PROVIDE AND INSTALL ALL REQUIRED FLOOR TRANSITIONS, PIECES, AND THRESHOLDS
5	INSTALL GYP. BRD. TIGHT TO UNDERSIDE OF EXISTING DECK. IN LIFT SHAFT.
6	PROVIDE LVT AND 4RB FOR INSIDE OF WHEELCHAIR LIFT.

DOOR SCHEDULE

DOOR OPENING			DOOR			FRAME			THRESHOLD	U.L. LABEL	REMARKS
NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			
100A	2'-3'-0"	7'-0"	G	AL	PFN	3	AL	PFN	AL	-	1,3
100B	2'-3'-0"	7'-0"	G	AL	PFN	3	AL	PFN	AL	-	1,3
102	3'-0"	7'-0"	-	AL	PFN	-	AL	PFN	-	-	2
200A	3'-0"	6'-10"	F	HM	PT	4	HM	PT	-	-	3
200B	3'-0"	7'-0"	-	AL	PFN	-	AL	PFN	-	-	2

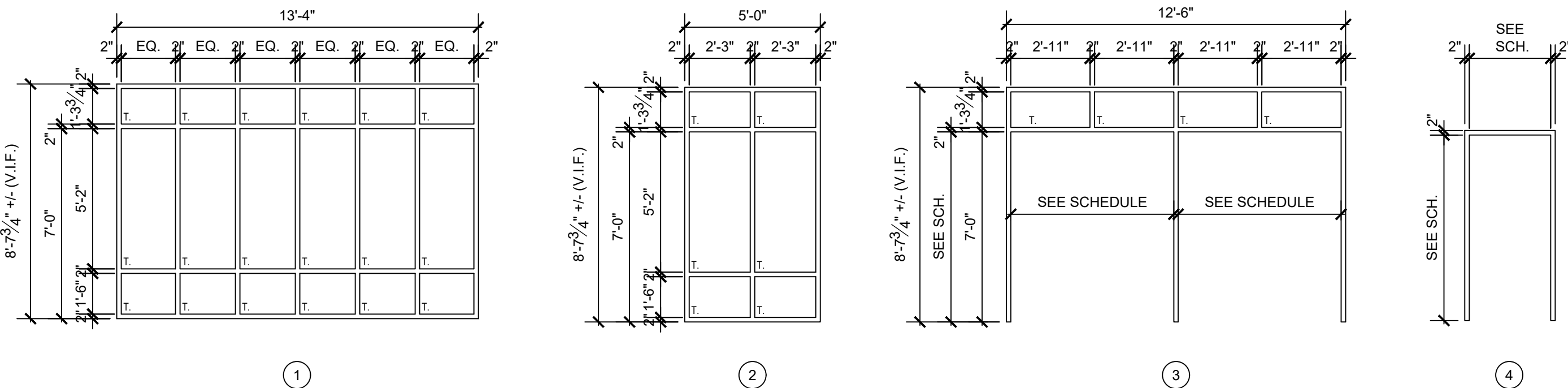
REMARKS - DOOR SCHEDULE

1	PROVIDE 1" INSULATED LAM. LOW E GLASS (TEMPERED) IN ALL EXTERIOR DOOR/WINDOW OPENINGS
2	ALUMINUM DOOR ASSEMBLY SUPPLIED THROUGH WHEELCHAIR LIFT MANUFACTURER.
3	PROVIDE ALL REQUIRED HARDWARE FOR DOOR OPENING. INCLUDING BUT NOT LIMITED TO CONTINUOUS HINGES, PANIC DEVICES, CYLINDERS, CORES, KICK PLATES AND CLOSERS.

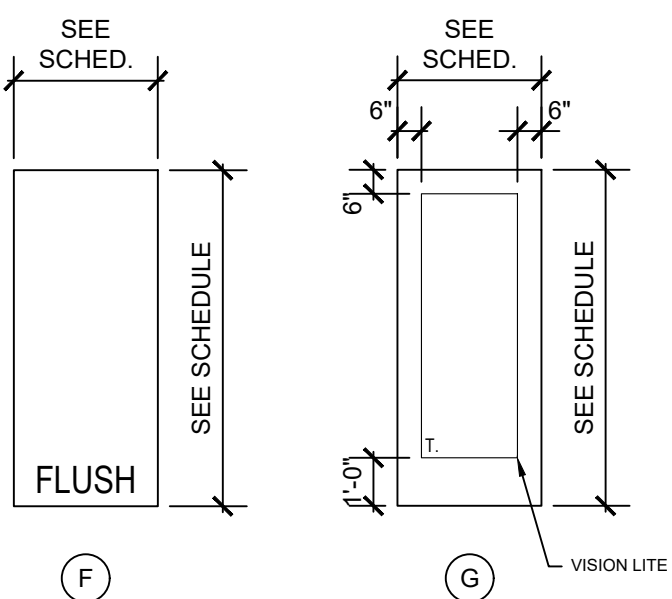
ABBREVIATIONS

AL	ALUMINUM
HM	HOLLOW METAL
PFN	PRE-FINISHED
PT	PAINT
MAR	MARBLE
ST	STAIN
WD	WOOD
T.	TEMPERED

FRAME ELEVATIONS:



DOOR ELEVATIONS:





STRUCTURAL GENERAL NOTES:

SPECIAL INSPECTION NOTES

1. SPECIAL STRUCTURAL INSPECTIONS SHALL COMPLY WITH CHAPTER 17 OF THE MICHIGAN BUILDING CODE.
2. SPECIAL STRUCTURAL INSPECTION IS REQUIRED IN ADDITION TO ANY INSPECTIONS REQUIRED BY THE LOCAL BUILDING DEPARTMENT OR GOVERNING OFFICIAL.
3. SPECIAL STRUCTURAL INSPECTIONS SHALL BE PERFORMED ON, BUT ARE NOT LIMITED TO, THE FOLLOWING ITEMS:
4. STRUCTURAL WELDING: PER SECTION 1705.2.2.1.

- A. ALL WELDING INSPECTIONS SHALL BE COMPLETED BY AN AWS CERTIFIED INSPECTOR.
- B. ALL WELDS SHALL BE VISUALLY INSPECTED. 100% OF ALL GROOVE WELDS SHALL RECEIVE RADIOGRAPHIC OR ULTRASONIC TESTING. MAGNETIC PARTICLE TEST 20% OF ALL FILLET WELDS.
- C. NON-DESTRUCTIVE TESTING OF ALL COMPLETE PENETRATION WELDS.
- D. VERIFICATION OF CURRENT WELDER'S CERTIFICATION.
- E. WELD INSPECTION OF SHOP FABRICATIONS.

5. HIGH STRENGTH BOLTING: PER SECTION 1705.2.1

- A. VERIFICATION OF SNUG TIGHT OR SLIP-CRITICAL INSTALLATION AS PER PLANS.
- B. VERIFICATION IN PLANS WHERE/IF A325-X BOLTS ARE REQUIRED.

6. CONCRETE: PER SECTION 1705.3

- A. DURING THE TAKING OF TEST SPECIMENS.
- B. DURING THE PLACEMENT OF REINFORCED CONCRETE.
- C. POSITION OF ALL REINFORCING STEEL, ANCHOR BOLTS, AND EMBED PLATES PRIOR TO AND DURING THE PLACEMENT OF THE CONCRETE.
- D. ERECTION OF PRECAST CONCRETE MEMBERS.

7. STRUCTURAL MASONRY: PER SECTION 1705.4

- A. SPECIAL INSPECTION SHALL BE PERFORMED ON ALL STRUCTURAL MASONRY IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 530.1.
- B. DURING THE PREPARATION OF PRISMS.
- C. DURING THE PLACEMENT OF MASONRY UNITS.
- D. DURING THE PLACEMENT OF REINFORCING STEEL AND STEEL EMBEDS.
- E. IMMEDIATELY PRIOR TO THE CLOSING OF ALL CLEANOUTS.
- F. ALL CELLS TO BE GROUTED SHALL BE INSPECTED PRIOR TO GROUT PLACEMENT TO INSURE THE GROUT CELLS ARE FREE OF EXCESS MORTAR AND CONSTRUCTION DEBRIS.

8. EXPANSION, EPOXY AND ADHESIVE ANCHORS:

- A. DURING THE PLACEMENT OF ALL ANCHORS.
- B. ALL ANCHORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND APPLICABLE ICBO REPORTS.

9. SOILS: PER SECTION 1705.6

- A. VERIFICATION OF ADEQUATE DESIGN BEARING CAPACITY.
- B. DURING THE PLACEMENT OF COMPACTED FILL MATERIALS.
- C. TESTING OF COMPACTED FILL MATERIALS.

10. DUTIES AND RESPONSIBILITIES OF THE SPECIAL STRUCTURAL INSPECTOR:

- A. THE SPECIAL STRUCTURAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS.
- B. THE SPECIAL STRUCTURAL INSPECTOR SHALL REPORT TO THE CONTRACTOR UPON ARRIVING ON SITE TO DETERMINE WHETHER ANY DESIGN TEAM COMMUNICATIONS TO THE CONTRACTOR AFFECT THE WORK TO BE REVIEWED. THE SPECIAL STRUCTURAL INSPECTOR SHALL LEAVE A COPY OF EACH OF HIS REPORTS WITH THE CONTRACTOR UPON LEAVING SITE.
- C. THE SPECIAL STRUCTURAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER OR ARCHITECT OF RECORD, AND OTHER DESIGNATED PERSONS WITHIN 24 HOURS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.
- D. THE SPECIAL STRUCTURAL INSPECTOR IS NOT AUTHORIZED TO APPROVE ANY CHANGES TO THE CONTRACT DOCUMENTS. ANY VARIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND ENGINEER OR ARCHITECT OF RECORDS.
- E. THE CONTRACTOR SHALL PROVIDE SAFE ACCESS TO ALL ITEMS REQUIRING SPECIAL STRUCTURAL INSPECTION. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, LADDERS, SCAFFOLDING, AND MAN LIFTS.
- F. THE SPECIAL STRUCTURAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.

REINFORCED CONCRETE AND FOUNDATION NOTES

1. CONCRETE CONSTRUCTION SHALL COMPLY WITH ACI 301-16 - SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI 318-14 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY, AND ACI 302.1R-15 - GUIDE TO CONCRETE FLOOR AND SLAB CONSTRUCTION.
2. REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND PLACED IN COMPLIANCE WITH ACI 315-99 - DETAILS AND DETAILING OF CONCRETE REINFORCEMENT, AND THE CRSI - MANUAL OF STANDARD PRACTICE (28TH EDITION). SUBMIT REINFORCING STEEL SHOP DRAWINGS FOR THE ENGINEER'S REVIEW. SUBMITTAL SHALL INCLUDE TWO (2) BLACKLINES (MINIMUM).
3. CONCRETE USED IN SLAB ON GROUND SHALL BE NORMAL WEIGHT CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CEMENT SHALL COMPLY WITH ASTM C150, TYPE I, MINIMUM CEMENT CONTENT SHALL BE 611 POUNDS PER CUBIC YARD.
4. CONCRETE USED IN BUILDING FOUNDATIONS, AND ALL OTHER CONCRETE UNLESS NOTED OTHERWISE, SHALL BE NORMAL WEIGHT CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CEMENT SHALL COMPLY WITH ASTM C150, TYPE I, MINIMUM CEMENT CONTENT SHALL BE 517 POUNDS PER CUBIC YARD.
5. SUBMIT CONCRETE MIX DESIGNS FOR EACH CONCRETE MIX FOR THE ENGINEER'S REVIEW. SUBMITTAL SHALL INCLUDE, AT A MINIMUM, MIX PROPORTIONS, CEMENT TYPE AND SOURCE, AGGREGATE GRADATIONS AND SOURCE, AGGREGATE ASR COMPATIBILITY TEST RESULTS, ADMIXTURE CATALOG INFORMATION, CYLINDER STRENGTH TEST RESULTS ON SPECIMENS FOR IDENTICAL MIX DESIGN, OR OTHER PROOF OF STRENGTH PER ACI 301.
6. CONCRETE AGGREGATES SHALL COMPLY WITH ASTM C33 AND SHALL BE FREE OF CLAY, LOAM, LUMPS OR OTHER DELETERIOUS SUBSTANCES.
7. REINFORCING SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 OR ASTM A616 (GRADE 60) AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60 KSI.
8. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, BE FURNISHED IN FLAT SHEETS, AND HAVE MINIMUM SIDE AND END LAP OF 8 INCHES.
9. FIBER REINFORCING IN SLAB ON GROUND SHALL BE TUF-STRAND SF, AS MANUFACTURED BY 'EUCUID CHEMICAL', OR APPROVED SUBSTITUTE, UNLESS OTHERWISE NOTED. DOSAGE SHALL BE 1.5 LBS PER CUBIC YARD.
10. EXTERIOR CONCRETE, PERIMETER FOUNDATIONS AND INTERIOR CONCRETE SUBJECTED TO FREEZE/THAW CYCLES SHALL BE AIR ENTRAINED WITH 6% AVERAGE AIR CONTENT WITH A 1% TOLERANCE. AIR ENTRAINMENT SHALL COMPLY WITH ASTM C260.
11. REINFORCING SHALL HAVE EITHER TENSION EMBEDMENT OR TENSION CLASS "B" LAP SPLICE UNLESS OTHERWISE NOTED.
12. PROVIDE HORIZONTAL BENT BARS AT CORNERS AND INTERSECTIONS OF CONCRETE WALLS, TRENCH FOOTINGS AND STRIP FOOTINGS USING THE SAME SIZE AND SPACING AS FOR THE HORIZONTAL REINFORCING DETAILED UNLESS OTHERWISE NOTED.
13. PROVIDE SMOOTH FORMED FINISH ON EXPOSED CONCRETE WALLS AND FOUNDATIONS.
14. PROVIDE 3/4" X 3/4" BEVELED EDGES AT CORNERS OF EXPOSED CONCRETE MEMBERS, UNLESS NOTED OTHERWISE.
15. CONSTRUCTION JOINTS SHALL HAVE A FORMED KEY CENTERED ON MEMBER. WHERE THE SIZE OF KEY IS NOT SHOWN ON THE DRAWINGS, THE KEY SHALL BE ONE FOURTH OF THE CROSS SECTION MEMBER AND MINIMUM 1 1/2 INCHES INTO THE FIRST POUR OF CONCRETE.
16. DO NOT PROCEED WITH DETAILING, FABRICATION, OR CONSTRUCTION OF ANY WORK CONNECTED WITH OR DEPENDENT ON EQUIPMENT FURNISHED BY OWNER OR OTHER CONTRACTORS UNTIL DIMENSIONS AND DETAILS ARE VERIFIED WITH CERTIFIED OR APPROVED EQUIPMENT DRAWINGS.
17. BEFORE PLACING CONCRETE, REFER TO OTHER TRADE DRAWINGS AND COORDINATE THE LOCATION AND SIZE OF ITEMS SUCH AS OPENINGS, SLEEVES, EQUIPMENT PADS, PIPING, CONDUIT, DRAINS, DEPRESSIONED FLOORS, DOOR HOLDDOWNS IN GRADE WALLS, EMBEDDED ITEMS, ETC.
18. DRILL-IN ANCHOR BOLTS SHALL BE HVA ADHESIVE ANCHORING SYSTEM AS MANUFACTURED BY HILTI. ANCHOR BOLTS SHALL BE 304 STAINLESS STEEL.
19. NON-SHRINK GROUT SHALL BE SURE GRIP HIGH PERFORMANCE GROUT, OR APPROVED EQUAL, AS MANUFACTURED BY DAYTON SUPERIOR CORPORATION.
20. CONCRETE CONSTRUCTION SHALL INCLUDE PROVISIONS FOR COLD WEATHER CONCRETING, IN COMPLIANCE WITH ACI 306R-10 - GUIDE TO COLD WEATHER CONCRETING, AND PROVISIONS FOR HOT WEATHER CONCRETING, IN COMPLIANCE WITH ACI 305R-10 - GUIDE TO HOT WEATHER CONCRETING.
21. CONCRETE FORMS SHALL REMAIN IN PLACE A MIN. OF 48 HOURS OR UNTIL THE CONCRETE HAS ATTAINED 75 PERCENT OF ITS DESIGN STRENGTH.
22. CONCRETE SHALL ATTAIN ITS 28 DAY DESIGN STRENGTH BEFORE COMMENCING WITH BACK FILLING OPERATIONS.
23. CONTROL OR CONSTRUCTION JOINTS, REQUIRED BY THE CONTRACTOR, IN ADDITION TO THE JOINTS SHOWN ON THE DRAWINGS, SHALL BE SUBJECT TO THE REVIEW OF THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A PLAN OF THE PROPOSED JOINTING BEFORE PROCEEDING WITH THE AFFECTED WORK.
24. PLACE TWO ADDITIONAL #5 BARS AROUND ALL OPENINGS LARGER THAN ONE FOOT SQUARE OR DIAMETER. EXTEND BARS A MINIMUM 24 INCHES BEYOND OPENINGS, UNLESS OTHERWISE NOTED.
25. SIDES OF FOUNDATIONS SHALL BE FORMED.
26. STRUCTURE BACKFILL SHALL CONSIST OF CLEAN, WELL GRADED GRANULAR SOILS, FREE OF ORGANIC MATERIAL, SILT AND CLAY. PLACE BACKFILL IN LAYERS, NOT MORE THAN 6 INCHES IN DEPTH, AND COMPACTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD (ASTM D1557) AND VERIFIED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. PLACE BACKFILL ALTERNATING EACH FACE OF WALLS TO BALANCE PRESSURE TO WALLS.
27. FOUNDATIONS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, FREE OF VEGETATION AND ORGANIC MATERIALS, WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF, VERIFIED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN.
28. SAMPLES FOR STRENGTH TESTS OF EACH CLASS OF CONCRETE PLACED EACH DAY SHALL BE TAKEN BY A QUALIFIED TESTING AGENCY NOT LESS THAN ONCE PER DAY, NOR LESS THAN ONCE FOR EACH 100 CUBIC YARDS OF CONCRETE. SAMPLE CONCRETE IN ACCORDANCE WITH ASTM C172. PERFORM THE FOLLOWING TESTS IN ACCORDANCE WITH THE INDICATED STANDARD:

- A. SLUMP - ASTM C143
- B. AIR CONTENT - ASTM C173
- C. COMPRESSIVE STRENGTH - ASTM C39 (WITH 1 CYLINDER AT 7 DAYS, 2 CYLINDERS AT 28 DAYS AND 1 CYLINDER HELD IN RESERVE)

STRUCTURAL GENERAL NOTES:

STRUCTURAL STEEL NOTES

1. DESIGN, DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING PUBLICATIONS EXCEPT AS SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS:

- A. AISC STEEL CONSTRUCTION MANUAL (14TH EDITION) INCLUDING:
- 1) AISC 360-10 - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN
- 2) AISC 348-09 - SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS (RCSC)
- 3) AISC 303-10 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES
- B. AISC 326-09 - DETAILING FOR STEEL CONSTRUCTION
- C. AWS D1.1-15 - STRUCTURAL WELDING CODE - STEEL

2. WIDE FLANGE SHAPES SHALL BE ASTM A992, Fy = 50,000 PSI.

3. MISCELLANEOUS SHAPES AND PLATE SHALL BE ASTM A36, Fy = 36,000 PSI.

4. HSS STEEL SHALL BE ASTM A500, GRADE B, Fy = 46,000 PSI.

5. ANCHOR BOLTS SHALL BE ASTM F1554, GRADE 55, Fy = 55,000 PSI.

6. COMPOSITE SHEAR STUDS SHALL BE NELSON "FLUXED SHEAR CONNECTOR STUDS" OR APPROVED SUBSTITUTE AND WELDED AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

7. SHEAR STUDS SHALL BE EQUALLY SPACED ALONG THE LENGTH OF THE BEAM UNLESS NOTED OTHERWISE.

8. STEEL ELEVATIONS SHALL BE AS INDICATED ON PLANS AND DETAILS.

9. PRIOR TO FABRICATION THE FABRICATOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SHALL CONSIST OF TWO SETS OF BLACKLINE DRAWINGS (MIN).

10. INSTALL ASTM A325 BOLTS IN ACCORDANCE WITH THE SPECIFICATION FOR STRUCTURAL JOINTS, USING ONE HARDENED WASHER UNDER THE TURNED ELEMENT, AND AN IMPACT WRENCH TO ACHIEVE FIRM CONTACT BETWEEN CONNECTED PLIES AND A SNUG TIGHT CONDITION.

11. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS. PERFORM ALL WELDING BY THE ELECTRIC ARC METHOD IN ACCORDANCE WITH THE AWS D1.1 STRUCTURAL WELDING CODE.

12. PERFORM WELDING WITH SPECIFIED ELECTRODES AND QUALIFIED WELDERS, WELDING OPERATORS, AND TACKERS AS APPROPRIATE, PER SPECIFIED REFERENCE STANDARDS. PROVIDE NECESSARY JIGS AND HOLDING DEVICES FOR SHOP WELDING. CONTROL WELDING SEQUENCE TO MINIMIZE RESIDUAL STRESSES AND MEMBER DISTORTION.

13. MAKE BOLTED CONNECTIONS WITH 3/4 INCH DIAMETER ASTM A325N BEARING TYPE BOLTS (WITH THREADS ASSUMED IN THE SHEAR PLANE) UNLESS OTHERWISE NOTED.

14. CONNECTIONS SHALL BE A MINIMUM OF TWO 3/4 INCH DIAMETER ASTM A325N BOLTS OR A WELD DEVELOPING A MINIMUM OF 10 KIPS.

15. SUBMIT DRAWINGS AND CALCULATIONS OF TYPICAL CONNECTION DETAILS FOR APPROVAL PRIOR TO PROCEEDING WITH DETAILING.

16. DESIGN BEAM CONNECTIONS FOR MINIMUM ONE-HALF OF THE TOTAL ALLOWABLE UNIFORM LOAD PER AISC BEAM LOAD TABLES, UNLESS NOTED OTHERWISE. CONNECTIONS FOR COMPOSITE BEAMS SHALL BE DESIGNED FOR END REACTIONS NOTED ON THE DRAWINGS OR A MINIMUM TWO-THIRDS OF THE TOTAL ALLOWABLE UNIFORM LOAD PER AISC BEAM LOAD TABLES, WHICHEVER IS GREATER.

17. PROVIDE ADEQUATE LATERAL BRACING AND VERTICAL SUPPORT FOR THE SAFE ERECTION AND ALIGNMENT OF THE STRUCTURAL STEEL.

18. FURNISH MEMBERS OF PROPER LENGTH AND ASSEMBLE WITHOUT EXCESSIVE USE OF FILLERS. FIELD VERIFY DIMENSIONS BEFORE FABRICATION WHEN CONNECTING TO EXISTING STRUCTURE. JOIN AND ASSEMBLE MEMBERS WITHOUT SHARP PROJECTIONS, SERRATED EDGES, SHARP EDGES OR SHARP CORNERS AT JOINTS. COPE, BLOCK, MITER AND GRIND EDGES WITH CARE. FURNISH MEMBERS FREE FROM TWISTS, BENDS, DISTORTIONS AND OPEN JOINTS.

19. GROUT PADS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN SEVEN DAYS.

20. ANCHOR BOLTS AND SETTING PLANS SHALL BE FURNISHED BY THE STRUCTURAL STEEL FABRICATOR AND SET BY THE FOUNDATION CONTRACTOR.

21. ALL WELDED CONNECTIONS SHALL BE VISUALLY INSPECTED, WITH 15% MEASURED AT RANDOM. VISUALLY INSPECT THAT ALL BOLTED CONNECTIONS ARE PROPERLY FABRICATED, WITH PROPER COMPONENTS, AND THE JOINT IS DRAWN INTO FIRM CONTACT.

22. ELEVATIONS ARE REFERENCED FROM FINISH FLOOR ELEVATION = 100'-0". ACTUAL FINISH FLOOR ELEVATION 936.19 = 100'-0".

23. COUPLER NUTS MAY BE PROVIDED AT ANCHOR BOLTS SO THAT ANCHOR BOLTS CAN BE INSTALLED IN TWO PIECES TO MAXIMIZE VERTICAL CLEARANCE FOR COLUMN ERECTION.

24. THE USE OF A GAS-CUTTING TORCH IN THE FIELD FOR CUTTING HOLES OR FOR CORRECTING FABRICATION ERRORS WILL NOT BE PERMITTED ON STRUCTURAL FRAMING MEMBERS EXCEPT WITH THE WRITTEN APPROVAL OF THE ENGINEER FOR EACH SPECIFIC CONDITION.

25. ALL STRUCTURAL STEEL SHALL BE SHOP PAINTED WITH AN APPROVED CORROSION RESISTANT PRIMER SUCH AS "TNMEC PRIMER 10-99" OR APPROVED EQUIVALENT. ALL STEEL SHALL BE PAINTED IN STRICT ACCORDANCE WITH THE AISC SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS. PRIOR TO PAINTING, ALL STEEL SURFACES SHALL BE PREPARED IN ACCORDANCE WITH SSPC-SP3. REMOVE LOOSE RUST, LOOSE MILL SCALE AND SPLATTER SLAG OR FLUX DEPOSITS. ALL PAINTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO THEIR USE.

26. SHOP PRIME AND PAINT STRUCTURAL STEEL. FIELD TOUCH-UP FINISH COAT AFTER ERECTION.

27. STEEL ABOVE THE ROOF AND OUTSIDE THE BUILDING ENVELOPE (EXPOSED TO WEATHER) SHALL BE CLEANED PER SSPC-SP6 AND HOT DIP GALVANIZED.

28. REFERENCE ARCHITECTURAL DRAWINGS FOR MISCELLANEOUS SHAPES AND PLATES NOT SHOWN ON THE STRUCTURAL DRAWINGS. THESE ITEMS SHALL BE SHOP WELDED TO THE STRUCTURAL FRAMING TO MINIMIZE FIELD WELDING.

29. ROOF OPENINGS SHALL BE FRAMED WITH L4X3X1/4 LLV, UNLESS NOTED OTHERWISE. VERIFY SIZE AND LOCATION OF ALL OPENINGS WITH THE TRADES INVOLVED.

30. RUNWAY BEAMS AND BRIDGE BEAM SHALL MEET OR EXCEED THE REQUIREMENTS FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL. ADDITIONALLY, THE RUNWAY BEAMS SHALL BE ERECTED SUFFICIENTLY SQUARE, PARALLEL AND LEVEL TO PERMIT TRAVERSING OF THE BRIDGE BEAM WITHOUT BINDING OF THE END TRUCK WHEELS OR FRAME ALONG THE RUNWAY LENGTH. THE CONTRACTOR SHALL TEST THE CRANE THROUGH ITS FULL RANGE OF TRAVEL UNDER MAXIMUM LOAD.

31. PROVIDE HOLES IN THE BEAM TOP FLANGE AS REQUIRED TO MOUNT THE BEAM TO THE END TRUCKS.

METAL DECK NOTES

1. METAL ROOF DECK SHALL BE 20 GAGE, G60 GALVANIZED, TYPE 1.58 AS MANUFACTURED BY "VULCRAFT", OR APPROVED SUBSTITUTE, UNLESS OTHERWISE NOTED.
2. PERMANENT METAL FORM AT SECOND FLOOR SHALL BE 20 GAGE, G60 GALVANIZED, TYPE 1.5C AS MANUFACTURED BY "VULCRAFT", OR APPROVED SUBSTITUTE, UNLESS OTHERWISE NOTED.
3. METAL DECK SHALL BE CONTINUOUS OVER A MINIMUM OF THREE SPANS.
4. METAL DECK SHALL BE FASTENED TO PERIMETER EDGE ANGLES WITH PNEUMATIC OR POWDER ACTUATED FASTENERS. MATCH SIDE LAP AND BEARING FASTENER SPACING. PROVIDE 20 GAGE, G60 GALVANIZED BENT PLATES AT LONGITUDINAL EDGES AS REQUIRED TO MAKE CONNECTION.
5. METAL DECK FUNCTIONS AS A HORIZONTAL DIAPHRAGM. FASTENER LAYOUT SHALL BE 367" WITH A MINIMUM OF 2 SIDE LAP FASTENER AT INTERIOR LOCATIONS AND 5 SIDE FASTENERS TO EDGE ANGLES AND EDGE CHANNELS.
6. PROVIDE 20 GAGE GALVANIZED RIDGE AND VALLEY PLATES. FASTEN RIDGE AND VALLEY PLATES TO THE TOP SURFACE OF THE METAL ROOF DECK LAP END JOINTS NOT LESS THAN 3 INCHES.
7. FASTEN ROOF SLUMP PANS TO ROOF DECK WITH NO. 10 SELF-TAPPING SCREWS AT 6 INCH CENTERS AROUND PERIMETER OF PAN.

STRUCTURAL GENERAL NOTES:

SITE CONDITIONS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.
2. THE CONTRACTOR SHALL COORDINATE HIS WORK ACTIVITIES WITH THE OWNER TO MINIMIZE DISRUPTION TO THE OWNER'S OPERATION OF THE FACILITY.
3. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, BEFORE COMMENCING WITH SHOP DRAWING PREPARATION. REPORT EXISTING CONDITIONS WHICH DO NOT CONFORM WITH THE DETAILS PROVIDED BY THE ARCHITECT.

MASONRY NOTES

1. MASONRY CONSTRUCTION SHALL COMPLY WITH ACI 530-13 - BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530.1-13 - SPECIFICATION FOR MASONRY STRUCTURES, AND NCMA SPECIFICATIONS.
2. LOAD BEARING CONCRETE MASONRY SHALL CONFORM TO ASTM C90, MEDIUM WEIGHT WITH NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS = 1900 PSI (MIN).
3. MORTAR SHALL BE TYPE N OR S AND CONFORM TO ASTM C270 AND NCMA TEK NOTES 9-1 OR 9-2. NET AREA COMPRESSIVE STRENGTH OF MASONRY (fm) = 1500 PSI (MIN).
4. MASONRY GROUT SHALL CONFORM TO ASTM C 476 WITH PEA GRAVEL AGGREGATE AND A MINIMUM STRENGTH OF 2000 PSI.
5. UNLESS OTHERWISE NOTED, PROVIDE HORIZONTAL WIRE TYPE REINFORCING WITH 9 GAUGE SIDE AND CROSS MEMBERS IN EVERY SECOND COURSE (16" O.C.), IN ALL MASONRY WALLS.
6. REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO ASTM A615, GRADE 60.
7. GROUT MASONRY LINTELS SOLID, REINFORCE W/ 2-#5 BARS (MINIMUM) AND MAINTAIN BEARING ON EACH SIDE OF OPENING AS INDICATED IN LINTEL SCHEDULE. SOLID GROUT WALL FOR BEARING LENGTH AND REINFORCE W/ 2-#5 VERTICAL BARS (MINIMUM EACH CELL) FULL HEIGHT.
8. ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID.
9. UNLESS OTHERWISE NOTED, REINFORCE BOND BEAMS WITH 2-#5 BARS. REFER TO ARCHITECTURAL DRAWING FOR WALL SECTIONS.
10. USE "ACME SHIELD" INTEGRAL WATER REPELLENT FOR ALL EXTERIOR CONCRETE MASONRY AND MORTAR.

REINFORCED CONCRETE AND FOUNDATION NOTES

1. CONCRETE CONSTRUCTION SHALL COMPLY WITH ACI 301-16 - SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI 318-14 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY, AND ACI 302.1R-15 - GUIDE TO CONCRETE FLOOR AND SLAB CONSTRUCTION.
2. REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND PLACED IN COMPLIANCE WITH ACI 315-99 - DETAILS AND DETAILING OF CONCRETE REINFORCEMENT, AND THE CRSI - MANUAL OF STANDARD PRACTICE (28TH EDITION). SUBMIT REINFORCING STEEL SHOP DRAWINGS FOR THE ENGINEER'S REVIEW. SUBMITTAL SHALL INCLUDE TWO (2) BLACKLINES (MINIMUM).
3. CONCRETE USED IN SLAB ON GROUND SHALL BE NORMAL WEIGHT CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CEMENT SHALL COMPLY WITH ASTM C150, TYPE I, MINIMUM CEMENT CONTENT SHALL BE 611 POUNDS PER CUBIC YARD.
4. CONCRETE USED IN BUILDING FOUNDATIONS, AND ALL OTHER CONCRETE UNLESS NOTED OTHERWISE, SHALL BE NORMAL WEIGHT CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CEMENT SHALL COMPLY WITH ASTM C150, TYPE I, MINIMUM CEMENT CONTENT SHALL BE 526 POUNDS PER CUBIC YARD.
5. SUBMIT CONCRETE MIX DESIGNS FOR EACH CONCRETE MIX FOR THE ENGINEER'S REVIEW. SUBMITTAL SHALL INCLUDE, AT A MINIMUM, MIX PROPORTIONS, CEMENT TYPE AND SOURCE, AGGREGATE GRADATIONS AND SOURCE, AGGREGATE ASR COMPATIBILITY TEST RESULTS, ADMIXTURE CATALOG INFORMATION, CYLINDER STRENGTH TEST RESULTS ON SPECIMENS FOR IDENTICAL MIX DESIGN, OR OTHER PROOF OF STRENGTH PER ACI 301.
6. CONCRETE AGGREGATES SHALL COMPLY WITH ASTM C33 AND SHALL BE FREE OF CLAY, LOAM, LUMPS OR OTHER DELETERIOUS SUBSTANCES.
7. REINFORCING SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 OR ASTM A616 (GRADE 60) AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60 KSI.
8. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, BE FURNISHED IN FLAT SHEETS, AND HAVE MINIMUM SIDE AND END LAP OF 8 INCHES.
9. FIBER REINFORCING IN SLAB ON GROUND SHALL BE TUF-STRAND SF, AS MANUFACTURED BY 'EUCUID CHEMICAL', OR APPROVED SUBSTITUTE, UNLESS OTHERWISE NOTED. DOSAGE SHALL BE 1.5 LBS PER CUBIC YARD.
10. EXTERIOR CONCRETE, PERIMETER FOUNDATIONS AND INTERIOR CONCRETE SUBJECTED TO FREEZE/THAW CYCLES SHALL BE AIR ENTRAINED WITH 6% AVERAGE AIR CONTENT WITH A 1% TOLERANCE. AIR ENTRAINMENT SHALL COMPLY WITH ASTM C260.
11. REINFORCING SHALL HAVE EITHER TENSION EMBEDMENT OR TENSION CLASS "B" LAP SPLICE UNLESS OTHERWISE NOTED.
12. PROVIDE HORIZONTAL BENT BARS AT CORNERS AND INTERSECTIONS OF CONCRETE WALLS, TRENCH FOOTINGS AND STRIP FOOTINGS USING THE SAME SIZE AND SPACING AS FOR THE HORIZONTAL REINFORCING DETAILED UNLESS OTHERWISE NOTED.
13. PROVIDE SMOOTH FORMED FINISH ON EXPOSED CONCRETE WALLS AND FOUNDATIONS.
14. PROVIDE 3/4" X 3/4" BEVELED EDGES AT CORNERS OF EXPOSED CONCRETE MEMBERS, UNLESS NOTED OTHERWISE.
15. CONSTRUCTION JOINTS SHALL HAVE A FORMED KEY CENTERED ON MEMBER. WHERE THE SIZE OF KEY IS NOT SHOWN ON THE DRAWINGS, THE KEY SHALL BE ONE FOURTH OF THE CROSS SECTION MEMBER AND MINIMUM 1 1/2 INCHES INTO THE FIRST POUR OF CONCRETE.
16. DO NOT PROCEED WITH DETAILING, FABRICATION, OR CONSTRUCTION OF ANY WORK CONNECTED WITH OR DEPENDENT ON EQUIPMENT FURNISHED BY OWNER OR OTHER CONTRACTORS UNTIL DIMENSIONS AND DETAILS ARE VERIFIED WITH CERTIFIED OR APPROVED EQUIPMENT DRAWINGS.
17. BEFORE PLACING CONCRETE, REFER TO OTHER TRADE DRAWINGS AND COORDINATE THE LOCATION AND SIZE OF ITEMS SUCH AS OPENINGS, SLEEVES, EQUIPMENT PADS, PIPING, CONDUIT, DRAINS, DEPRESSIONED FLOORS, DOOR HOLDDOWNS IN GRADE WALLS, EMBEDDED ITEMS, ETC.
18. DRILL-IN ANCHOR BOLTS SHALL BE HVA ADHESIVE ANCHORING SYSTEM AS MANUFACTURED BY HILTI. ANCHOR BOLTS SHALL BE 304 STAINLESS STEEL.
19. NON-SHRINK GROUT SHALL BE SURE GRIP HIGH PERFORMANCE GROUT, OR APPROVED EQUAL, AS MANUFACTURED BY DAYTON SUPERIOR CORPORATION.
20. CONCRETE CONSTRUCTION SHALL INCLUDE PROVISIONS FOR COLD WEATHER CONCRETING, IN COMPLIANCE WITH ACI 306R-10 - GUIDE TO COLD WEATHER CONCRETING, AND PROVISIONS FOR HOT WEATHER CONCRETING, IN COMPLIANCE WITH ACI 305R-10 - GUIDE TO HOT WEATHER CONCRETING.
21. CONCRETE FORMS SHALL REMAIN IN PLACE A MIN. OF 48 HOURS OR UNTIL THE CONCRETE HAS ATTAINED 75 PERCENT OF ITS DESIGN STRENGTH.
22. CONCRETE SHALL ATTAIN ITS 28 DAY DESIGN STRENGTH BEFORE COMMENCING WITH BACK FILLING OPERATIONS.
23. CONTROL OR CONSTRUCTION JOINTS, REQUIRED BY THE CONTRACTOR, IN ADDITION TO THE JOINTS SHOWN ON THE DRAWINGS, SHALL BE SUBJECT TO THE REVIEW OF THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A PLAN OF THE PROPOSED JOINTING BEFORE PROCEEDING WITH THE AFFECTED WORK.
24. PLACE TWO ADDITIONAL #5 BARS AROUND ALL OPENINGS LARGER THAN ONE FOOT SQUARE OR DIAMETER. EXTEND BARS A MINIMUM 24 INCHES BEYOND OPENINGS, UNLESS OTHERWISE NOTED.
25. SIDES OF FOUNDATIONS SHALL BE FORMED.

26. STRUCTURE BACKFILL SHALL CONSIST OF CLEAN, WELL GRADED GRANULAR SOILS, FREE OF ORGANIC MATERIAL, SILT AND CLAY. PLACE BACKFILL IN LAYERS, NOT MORE THAN 6 INCHES IN DEPTH, AND COMPACTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD (ASTM D1557) AND VERIFIED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. PLACE BACKFILL ALTERNATING EACH FACE OF WALLS TO BALANCE PRESSURE TO WALLS.

27. FOUNDATIONS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, FREE OF VEGETATION AND ORGANIC MATERIALS, WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 2500 PSF, VERIFIED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. REFER TO GEOTECHNICAL INVESTIGATION PREPARED BY XXX, PROJECT NO. XXX FOR SITE AND FOUNDATION PREPARATION REQUIREMENTS.

28. SAMPLES FOR STRENGTH TESTS OF EACH CLASS OF CONCRETE PLACED EACH DAY SHALL BE TAKEN BY A QUALIFIED TESTING AGENCY NOT LESS THAN ONCE PER DAY, NOR LESS THAN ONCE FOR EACH 100 CUBIC YARDS OF CONCRETE. SAMPLE CONCRETE IN ACCORDANCE WITH ASTM C172. PERFORM THE FOLLOWING TESTS IN ACCORDANCE WITH THE INDICATED STANDARD:

- A. SLUMP - ASTM C143
- B. AIR CONTENT - ASTM C173
- C. COMPRESSIVE STRENGTH - ASTM C39 (WITH 1 CYLINDER AT 7 DAYS, 2 CYLINDERS AT 28 DAYS AND 1 CYLINDER HELD IN RESERVE)

DESIGN CRITERIA

CODE: MICHIGAN BUILDING CODE 2015 (MBC)

ROOF DESIGN LOAD

DEAD LOAD	
ROOFING	1.0 PSF
INSULATION	6.5 PSF
METAL DECK	2.5 PSF
FRAMING	4.0 PSF
UTILITIES	3.0 PSF
CEILING	3.0 PSF
TOTAL DEAD LOAD:	20.0 PSF

LIVE LOAD	
GROUND SNOW LOAD, Pg=25.0 PSF	20.0 PSF
FLAT-ROOF SNOW LOAD, Pf=18.0 PSF	
SNOW EXPOSURE FACTOR, Ce=1.0	
THERMAL FACTOR, Ct=1.0	
SNOW LOAD IMPORTANCE FACTOR, Ie=1.0	

FLOOR DESIGN LOAD

DEAD LOAD	
4" CONCRETE ON 1 1/2" METAL DECK	44.0 PSF
FRAMING	8.0 PSF
CEILING	3.0 PSF
MECHANICAL	5.0 PSF
TOTAL DEAD LOAD:	60.0 PSF

LIVE LOAD	100.0 PSF
-----------	-----------

DESIGN CRITERIA

CODE: MICHIGAN BUILDING CODE 2015 (MBC)

WIND DESIGN CRITERIA

RISK CATEGORY: II
ULTIMATE WIND SPEED Vult=115 MPH
NOMINAL WIND SPEED Vult=89 MPH
EXPOSURE CATEGORY: B
INTERNAL PRESSURE COEFFICIENT, GCPI = +/- 0.18
WINDWALLS - ENVELOPE PROCEDURE, PART 1, TABLE 28.2-1, 16.0 PSF (MIN)
COMPONENT AND CLADDING: PART 2, TABLE 30.3-1, 20.0 PSF (MIN)

SEISMIC DESIGN CRITERIA

RISK CATEGORY: II
SEISMIC IMPORTANCE FACTOR, Ie=1.0
MAPPED SPECTRAL RESPONSE ACCELERATION, Ss=0.09
MAPPED SPECTRAL RESPONSE ACCELERATION, S1=0.046
SITE CLASS: D
SPECTRAL RESPONSE COEFFICIENT, Sds=0.096
SPECTRAL RESPONSE COEFFICIENT, Sd1=0.074
SEISMIC DESIGN CATEGORY: B
BASIC SEISMIC FORCE-RESISTING SYSTEM:
STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE
SEISMIC RESPONSE COEFFICIENT, Csh=0.045
RESPONSE MODIFICATION COEFFICIENT, R=3
DESIGN BASE SHEAR: F = 0.045W

ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE PROCEDURE, SECTION 12.8



WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 200  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com

FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335

GENERAL STRUCTURAL  
NOTES

PRELIMINARY ☐

DESIGN DEVELOPMENT ☐

CONSTRUCTION ☒

FINAL RECORD ☐

DRAWN BY: DCW/JMW

CHECKED BY: DCW/BS

REVISIONS

DATE: JUNE 27, 2025

SHEET NO.



FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335

### NEW WORK FOUNDATION PLAN AND NOTES

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

RAWN BY DCW/JMW  
CHECKED BY DCW/BS

## REVISIONS

---

---


---


DATE: JUNE 27, 2025

SHEET NO.

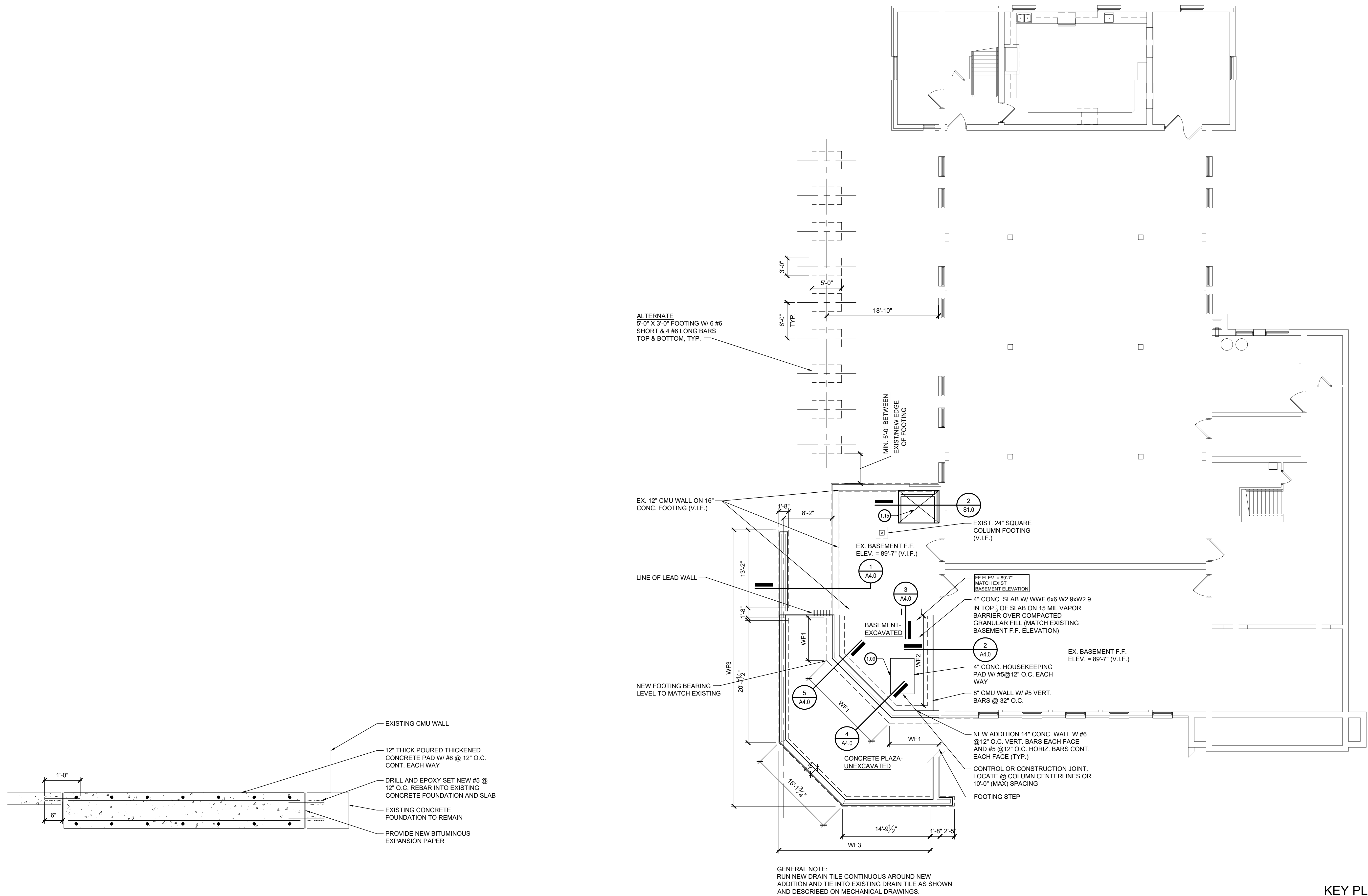
C10

\$1.01

11/11/2016

B NO.

232004



NEW WORK - LIFT PLATFORM  
THICKENED SLAB DETAIL

2  
S1.0

SCALE: 3/4" = 1'-0"

**N**

**NEW WORK - BASEMENT AND RAMP**


**PLATFORM FOUNDATION PLAN**

1

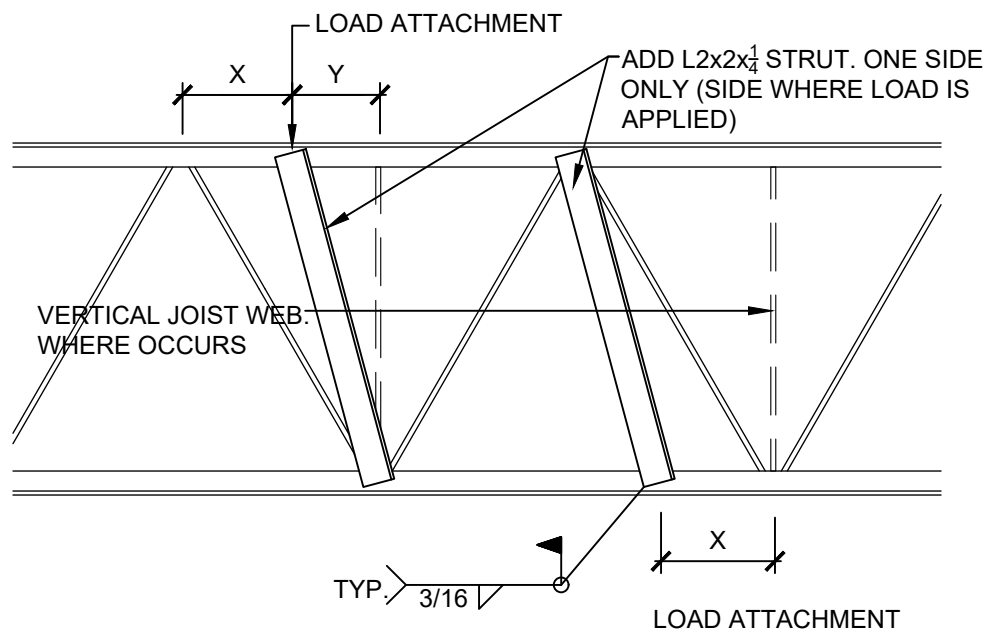
S1.0

SCALE: 1/8" = 1'-0"

KEY PLAN

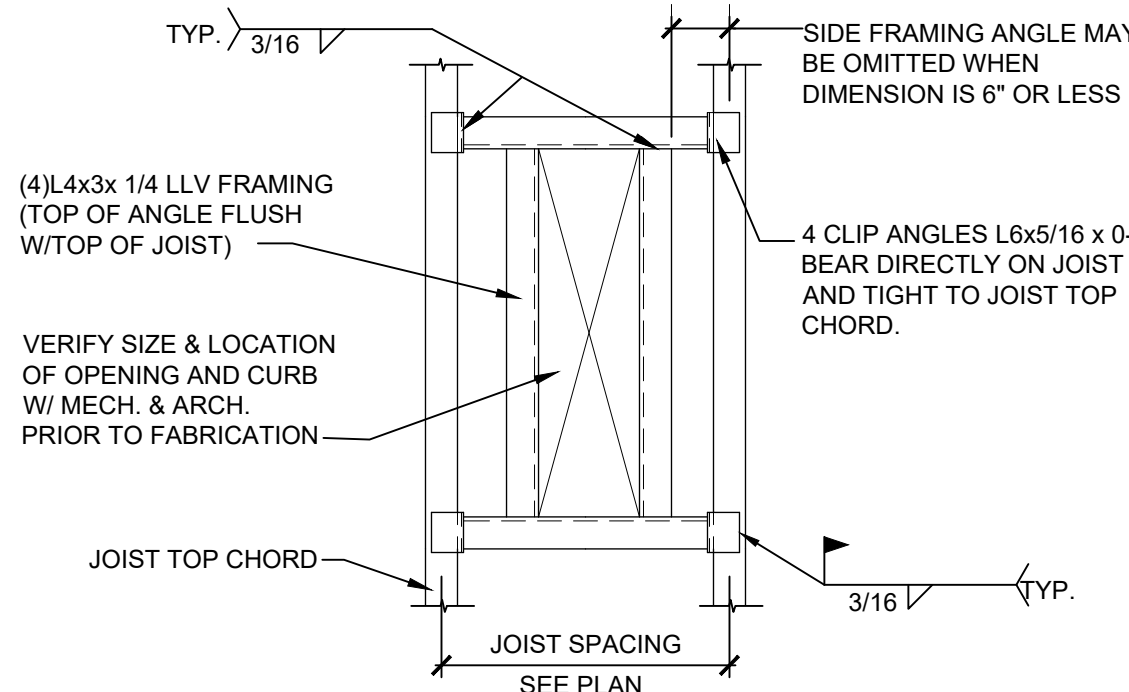
A key plan showing the location of the site within the larger context of the project area. The site is highlighted with a hatched pattern. The plan shows a rectangular area with a hatched pattern, representing the site, and a larger rectangular area surrounding it, representing the project area. The site is located in the upper right corner of the project area. The plan is labeled 'KEY PLAN' in the top left corner.





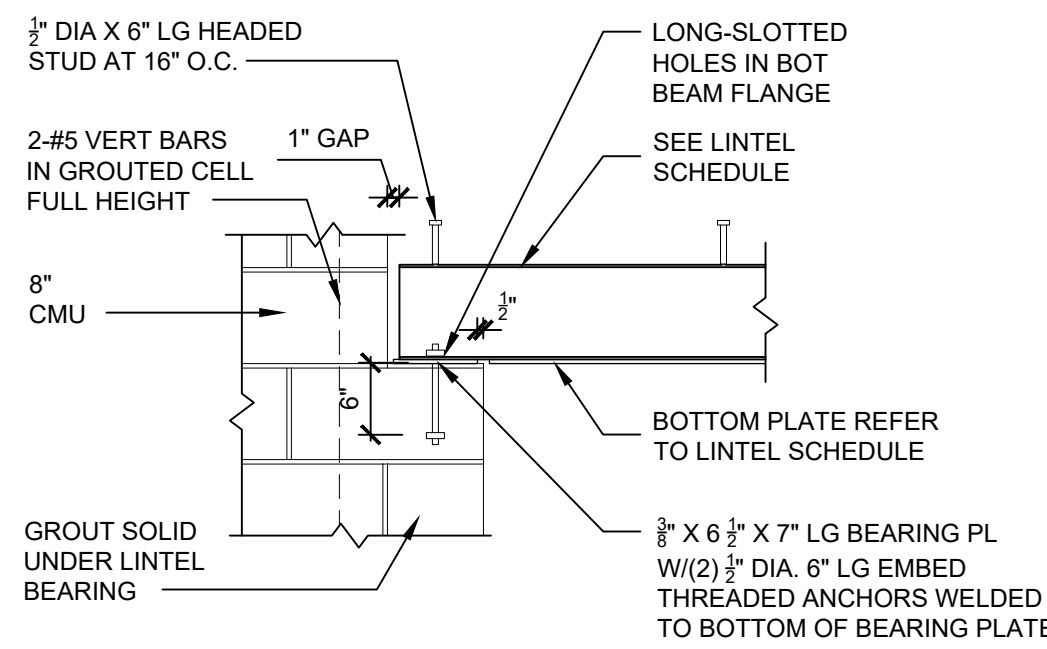
- NOTE:
- ALL ADDITIONAL SUPPLEMENTAL STRUT MUST BE INSTALLED IN STEEL JOISTS AT ALL CONCENTRATED LOADS IN EXCESS OF 50 LBS. UNLESS THE LOAD ATTACHMENT IS AT A PANEL POINT OF THE JOISTS.
  - AN ADDITIONAL STRUT IS NOT REQUIRED IF 'X' OR 'Y' IS LESS THAN OR EQUAL TO 6".
  - CONCENTRATED LOADS GREATER THAN 250 LBS, WHICH ARE NOT SPECIFIED ON THE PLANS, ARE NOT PERMITTED WITHOUT REVIEW BY THE PROFESSIONAL - OF - RECORD.

6  
S1.1  
TYP. JOIST REINF. DETAIL  
SCALE: NTS

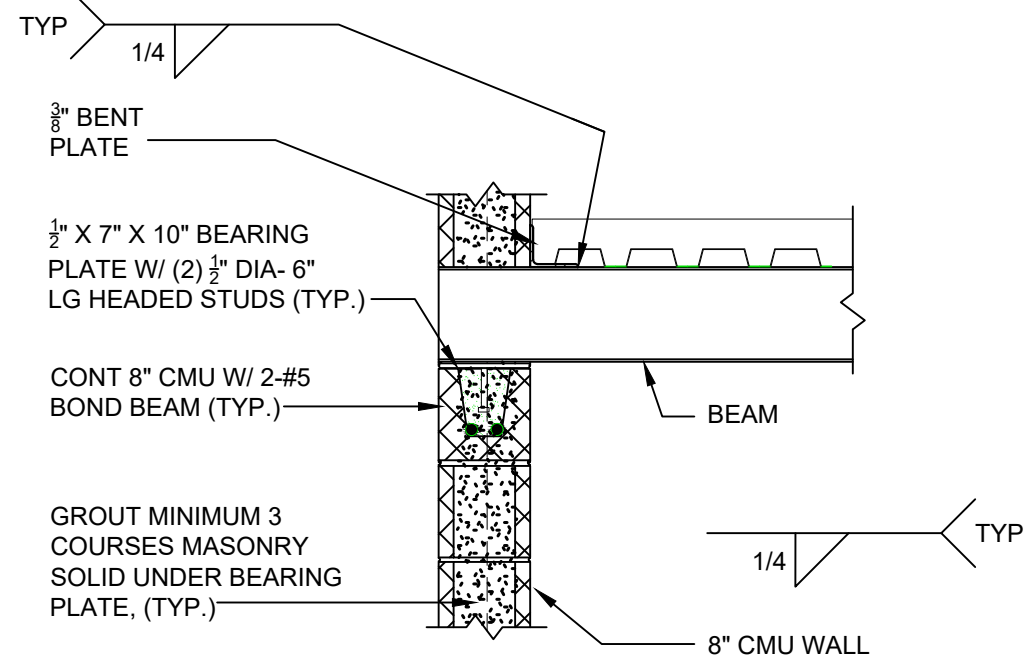


NOTE:  
LOCATE CLIP ANGLES AT TOP CHORD PANEL POINTS OR PROVIDE 2 ANGLES FROM BRG. POINT OF FRAME TO BOT. REINFORCEMENT DETAIL.

5  
S1.1  
TYP. CURB FRAMING DETAIL  
SCALE: NTS



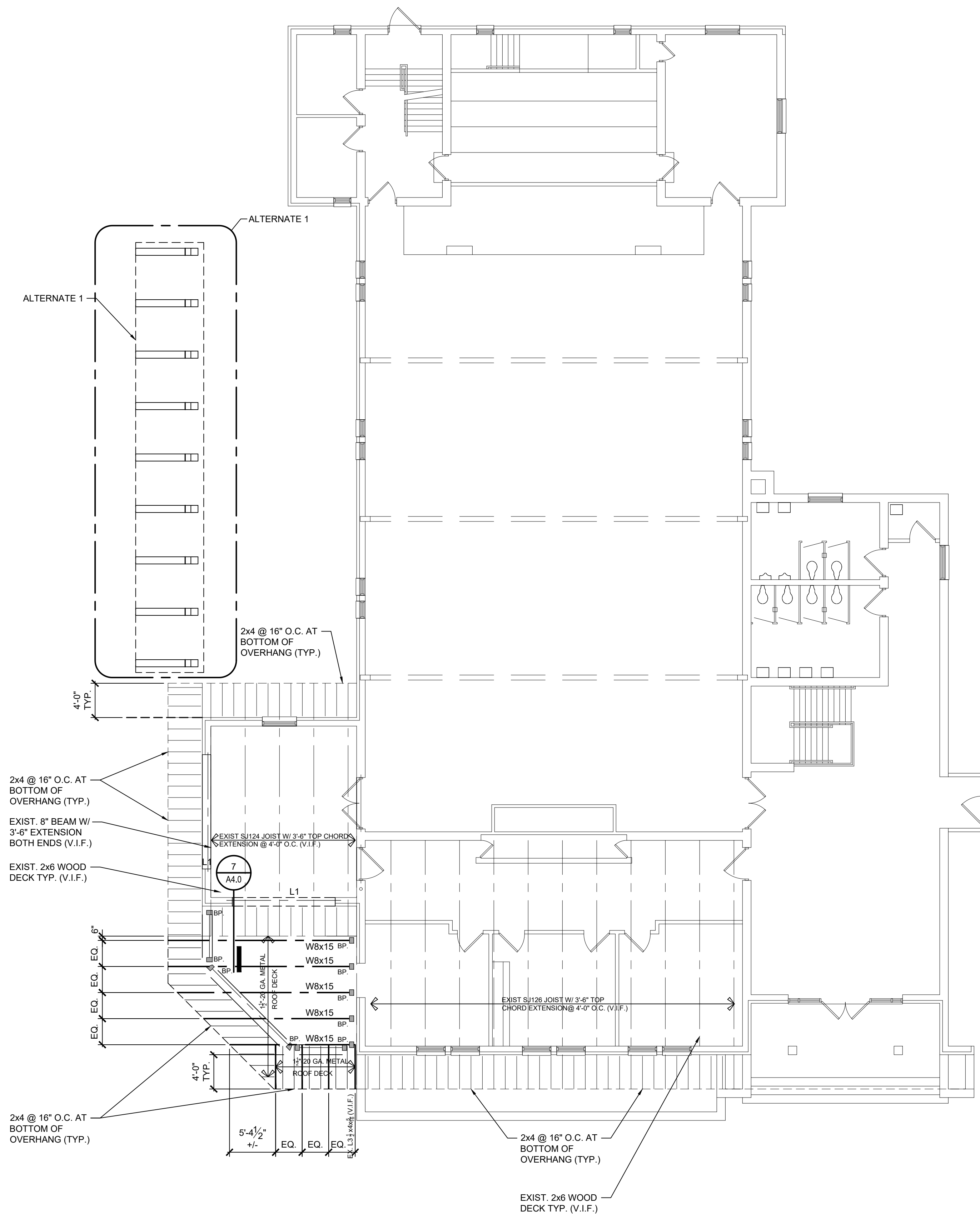
4  
S1.1  
TYP. STEEL LINTEL BEARING  
DETAIL  
SCALE: NTS



3  
S1.1  
TYP. STEEL BEAM BEARING  
ON CMU WALL DETAIL  
SCALE: NTS

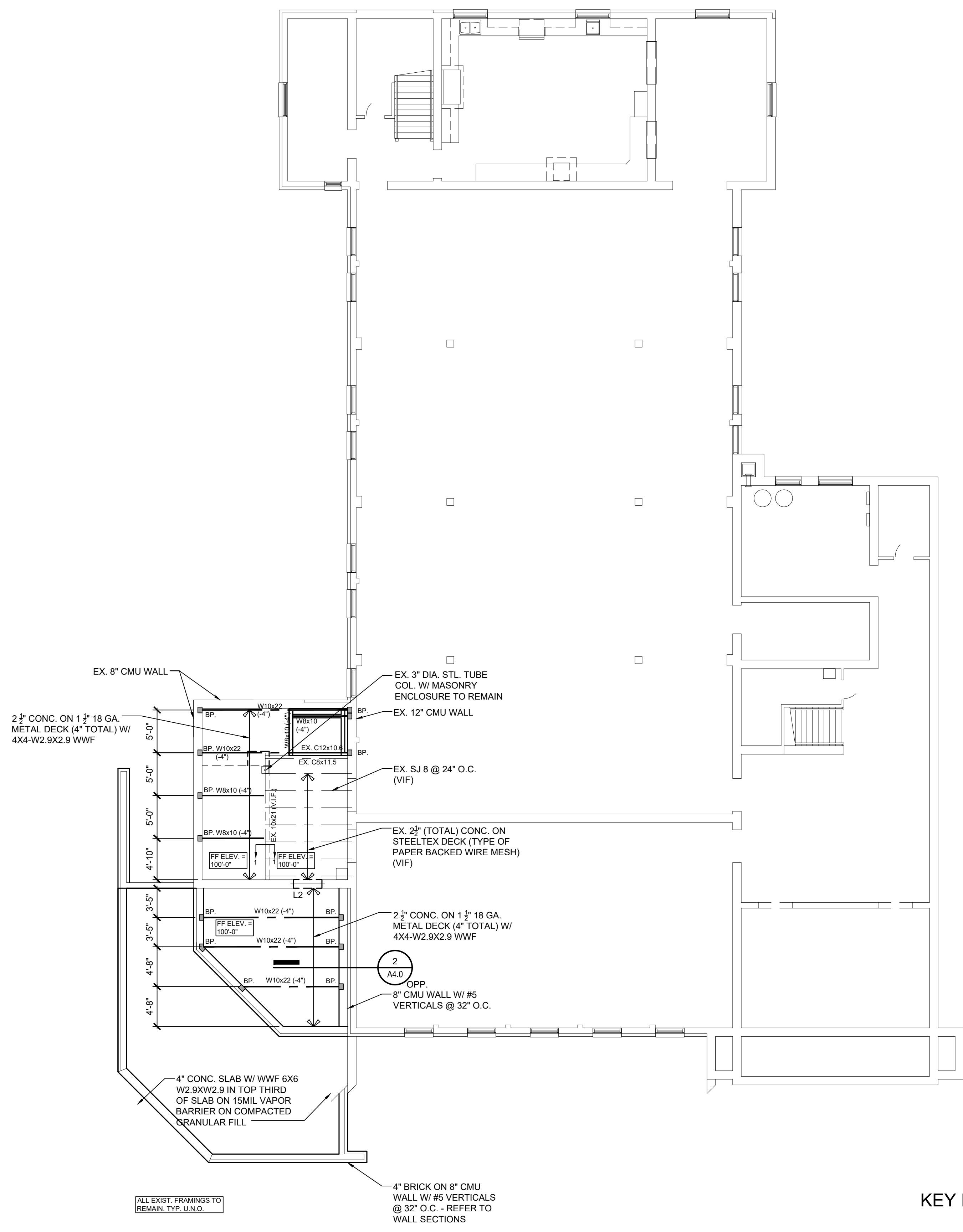
LINTEL SCHEDULE				
MARK	LINTEL	BRICK ANGLE	BEARING	REMARKS
L1	WBX15 W/ 3/8" X 14" PLATE	-	8" MIN.	-
L2	8" DEEP MASONRY LINTEL W 2 #5 BOT BARS	-	8" MIN.	-

- NOTES:
- REFER TO MASONRY NOTES ON SHEET S0.0 FOR ADD'L REQUIREMENTS.
  - PROVIDE 3/2" DIA x 6" LG HEADED STUDS @ 16" O.C. AT TOP FLANGE OF STEEL LINTELS
  - ALL STEEL LINTELS SHALL BE GALVANIZED



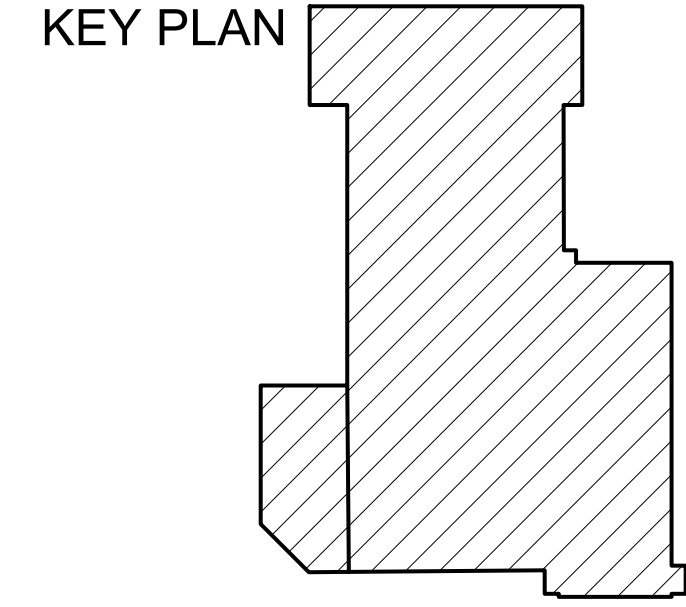
2  
S1.1  
NEW WORK - ROOF FRAMAING PLAN  
SCALE: 1/8" = 1'-0"

- NOTE:
- ALL MEMBERS ARE EQUALLY SPACED UNLESS OTHERWISE NOTED
  - ALL ROOF DECK IS 1/2" WIDE RIB, 30 GAGE GALVANIZED AND CONTINUOUS OVER A MINIMUM OF THREE SPANS
  - REFER TO MASONRY NOTES ON SHEET S0.0 FOR MASONRYING BEAM AND TYP. WALL REQUIREMENTS. CMU WALLS SHALL BE REINFORCED W/ #5 VERT. BARS @ 32" O.C., U.N.O.
  - PROVIDE L3X3X PERIMETER DECK ANGLE (TYP.)
  - PROVIDE L3X3X LVL FOR MISC. ROOF OPENING FRAMING, U.N.O.
  - SEE ARCH FOR I.O.S. ELEVATIONS
  - BP - 3/8"x10" BEARING PLATE W/ (2) 3/2" STUD X8 EMBED



1  
S1.1  
NEW WORK - FLOOR FRAMING PLAN  
SCALE: 1/8" = 1'-0"

- NOTE:
- ALL MEMBERS ARE EQUALLY SPACED UNLESS OTHERWISE NOTED
  - REFER TO MASONRY NOTES ON SHEET S0.0 FOR MASONRY BOND BEAM AND TYP. WALL REIN REQUIREMENTS. CMU WALLS SHALL BE REINFORCED W/ #5 VERT. BARS @ 32" O.C. U.N.O.
  - PROVIDE L3X3X PERIMETER DECK ANGLE (TYP.)
  - SEE ARCH FOR I.O.S. ELEVATIONS
  - BP - 3/8"x10" BEARING PLATE W/ (2) 3/2" STUDS X8 EMBED





MECHANICAL ABBREVIATIONS

ABBREV.	DESCRIPTION
AAV	AUTOMATIC AIR VENT / AIR ADMITTANCE VALVE
AD	ACCESS DOOR
AE	AIR EXTRACTOR
AFF	ABOVE FINISHED FLOOR
APD	AIR PRESSURE DROP
ASR	AUTOMATIC SPRINKLER RISER
BFP	BACKFLOW PREVENTER
BHP	BRAKE HORSEPOWER
BOD	BOTTOM OF DUCT
BTU	BRITISH THERMAL UNIT
BTUH	BRITISH THERMAL UNITS PER HOUR
BWV	BACKWATER VALVE
CAP	CAPACITY
CAV	CONSTANT AIR VOLUME
CFH	CUBIC FEET PER HOUR
CFM	CUBIC FEET PER MINUTE
CIRC	CIRCULATING
CLG	COOLING
CO	CLEAN OUT
CONT	CONTINUATION OR CONTINUED
CONV	CONVECTOR
CUH	CABINET UNIT HEATER
CV	CONTROL VALVE
DB	DRY BULB TEMPERATURE
DEG	DEGREES
DDC	DIRECT DIGITAL CONTROL
DN	DOWN
DTC	DRAIN TILE CONNECTION
DWH	DOMESTIC WATER HEATER
(E)	EXISTING
EA/EXH	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EDB	ENTERING DRY BULB TEMPERATURE
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EL	ELEVATION
ELECT	ELECTRICAL
EMS	ENERGY MANAGEMENT SYSTEM
ESP	EXTERNAL STATIC PRESSURE
EWB	ENTERING WET BULB TEMPERATURE
EWV	ELECTRIC WATER COOLER
°F	DEGREES FAHRENHEIT
FA	FACE AREA (COIL) / FREE AREA (LOUVER)
FC	FLEXIBLE CONNECTION
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FHR	FIRE HOSE RACK
FHV	FIRE HOSE VALVE
FLA	FULL LOAD AMPS
FLR	FLOOR
FPM	FEET PER MINUTE
FFD	FUNNEL FLOOR DRAIN
FFE	FINISHED FLOOR ELEVATION
FS	FLOOR SINK
FT	FEET
FURN	FURNISHED
FV	FACE VELOCITY
FVC	FIRE VALVE CABINET
GAL	GALLON
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HB	HOSE BIBB
HO	HUB OUTLET
HP	HORSEPOWER

MECHANICAL ABBREVIATIONS

ABBREV.	DESCRIPTION
HR	HOUR
HTG	HEATING
HYD	HYDRANT
HZ	HERTZ
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCHES
INST	INSTALLED
INV	INVERT
ISP	INTERNAL STATIC PRESSURE
IW	INDIRECT WASTE
KW	KILOWATT
LAT	LEAVING AIR TEMPERATURE
LAV	LAVATORY
LBS/HR	POUNDS PER HOUR
LDB	LEAVING DRY BULB TEMPERATURE
LRA	LOCKED ROTOR AMPS
LWB	LEAVING WET BULB TEMPERATURE
MAV	MANUAL AIR VENT
MAX	MAXIMUM
MBH	1000 BRITISH THERMAL UNITS PER HOUR
MCA	MINIMUM CIRCUIT AMPACITY
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MOD	MOTOR OPERATED DAMPER (AUTOMATIC)
MOP	MAXIMUM OVER-CURRENT PROTECTION
N.C.	NOISE CRITERIA
NIC	NOT IN CONTRACT
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NOM	NOMINAL
OA	OUTSIDE AIR
OBD	OPOSED BLADE DAMPER
OC	ON CENTER / CENTER TO CENTER
OD	OUTSIDE DIAMETER
OED	OPEN ENDED DUCT
ORS	OVERFLOW ROOF SUMP
OS&Y	OUTSIDE SCREW AND YOKE
PD	PRESSURE DROP (FEET OF WATER)
PRV	PRESSURE REDUCING VALVE
PSIA	POUNDS PER SQUARE INCH - ABSOLUTE
PSIG	POUNDS PER SQUARE INCH - GAUGE
PT	PRESSURE / TEMPERATURE PORT
RA	RETURN AIR
RH	RELATIVE HUMIDITY
REQD	REQUIRED
RELA	RELIEF AIR
RPM	REVOLUTIONS PER MINUTE
RPZ	REDUCED PRESSURE ZONE
RS	ROOF SUMP
SA	SUPPLY AIR
SH	SHOWER
SP	STATIC PRESSURE
SqFt / SF	SQUARE FOOT/SQUARE FEET
SS	SERVICE SINK
TC	TEMPERATURE CONTROL
T & P	TEMPERATURE AND PRESSURE
TSP	TOTAL STATIC PRESSURE
TYP	TYPICAL
UG	UNDERGROUND
UH	UNIT HEATER
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE

MECHANICAL ABBREVIATIONS

ABBREV.	DESCRIPTION
UR	URINAL
VD	VOLUME DAMPER (MANUALLY ADJUSTABLE)
VTR	VENT THRU ROOF
W	WASTE
W&V	WASTE AND VENT
WB	WET BULB TEMPERATURE
WC	WATER CLOSET
WG	WATER GAUGE
WH	WALL HYDRANT

MECHANICAL PIPING SYMBOLS

ABBREV.	DESCRIPTION
	PIPE ELBOW UP
	PIPE ELBOW DOWN
	PIPE TEE DOWN
	DIRECTION OF FLOW
	UNION
	STRAINER
	CONCENTRIC REDUCER
	ECCENTRIC REDUCER
	EXPANSION JOINT
	FLEXIBLE CONNECTION
	PIPE ANCHOR
	PIPE GUIDE
	PIPE CAP OR PLUG
	ISOLATION VALVE
	CIRCULATING PUMP
	GLOBE VALVE
	BALL VALVE
	BUTTERFLY VALVE
	ANGLE VALVE
	CHECK VALVE (SWING)
	CHECK VALVE (SPRING)
	PLUG VALVE
	NEEDLE VALVE
	OUTSIDE SCREW AND YOKE VALVE (OS&Y)
	PRESSURE REGULATING VALVE
	SOLENOID VALVE
	CONTROL VALVE (2-WAY / 3-WAY)
	CENTRIFUGAL FAN
	AUTOMATIC GAS SHUT-OFF VALVE
	TRAP (PLAN VIEW)
	FLOOR DRAIN / FUNNEL FLOOR DRAIN (PLAN VIEW)
	FLOOR DRAIN / FUNNEL FLOOR DRAIN (ELEVATION)
	ROOF SUMP
	CLEAN OUT (IN FLOOR)
	CLEAN OUT (IN LINE)
	CLEAN OUT (WALL)
	BACKFLOW PREVENTER
	WATER METER ASSEMBLY
	HOSE BIBB, WALL HYDRANT
	DIRECTION OF PIPE PITCH
	SPRINKLER HEAD (UPRIGHT)
	SPRINKLER HEAD (SIDEWALL)
	FLOW SWITCH
	SIAMESE CONNECTION (YARD)
	SIAMESE CONNECTION (WALL MOUNTED)
	FIRE HYDRANT
	FLOW MEASURING DEVICE
	BALANCING VALVE
	COMBINATION FLOW MEASURING AND BALANCING DEVICE
	AUTOMATIC AIR VALVE
	MANUAL AIR VALVE

MECHANICAL SYMBOLS

ABBREV.	DESCRIPTION
	RECTANGULAR TAKE-OFF (SINGLE LINE)
	RECTANGULAR TAKE-OFF (DOUBLE LINE)
	ROUND TAKE-OFF (SINGLE LINE)
	ROUND TAKE-OFF (DOUBLE LINE)
	SPIN-IN FITTING (WITH VOLUME DAMPER)
	ELBOW (WITH TURNING VANES)
	RADIUS RECTANGULAR ELBOW
	RADIUS ROUND ELBOW
	RECTANGULAR ELBOW UP
	ROUND ELBOW UP
	RECTANGULAR ELBOW DOWN
	ROUND ELBOW DOWN
	CONCENTRIC TRANSITION (DOUBLE LINE)
	CONCENTRIC TRANSITION (SINGLE LINE)
	ECCENTRIC TRANSITION (DOUBLE LINE)
	ECCENTRIC TRANSITION (SINGLE LINE)
	INCLINED RISE IN DIRECTION OF AIR FLOW (DOUBLE LINE)
	INCLINED RISE IN DIRECTION OF AIR FLOW (SINGLE LINE)
	INCLINED DROP IN DIRECTION OF AIR FLOW (DOUBLE LINE)
	INCLINED DROP IN DIRECTION OF AIR FLOW (SINGLE LINE)
	FLEXIBLE CONNECTION
	FLEXIBLE DUCT CONNECTION TO SUPPLY DIFFUSER
	SUPPLY DIFFUSER
	LINEAR SLOT DIFFUSER
	RETURN OR EXHAUST GRILLE
	TRANSFER GRILLE
	CROSS SECTION OF SUPPLY AIR DUCT
	CROSS SECTION OF EXHAUST OR RETURN AIR DUCT
	EXISTING FIRE DAMPER (HORIZONTAL)
	NEW FIRE DAMPER (HORIZONTAL)
	EXISTING FIRE DAMPER (VERTICAL)
	NEW FIRE DAMPER (VERTICAL)
	EXISTING SMOKE DAMPER
	NEW SMOKE DAMPER
	EXISTING COMBINATION FIRE/SMOKE DAMPER (VERTICAL)
	NEW COMBINATION FIRE/SMOKE DAMPER (VERTICAL)
	EXISTING COMBINATION FIRE/SMOKE DAMPER (HORIZONTAL)
	NEW COMBINATION FIRE/SMOKE DAMPER (HORIZONTAL)
	VOLUME DAMPER (MANUALLY ADJUSTABLE)
	MOTORIZED DAMPER
	SMOKE DETECTOR
	CO2 SENSOR
	THERMOSTAT OR TEMPERATURE SENSOR
	HUMIDISTAT OR HUMIDITY SENSOR
	RETURN OR EXHAUST / SUPPLY AIR FLOW

PIPING LEGEND

ABBREV.	DESCRIPTION
—CA—	COMPRESSED AIR PIPING
—CD—	CONDENSATE DRAIN PIPING
—DT—	DRAIN TILE
—F—	FIRE PROTECTION PIPING
—FOR—	FUEL OIL RETURN PIPING
—FOS—	FUEL OIL SUPPLY PIPING
—G—	NATURAL GAS PIPING
—BCW—	BOOSTED--DOMESTIC COLD WATER PIPING
—BHW—	BOOSTED--DOMESTIC HOT WATER PIPING
—CW—	DOMESTIC COLD WATER PIPING
—NPCW—	NON POTABLE COLD WATER PIPING
—TW—	TEMPERED WATER PIPING
—HW—	DOMESTIC HOT WATER PIPING
—HW(140°F)—	DOMESTIC 140°F HOT WATER PIPING
—HWR—	DOMESTIC HOT WATER RETURN PIPING
—SAN—	SANITARY WASTE PIPING
—PSAN—	PUMPED SANITARY PIPING
—V—	VENT PIPING
—ST—	STORM SEWER PIPING
—PST—	PUMPED STORM PIPING
—RC—	RAIN CONDUCTOR PIPING
—ORC—	OVERFLOW RAIN CONDUCTOR PIPING
—CHWR—	CHILLED WATER RETURN PIPING
—CHWS—	CHILLED WATER SUPPLY PIPING
—CWR—	CONDENSER WATER RETURN PIPING
—CWS—	CONDENSER WATER SUPPLY PIPING
—HHWR—	HEATING HOT WATER RETURN PIPING
—HHWS—	HEATING HOT WATER SUPPLY PIPING
—HPLR—	HEAT PUMP LOOP RETURN PIPING
—HPLS—	HEAT PUMP LOOP SUPPLY PIPING
—RL—	REFRIGERANT LIQUID PIPING
—RS—	REFRIGERANT SUCTION PIPING
—HGB—	HOT GAS BY-PASS PIPING
—GXHR—	GEO HEAT EXCHANGE RETURN
—GXHS—	GEO HEAT EXCHANGE SUPPLY
—STM—	STEAM PIPING
—HPS—	HIGH PRESSURE STEAM PIPING
—LPS—	LOW PRESSURE STEAM PIPING
—CR—	STEAM CONDENSATE RETURN PIPING
—PCR—	PUMPED STEAM CONDENSATE RETURN PIPING
—LPC—	LOW PRESSURE CONDENSATE PIPING
—HPC—	HIGH PRESSURE CONDENSATE PIPING
—MA—	MEDICAL AIR PIPING
—N—	NITROGEN GAS PIPING
—O2—	OXYGEN GAS PIPING
—VAC—	VACUUM PIPING

DRAWING NOTATION

SYMBOL	DESCRIPTION
	NEW WORK KEY NOTE NO. 1
	DEMOLITION KEY NOTE NO. 1
AHU-1	EQUIPMENT TAG
S-1 12x12 150-2	AIR TERMINAL TAG; IE: DIFFUSER TYPE = S-1 NECK SIZE = 12x12 CFM = 150 (TYPICAL FOR 2)
	S = SUPPLY
	R = RETURN
	E = EXHAUST
	T = TRANSFER
	EXISTING DEVICES OR EQUIPMENT
	NEW OR MODIFIED DEVICES OR EQUIPMENT
	EXISTING SYSTEM COMPONENT TO BE REMOVED
	POINT OF NEW CONNECTION

APPLICABLE CODES AND REGULATIONS

YEAR	CODE
2015	MICHIGAN BUILDING CODE
2015	MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
2021	MICHIGAN PLUMBING CODE
2021	MICHIGAN MECHANICAL CODE
2015	MICHIGAN UNIFORM ENERGY CODE
2015	INTERNATIONAL FUEL GAS CODE
2012	NFPA 101 WITH BFS AMENDMENTS

FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

MECHANICAL GENERAL INFORMATION

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY \_DJL\_  
CHECKED BY \_DJL\_

REVISIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.

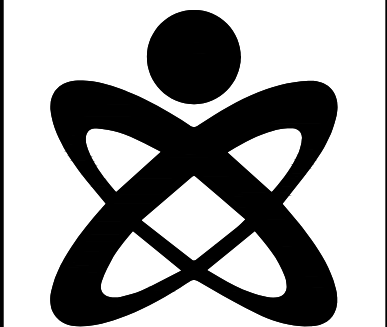
M0.00

JOB NO.

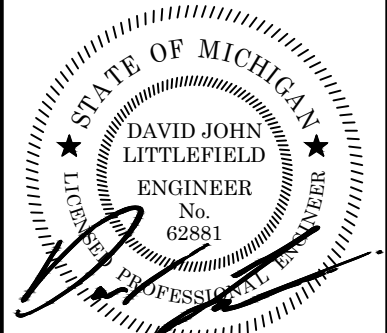


WAKELY ASSOCIATES, INC.  
ARCHITECTS

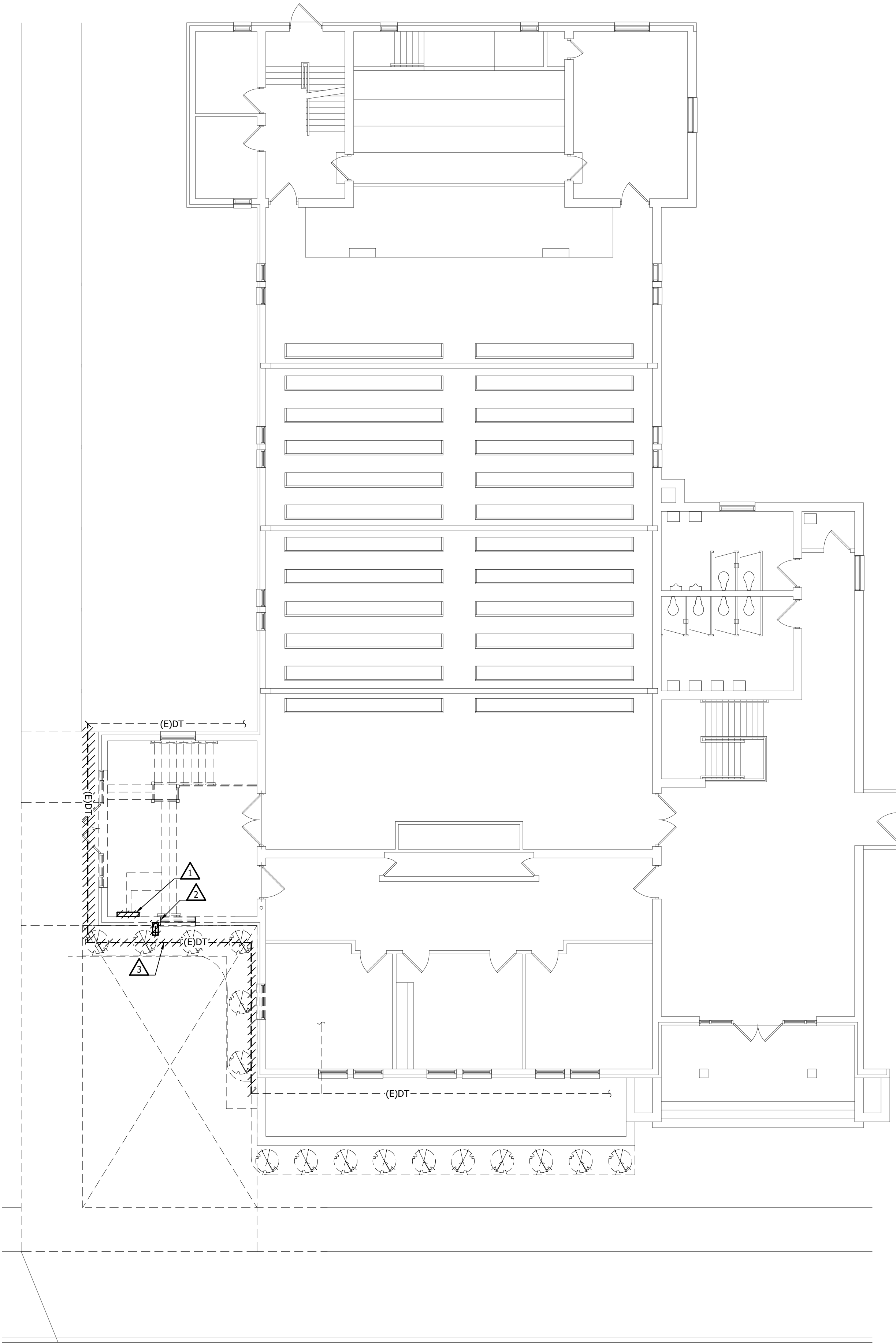
30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com



UNIFIED BUILDING  
SYSTEMS ENGINEERING  
69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007-24-14

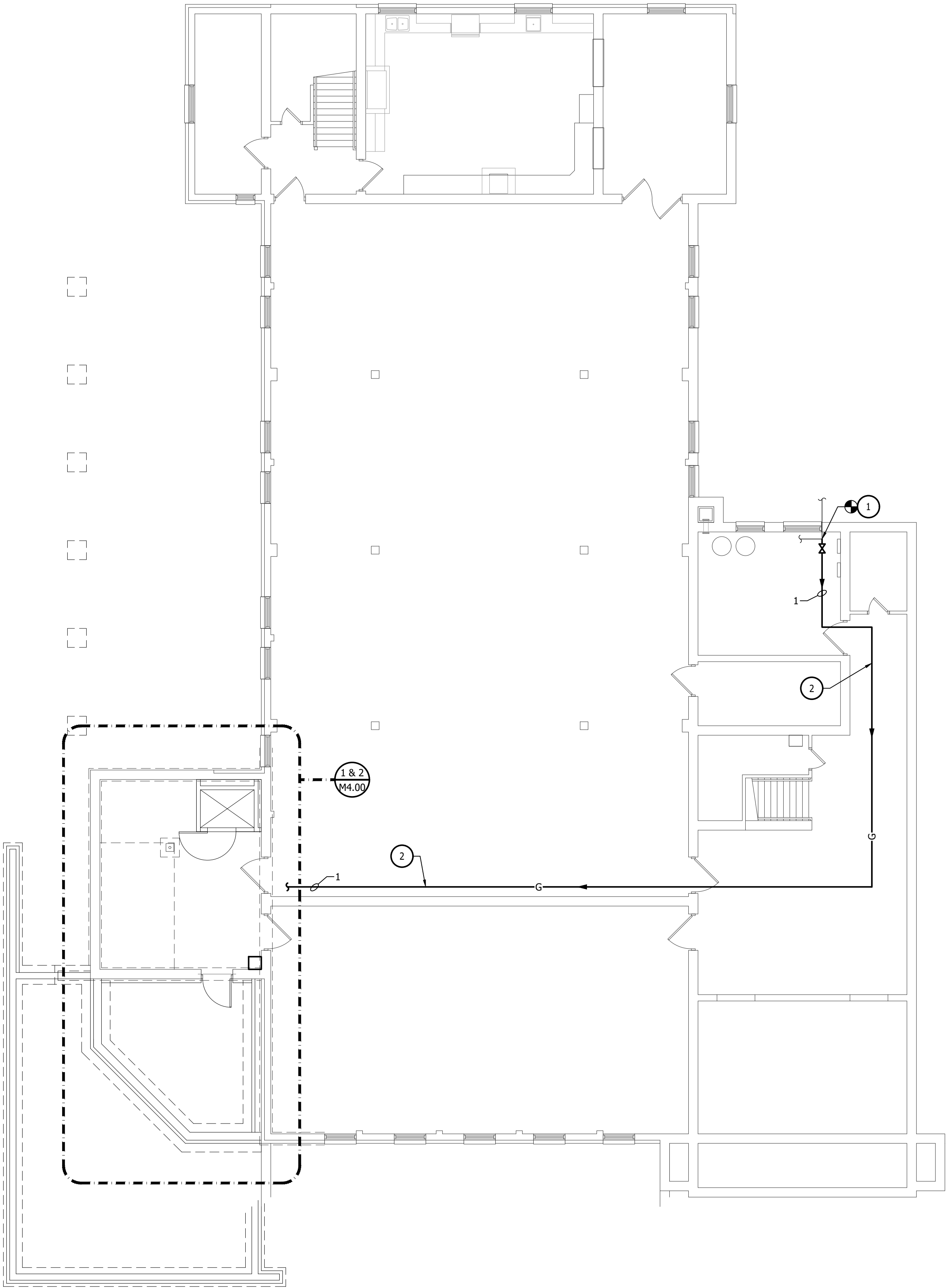






GENERAL DEMOLITION NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION, PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.

DEMOLITION KEYED NOTES	
1	REMOVE CABINET UNIT HEATER AND ALL ASSOCIATED COMPONENTS COMPLETE. REMOVE HEATING HOT WATER PIPING DOWN THROUGH FLOOR AND CAP.
2	REMOVE EXISTING HOSE BIB AND ALL ASSOCIATED COMPONENTS COMPLETE. REMOVE COLD WATER PIPING THROUGH FLOOR AND CAP.
3	REMOVE SECTION OF DRAIN TILE COMPLETE. FIELD VERIFY EXISTING LOCATION AND DEPTH PRIOR TO WORK.

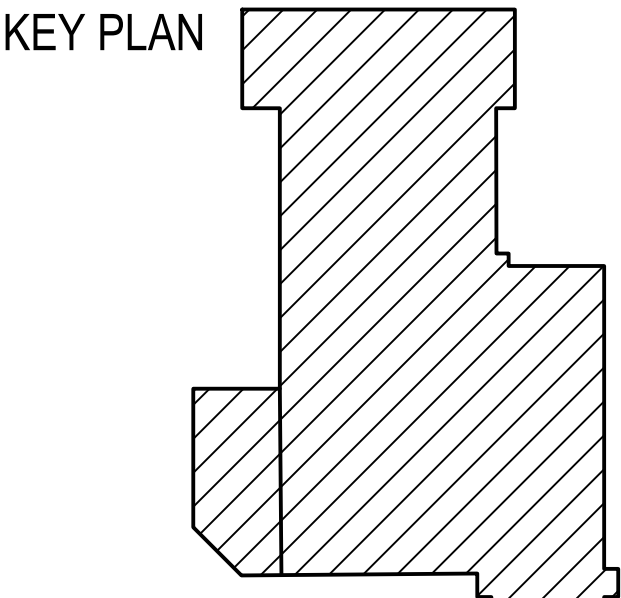


HVAC GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS PER ENGINEER'S SPECIFICATION, AND LOCAL APPLICABLE CODES INCLUDING AMENDMENTS, BULLETINS, ETC. AS WELL AS STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD, IN ACCORDANCE WITH ALTERNATES OF OPTIONS AS STATED HEREINAFTER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
C	THE CONTRACTOR AND EACH SUBCONTRACTOR COVENANTS AND AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CONSULTING ENGINEER, ARCHITECT, AND OWNER FROM AND AGAINST ANY LIABILITY, LOSS, DAMAGE, OR EXPENSE INCLUDING ATTORNEY'S ARISING FROM A FAILURE OR ALLEGED FAILURE ON THE PART OF THE CONTRACTOR, SUBCONTRACTORS, AND THEIR AGENTS/EMPLOYEES PROPERLY TO DISCHARGE THE OBLIGATIONS ASSUMED BY HIM/HER IN THE PERFORMANCE OF THE WORK, INCLUDING ANY ACT OR OMISSION ALLEGEDLY RESULTING IN DEATH, PERSONAL INJURY, PROPERTY DAMAGE, OR IMPROPER CONSTRUCTION PROTOCOL.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	CONTRACTOR TO EXAMINE ALL ADJOINING WORK BEFORE COMMENCEMENT OF HIS/HER SCOPE OF WORK. REPORT ANY DISCREPANCIES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL. COORDINATE ALL WORK WITH OTHER TRADES TO ENSURE THAT INSTALLATION IS MADE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
F	PROVIDE REQUIRED CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT; DUCTWORK/PIPING SHALL NOT INTERFERE WITH ELECTRICAL EQUIPMENT CLEARANCE.
G	CONNECTION TO EQUIPMENT SHALL BE VERIFIED WITH MANUFACTURER'S CERTIFIED DRAWINGS. ALL PIPING CONNECTIONS SHALL BE MINIMUM 3/4" UNLESS NOTED OTHERWISE.
H	FURNISH ADEQUATE LIABILITY INSURANCE AND BONDING DOCUMENTS AS REQUIRED BY THE OWNER.
J	ALL SUPPORT ANCHORS SECURED TO THE BOTTOM OF FLOOR SLABS SHALL BE DROP-IN OR SLEEVE ANCHOR TYPE. ALL SUPPORTING STEEL SHALL BE PROVIDED BY THE CONTRACTOR.
K	DUCTWORK/PIPING SHALL NOT BE INSTALLED IN A LOCATION THAT RESTRICTS THE ACCESS TO MECHANICAL DEVICES REQUIRING ACCESS.
L	THE CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS SUPPORTING STEEL FOR THE PROPER INSTALLATION OF MECHANICAL SYSTEMS.
M	BRANCH DUCTWORK TO GRILLES, REGISTERS, AND DIFFUSERS SHALL BE THE SAME SIZE AS TERMINAL DEVICE NECK SIZE WHERE NO DUCT SIZE IS INDICATED.

NEW WORK KEYED NOTES	
1	HAVE CONTRACTOR FIELD VERIFY SIZE OF GAS PIPE. EXTEND AND CONNECT 1" G PIPE TO EXISTING MAIN IN BOILER ROOM. FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
2	ROUTE GAS PIPING IN PRE-FABRICATED METAL CHASE BY MECHANICAL CONTRACTOR. PAINT FINISH TO MATCH EXISTING WALL COLOR. PROVIDE LARGE ENOUGH SPACE TO ROUTE ADDITIONAL ELECTRICAL CONDUIT. FIELD VERIFY REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO ORDER. PIPE MATERIAL SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED FITTINGS.

 MECHANICAL COMPOSITE DEMOLITION FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

 MECHANICAL COMPOSITE NEW WORK FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

MECHANICAL FIRST FLOOR  
COMPOSITE PLAN

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY \_D.J.L.\_  
CHECKED BY \_D.J.L.\_

REVISIONS  
BID SET 01/14/2024

DATE: JANUARY 14TH, 2025  
SHEET NO.

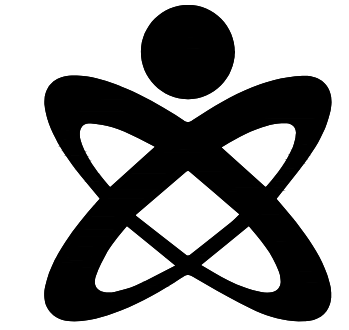
M1.00

JOB NO.

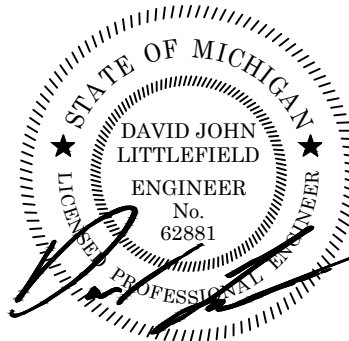
WA

WAKELY ASSOCIATES, INC.  
ARCHITECTS

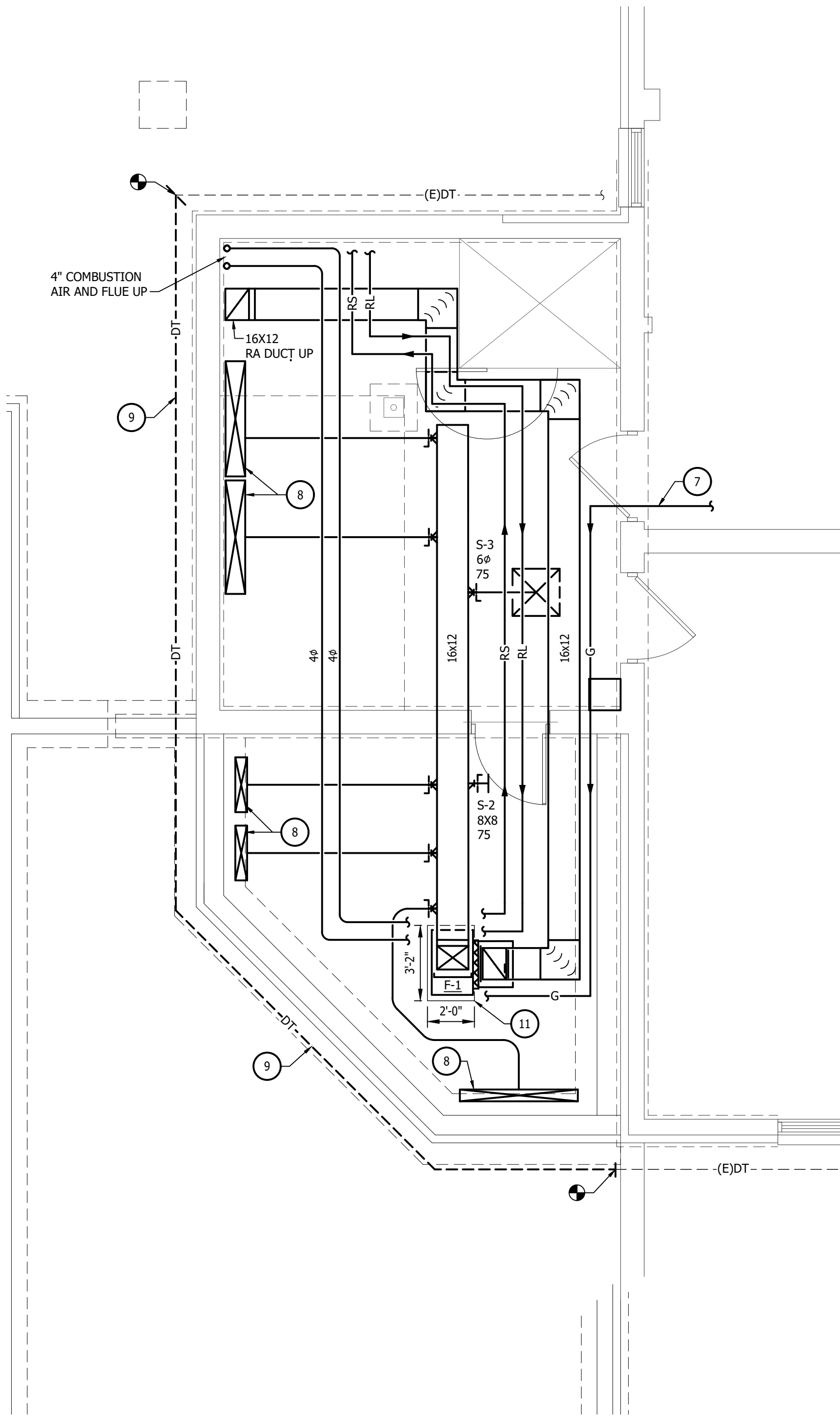
30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com



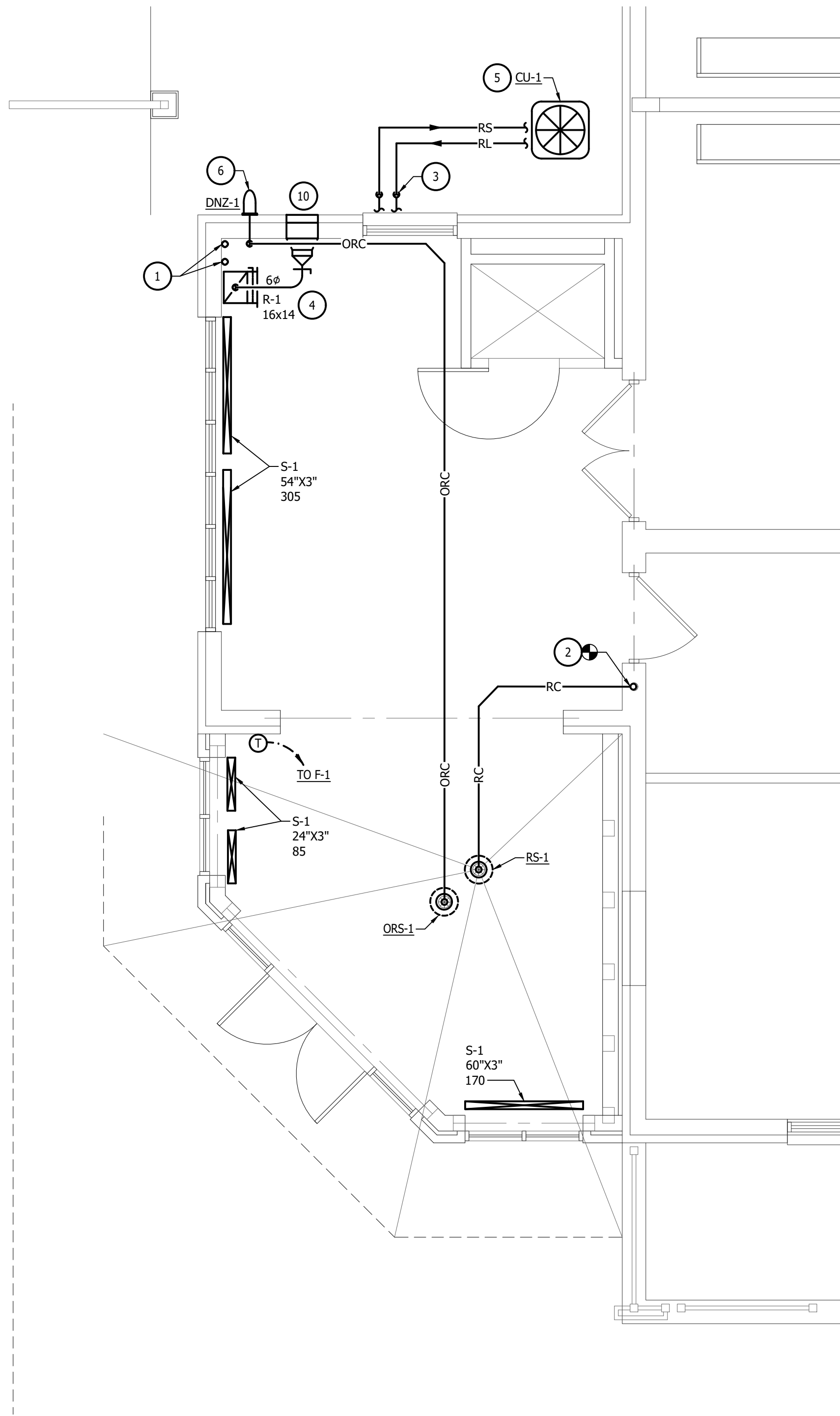
UNIFIED BUILDING  
SYSTEMS ENGINEERING  
69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 0072414







1  
M1.00  
ENLARGED MECHANICAL NEW WORK BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

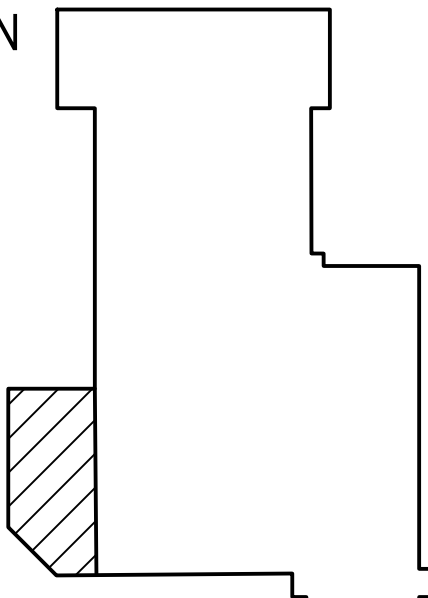


2  
M1.00  
ENLARGED MECHANICAL NEW WORK FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

HVAC GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS PER ENGINEER'S SPECIFICATION, AND LOCAL APPLICABLE CODES INCLUDING AMENDMENTS, BULLETINS, ETC. AS WELL AS STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD, IN ACCORDANCE WITH ALTERNATES OF OPTIONS AS STATED HEREINAFTER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
C	THE CONTRACTOR AND EACH SUBCONTRACTOR COVENANTS AND AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CONSULTING ENGINEER, ARCHITECT, AND OWNER FROM AND AGAINST ANY LIABILITY, LOSS, DAMAGE, OR EXPENSE INCLUDING ATTORNEYS ARISING FROM A FAILURE OR ALLEGED FAILURE ON THE PART OF THE CONTRACTOR, SUBCONTRACTORS, AND THEIR AGENTS/EMPLOYEES PROPERLY TO DISCHARGE THE OBLIGATIONS ASSUMED BY HIM/HER IN THE PERFORMANCE OF THE WORK, INCLUDING ANY ACT OR OMISSION ALLEGEDLY RESULTING IN DEATH, PERSONAL INJURY, PROPERTY DAMAGE, OR IMPROPER CONSTRUCTION PROTOCOL.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	CONTRACTOR TO EXAMINE ALL ADJOINING WORK BEFORE COMMENCEMENT OF HIS/HER SCOPE OF WORK. REPORT ANY DISCREPANCIES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL. COORDINATE ALL WORK WITH OTHER TRADES TO ENSURE THAT INSTALLATION IS MADE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
F	PROVIDE REQUIRED CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT; DUCTWORK/PIPING SHALL NOT INTERFERE WITH ELECTRICAL EQUIPMENT CLEARANCE.
G	CONNECTION TO EQUIPMENT SHALL BE VERIFIED WITH MANUFACTURER'S CERTIFIED DRAWINGS. ALL PIPING CONNECTIONS SHALL BE MINIMUM 3/4" UNLESS NOTED OTHERWISE.
H	FURNISH ADEQUATE LIABILITY INSURANCE AND BONDING DOCUMENTS AS REQUIRED BY THE OWNER.
J	ALL SUPPORT ANCHORS SECURED TO THE BOTTOM OF FLOOR SLABS SHALL BE DROP-IN OR SLEEVE ANCHOR TYPE. ALL SUPPORTING STEEL SHALL BE PROVIDED BY THE CONTRACTOR.
K	DUCTWORK/PIPING SHALL NOT BE INSTALLED IN A LOCATION THAT RESTRICTS THE ACCESS TO MECHANICAL DEVICES REQUIRING ACCESS.
L	THE CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS SUPPORTING STEEL FOR THE PROPER INSTALLATION OF MECHANICAL SYSTEMS.
M	BRANCH DUCTWORK TO GRILLES, REGISTERS, AND DIFFUSERS SHALL BE THE SAME SIZE AS TERMINAL DEVICE NECK SIZE WHERE NO DUCT SIZE IS INDICATED.

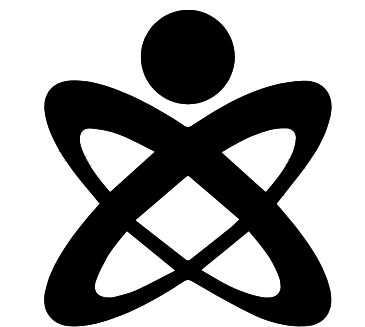
NEW WORK KEYED NOTES	
1	ROUTE 4"Ø FLUE ALL COMBUSTION AIR DUCT UP THROUGH ROOF AND TERMINATE WITH CONCENTRIC FITTING. SEAL ALL ROOF PENETRATION WEATHER TIGHT.
2	EXTEND AND CONNECT 3" ST TO EXISTING 4" STORM RISE IN WALL. FIELD VERIFY EXACT LOCATION IN FIELD PRIOR TO INSTALLATION.
3	ROUTE REFRIGERANT PIPING DOWN BELOW GRADE AND PENETRATE EXISTING BASEMENT WALL WITH SCHEDULE 40 STEEL SLEEVE. SEAL WEATHER TIGHT.
4	MOUNT DIFFUSER AS HIGH AS POSSIBLE.
5	INSTALL CONDENSING UNIT ON EXTERIOR PAD
6	ROUTE 3" ORC DOWN ALONG WALL TO DOWNSPOUT NOZZLE. TERMINATE ON SPLASH BLOCK 18" ABOVE GRADE.
7	EXTEND AND CONNECT 1" GAS PIPE TO EXISTING MAIN IN BOILER ROOM. FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION. REFER TO OVERALL PLANS FOR CONTINUATION. PIPE MATERIAL SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED FITTINGS.
8	CONTRACTORS TO FIELD FABRICATE PLENUM OFF BOTTOM OF FLOOR-MOUNTED DIFFUSER. PROVIDE ROUND SUPPLY DUCT CONNECTION ON SIDE OF PLENUM. REFER TO DIFFUSER LOG FOR SUPPLY CONNECTION SITE.
9	PROVIDE AND EXTEND NEW DRAIN TILE AROUND PORTION OF EXISTING BUILDING AND NEW ADDITION. CONNECT INTO EXISTING DRAIN TILE AT APPROACHING LOCATIONS SHOWN. FIELD VERIFY EXISTING DEPTH, AND PIPE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPLACE ADDITIONAL PIPING AS NEEDED.
10	PROVIDE AND INSTALL 15"x2" GREENHECK BIV BRICK VENT IN APPROXIMATE LOCATION SHOWN. INSTALL COVER AT ELEVATION SO DUCTWORK OFF THE BACK IS ABOVE THE CEILING. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.
11	INSTALL FURNACE ON NEW 4" CONCRETE HOUSEKEEPING PAD. PAINT PAD SAFETY YELLOW. CONFIRM EXACT DIMENSION INS PAD IN FIELD PRIOR TO INSTALLATION.

KEY PLAN



WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com



UNIFIED BUILDING  
SYSTEMS ENGINEERING  
69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007-24-14



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ENLARGED MECHANICAL  
NEW WORK PLANS

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY \_D.J.L.\_  
CHECKED BY \_D.J.L.\_

REVISIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.

M4.00

JOB NO.





NOTES:  
1. MODEL NUMBERS ARE LENNOX OTHERWISE NOTED.  
2. TWO-STAGE GAS BURNER.  
3. DISCONNECT SWITCH BY E.C.

**NOTES:**

1. MODEL NUMBERS ARE LENNOX OTHERWISE NOTED.
2. BY E.C. DISCONNECT SWITCH.
3. PROVIDE WITH HARD START KITS.
4. PROVIDE EQUIPMENT PAP.

NOTES:

1. COORDINATE WITH LIGHTING AND FRAME TYPE ACCORDINGLY WITH ARCHITECTURAL CEILING LAYOUT.



NOTES:

1. SUPPLY ALL FIXTURES WITH LOOSE KEY STOPS.
2. PROVIDE ALL ACCESSORIES NECESSARY FOR COMPLETE AND OPERABLE INSTALLATION.
3. PROVIDE CARRIERS FOR ALL FIXTURES PER MANUFACTURER'S RECOMMENDATIONS.
4. WHERE REQUIRED AND WHERE DESIGNATED, FIXTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE TO THE LATEST EDITION OF "THE BARRIER" FREE DESIGN REQUIREMENTS OF THE STATES CONSTRUCTION CODE.
5. ALL FIXTURES SHALL MEET MICHIGAN DEPT. OF PUBLIC HEALTH REQUIREMENTS, AND SHALL BE SUITABLE FOR FOOD PREPARATION AREAS.
6. REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION/MOUNTING HEIGHT OF ALL FIXTURES.







LUMINAIRE SCHEDULE					
FIXTURE SYMBOL	FIXTURE TAG	DESCRIPTION	MANUFACTURER(S)	LAMP SOURCE	WATTS
	A	4.8'W X 1.2'H X 1.2' D LED RING PENDANT FIXTURE. SEAMLESS ALUMINUM HOUSING AND SEAMLESS DIFFUSER. FINISH TO BE SELECTED BY ARCHITECT. FLAT DIFFUSED LENS, DIRECT AND INDIRECT OPTION. LED ELECTRONIC DRIVER 1% MINIMUM DIM LEVEL. WITH ADJUSTABLE AIRCRAFT CABLE MOUNTING. 3197 LUMENS, 4000K, 80 CRI. CABLE HUNG, 120V OPERATION.	1. SPI ZYNN RING L54W-120-4000K DF_80-DF_DIM1-MCP2 40K 80CRI HC36 2. COOPER LIGHTING 3. COLUMBIA LIGHTING	LED 4000K 3197LM 80CRI	54W
	B	4'L X 3.4'W X 2.7' D LED LINEAR PENDANT STRIP FIXTURE. ROLLED STEEL HOUSING, END CAPS, WHITE FINISH. FLAT DIFFUSED LENS. LED ELECTRONIC DRIVER 0-10V DIMMING DOWN TO 10% WITH ADJUSTABLE AIRCRAFT CABLE MOUNTING. 4000 LUMENS, 4000K, 80 CRI. CABLE HUNG, 120V OPERATION.	1. LITHONIA CLX L48 4000L SEF FDL MVOLT G210 40K 80CRI HC36 2. COOPER LIGHTING 3. COLUMBIA LIGHTING	LED 4000K 4000LM 80CRI	27.6W
	C	6" DIAMETER HIGH BRIGHTNESS LIGHT EMITTING DIODES (LEDs) RECESS MOUNTED LED DOWNLIGHT SUITABLE FOR INSTALLATION IN DRYWALL OR LAY-IN TYPE CEILING CONSTRUCTION. WIDE DISTRIBUTION, MATT DIFFUSE ALUMINUM REFLECTOR WITH CLEAR APERTURE/TRIM. CONSTANT CURRENT LED DRIVER, 0-10V DIMMING DRIVER DOWN TO 1% MVOLT OPERATION. NOMINAL 2500 LUMEN OUTPUT.	1. GOTHAM EV040-25-4AR-WOLD MVOLTEZ1. 2. COOPER LIGHTING 3. COLUMBIA LIGHTING	LED 4000K MVOLT 85CRI	28.9W
	D	8"ROUND X 42"H HIGH EFFICACY LED KBA BOLLARD. 8 IN ROUND ALUMINUM SHAFT THICK SIDE WALLS FOR EXTREME DURABILITY. FINISH TO BE SELECTED BY ARCHITECT. BUILT IN PHOTO CELL WITH CLEAR ACRYLIC LENS. 4000K, 1598LUMENS, MVOLT.	1.LITHONIA KB08 LED 16C-530-40K-SYM-MVOLT-PE 2. COOPER LIGHTING 3. COLUMBIA LIGHTING	LED 4000K MVOLT 80CRI	28W
	E	2'x4' EDGE LIT FLAT PANEL LED LUMINAIRE. A FULLY LUMINOUS APPEARANCE GLARE FREE. SUITABLE FOR RECESS MOUNTING IN LAY-IN TYPE GRID CEILING. ALUMINUM FRAME WITH SATIN WHITE LENS. 4000 LUMENS, ELECTRONIC DRIVER, 4000K. 0-10V DIMMING CAPABLE, UNIVERSAL VOLTAGE.	1. LITHONIA CPX-2X4 4000LM80CRI40KSWLMIN100MVOLT 2. COOPER LIGHTING 3. COLUMBIA LIGHTING	80CRI 4000K	38.9
	F	4.5" WIDE SURFACE MOUNTED EXTRUDED ALUMINUM LED FIXTURE WITH TRIM SUITABLE FOR WET LOCATIONS. TEMPERED CLEAR GLASS LENS, HIGH EFFICIENCY LAMBERTIAN OPTIC. LENGTH AS SHOWN ON PLANS. 4000K, 80 CRI, MVOLT, 0-10V DIMMING, HIGH OUTPUT. COLOR TO BE SELECTED BY ARCHITECT.	1. LUMEN WERK VIA WET 2. AXIS LIGHTING 3. ENGINEER APPROVED EQUAL PRIOR TO RECEPTION OF BIDS	LP840 80CRI 1000LM/F	11.7 W/FT
	#	SAME AS TYPE # EXCEPT THIS FIXTURE WILL BE PROVIDED WITH AN INTERNAL BATTERY PACK. WIRE SUCH IT OPERATES NORMALLY WITH A SWITCH AND AS AN EMERGENCY LIGHT UPON LOSS OF POWER.			
	X	EXIT LIGHT EMERGENCY LIGHT SHALL BE UNIVERSAL MOUNT, DIECAST ALUMINUM, HIGH OUTPUT LED DIFFUSE LIGHT PANEL, RED LETTERS WITH MAINTENANCE FREE NICKEL CADMIUM BATTERY CAPABLE OF PROVIDING 90 MINUTE FULL LIGHT OPERATION.	1. LITEALARMS GRANDE SERIES CAT# 1 XDPC N W RW	120-277V	2.3
	XD	EMERGENCY LIGHT REMOTE HEAD TO BE CONNECTED TO EXIT SIGN WITH HIGH OUTPUT BATTERY..	1. LITEALARMS CAT # SAF2 LD1 B E	120-277V	2.3

LIGHTING SYMBOL LIST

SYMBOL	DESCRIPTION
	LIGHT FIXTURE - CEILING/GRID MOUNT
	LIGHT FIXTURE - INTERIOR WALL MOUNT LINEAR
	LIGHT FIXTURE - DOWNLIGHT WITH WALLWASH DIST.
	LIGHT FIXTURE - INTERIOR WALL SCONCE
	LIGHT FIXTURE - INTERIOR SURFACE MOUNT
	LIGHT FIXTURE - INTERIOR WALL MOUNTED
	LIGHT FIXTURE - INTERIOR PENDANT MOUNT
	LIGHT FIXTURE - INTERIOR PENDANT MOUNT CYLINDER
	TRACK AND TRACK MOUNTED LIGHT FIXTURES
	EXIT LIGHT - CEILING MOUNTED - ARROWS AS INDICATED ON PLAN (SHADED AREA INDICATES FACE(S) OF FIXTURE)
	EXIT LIGHT - WALL MOUNTED - ARROWS AS INDICATED ON PLAN (SHADED AREA INDICATES FACE(S) OF FIXTURE)
	EMERGENCY LIGHT FIXTURE - EMERGENCY BATTERY UNIT
	EMERGENCY LIGHT FIXTURE - BATTERY UNIT/EXIT SIGN
	LIGHT FIXTURE - EXTERIOR POLE MOUNT TYPE
	LIGHT FIXTURE - EXTERIOR WALL MOUNT TYPE
	LIGHT FIXTURE - EXTERIOR POST TOP TYPE
	LIGHT FIXTURE - EXTERIOR BOLLARD TYPE

NOTES:  
1. LIGHTING SYMBOLS AS INDICATED ON PLANS ARE NOT DRAWN TO SCALE UNLESS NOTED OTHERWISE.

LIGHTING CONTROLS LEGEND

SYMBOL	DESCRIPTION
\$	SWITCH SINGLE POLE
\$o	OCCUPANCY SENSOR SWITCH
\$v	VACANCY SENSOR SWITCH
\$o	LOW VOLTAGE DIMMER SWITCH
\$vo	VACANCY DIMMER SENSOR SWITCH
@	CEILING MOUNTED OCCUPANCY SENSOR
@v	CEILING MOUNTED VACANCY SENSOR
\$3	SWITCH THREE-WAY
\$x	SINGLE POLE KEY SWITCH
[DH]	PHOTOCELL SENSOR

POWER SYMBOL LIST

SYMBOL	DESCRIPTION
•	CONDUIT DOWN
o	CONDUIT UP
[C]	CONTACTOR
[ ]	DISCONNECT SWITCH - NON FUSED
[ ]	DISCONNECT SWITCH - FUSED
[X]	DISCONNECT SWITCH - COMB. MOTOR STARTER
[ ]	ELECTRICAL PANEL - 208/240 VOLTS
[ ]	ELECTRICAL PANEL - 480 VOLTS
⊕	GROUNDING ROD
≡	GROUND
—	GROUNDING BAR
[ ]	JUNCTION BOX
[ ]	JUNCTION BOX WITH HARDWIRED CONNECTION
[M]	METER
~	MOTOR - SINGLE PHASE
~	MOTOR - THREE PHASE
⚡	MOTOR RATED SWITCH
⊕	POWER RECEPTACLE - SIMPLEX TYPE
⊕	POWER RECEPTACLE - DUPLEX TYPE
⊕	POWER RECEPTACLE - DUPLEX 6" ABOVE COUNTER
⊕USB	POWER RECEPTACLE - USB/DUPLEX COMBO. DEVICE
⊕	POWER RECEPTACLE - QUADRUPLEX TYPE
[ ]	POWER RECEPTACLE - RECESSED FLOOR TYPE
⊕	POWER RECEPTACLE - SPECIALTY TYPE
[SPD]	SURGE PROTECTION DEVICE
[TC]	TIME CLOCK
[T]	TRANSFORMER (REFER TO SCHEDULES FOR INFO)
[VSD]	VARIABLE SPEED DRIVE

NOTES:  
1. ALL DEVICE RATINGS/SIZES SHALL BE COORDINATED WITH PLANS AND SCHEDULES.

AUXILIARY SYST. SYMBOL LIST

SYMBOL	DESCRIPTION
[ ]	CAMERA
[CR]	CARD READER
▼	COMMUNICATIONS DEVICE - 6" ABOVE COUNTER
[ ]	COMMUNICATIONS DEVICE - FLOOR
▼	COMMUNICATIONS DEVICE - WALL
[DH]	MAGNETIC DOOR HOLDER
[ ]	PUSH BUTTON
[S]	SPEAKER
[ ]	WALL CLOCK - SINGLE FACE
[ ]	WALL CLOCK - DOUBLE FACE
[S][S]	WALL CLOCK AND SPEAKER UNIT

NOTES:  
1. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR BOX AND CONDUIT FOR ALL DEVICES INDICATED.  
2. LOW VOLTAGE CONTRACTOR SHALL PROVIDE EXACT SPECIFICATIONS AND LOCATIONS OF ALL DEVICES.

FIRE ALARM SYMBOL LIST

SYMBOL	DESCRIPTION
[S]	DETECTION DEVICE
[S]	DETECTION DEVICE - DUCT MOUNTED
[FS]	DETECTION DEVICE - FLOW SWITCH
[TS]	DETECTION DEVICE - TAMPER SWITCH
[FAA]	FIRE ALARM ANNUNCIATOR PANEL
[FACP]	FIRE ALARM CONTROL PANEL
▽FD	FIRE DEPARTMENT COMMUNICATION OUTLET
[F]	MANUAL DEVICE - PULL STATION
[F]	NOTIFICATION DEVICE - WALL MOUNTED
[X]	NOTIFICATION DEVICE - CEILING MOUNTED

NOTES:  
1. DRAWINGS INDICATE DESIGN INTENT ONLY, FINAL LOCATIONS AND DEVICE SPECIFICATIONS SHALL BE PROVIDED BY FIRE ALARM MANUFACTURER. REFER TO PROJECT SPECIFICATIONS FOR APPROVED MANUFACTURERS.

ELECTRICAL ABBREVIATIONS

ABBREV.	DESCRIPTION
AFF	ABOVE FINISHED FLOOR
A	AMPERE
AF	AMPERE FUSE/AMPERE FRAME
AWG	AMERICAN WIRE GAUGE
ATG	AMPERE TRIP
ATS	AUTOMATIC TRANSFER SWITCH
AC	AVAILABLE INTERRUPTING CURRENT (AMPS)
C	CONDUIT OR CEILING MOUNTED
CB	CIRCUIT BREAKER
CU	COPPER
CT	CURRENT TRANSFORMER
DIA	DIAMETER
DISC	DISCONNECT
EMT	ELECTRICAL METALLIC TUBING
EW	ELECTRIC WATER COOLER
EPO	EMERGENCY POWER OFF
(E)	EXISTING ELECTRICAL EQUIPMENT OR WORK
FA	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
FLA	FULL LOAD AMPS
F	FUSE
G/GRD	GROUND
GFCI/GFI	GROUND FAULT CIRCUIT INTERRUPTER
HOA	HAND-OFF-AUTO
HP	HORSEPOWER
IG	ISOLATED GROUND
KV	KILOVOLT
KVA	KILOVOLT AMPERE
KW	KILOWATT
KWH	KILOWATT HOUR
LP	LIGHTING PANEL
MCB	MAIN CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
MLO	MAIN LUG ONLY
MAX	MAXIMUM
MIN	MINIMUM
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
N/NEU	NEUTRAL
NF	NON-FUSIBLE
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NIC	NOT IN CONTRACT
OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED / OWNER INSTALLED
PH. OR ♂	PHASE
P	POLE
PF	POWER FACTOR
PVC	POLYVINYL CHLORIDE (PLASTIC)
(R)	RELOCATED EXISTING ELECTRICAL EQUIPMENT
(RR)	REMOVE AND REINSTALL
RMC	RIGID METALLIC CONDUIT
RP	RECEPTACLE PANEL
SPEC/SPECS	SPECIFICATIONS
TBB	TELEPHONE BACKBOARD
TYP.	TYPICAL
UC	UNDER COUNTER
UL	UNDERWRITERS LABORATORIES
UPS	UNINTERRUPTIBLE POWER SUPPLY
USB	UNIVERSAL SERIAL BUS
V	VOLT
VA	VOLT AMPERE
W	WATT
WG	WIRE GUARD
WP	WEATHERPROOF
XFMR	TRANSFORMER

DRAWING INDEX

SHT NO	DESCRIPTION
E0.00	ELECTRICAL GENERAL INFORMATION AND LIGHTING SCHEDULE
EP1.00	ELECTRICAL POWER BASEMENT COMPOSITE PLAN
EL1.00	ELECTRICAL LIGHTING COMPOSITE PLANS
EPD4.00	ENLARGED ELECTRICAL POWER DEMOLITION BASEMENT PLAN
EP4.00	ENLARGED ELECTRICAL POWER NEW WORK PLANS
ELD4.00	ENLARGED ELECTRICAL LIGHTING DEMOLITION PLANS
EL4.00	ENLARGED ELECTRICAL LIGHTING NEW WORK PLANS
E5.00	ELECTRICAL DETAILS
E6.00	ELECTRICAL PANEL SCHEDULES
E7.00	ELECTRICAL ONE-LINE RISER DIAGRAMS
E8.00	ELECTRICAL SPECIFICATIONS
E8.01	ELECTRICAL SPECIFICATIONS

DRAWING NOTATION

SYMBOL	DESCRIPTION
LA	LIGHTING FIXTURE TAG
1	CONSTRUCTION KEY NOTE NUMBER 1
1	DEMOLITION KEY NOTE NUMBER 1
1	FEEDER SIZE TAG (REFER TO FEEDER SCHEDULE ON THIS SHEET)
EF-1	EQUIPMENT DESIGNATION, (I.E. EXHAUST FAN NUMBER 1)
—	EXISTING DEVICES OR EQUIPMENT
—	NEW OR MODIFIED DEVICES OR EQUIPMENT
-----	NEW OR MODIFIED UNDERGROUND WIRING
////	EXISTING SYSTEM COMPONENT TO BE REMOVED
	SECTION NUMBER 4
	SHEET E5.2 ON WHICH SECTION IS DRAWN
	SECTION NO. 6
	SCALE: 1/4" = 1' - 0"
	SHEET E5.2 ON WHICH SECTION IS CUT (ENLARGED PARTIAL PLAN SIMILAR)
	LIGHTING CONTROL TAG
	SCENE SCHEDULE ID 'A'
	DAYLIGHTING CONTROL ZONE '1' (MAY NOT APPEAR ON EVERY TAG)
	LIGHTING CONTROL SPACE TYPE '1'

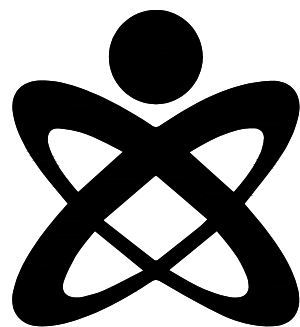
APPLICABLE CODES AND REGULATIONS

YEAR	CODE
2015	MICHIGAN BUILDING CODE
2015	MICHIGAN ENERGY CODE
2023	MICHIGAN ELECTRICAL CODE RULES, PART 8
2023	NATIONAL ELECTRICAL CODE (NFPA 70)
2013	NFPA 20
2013	NFPA 72
2012	NFPA 101
2013	NFPA 110
2009	ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS & FACILITIES

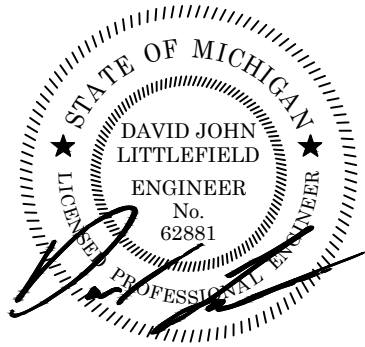


WAKELY ASSOCIATES, INC. ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com



UNIFIED BUILDING  
SYSTEMS ENGINEERING  
69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007-24-14



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ELECTRICAL GENERAL  
INFORMATION AND LIGHTING  
SCHEDULE

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY \_DSH\_  
CHECKED BY \_BDL\_

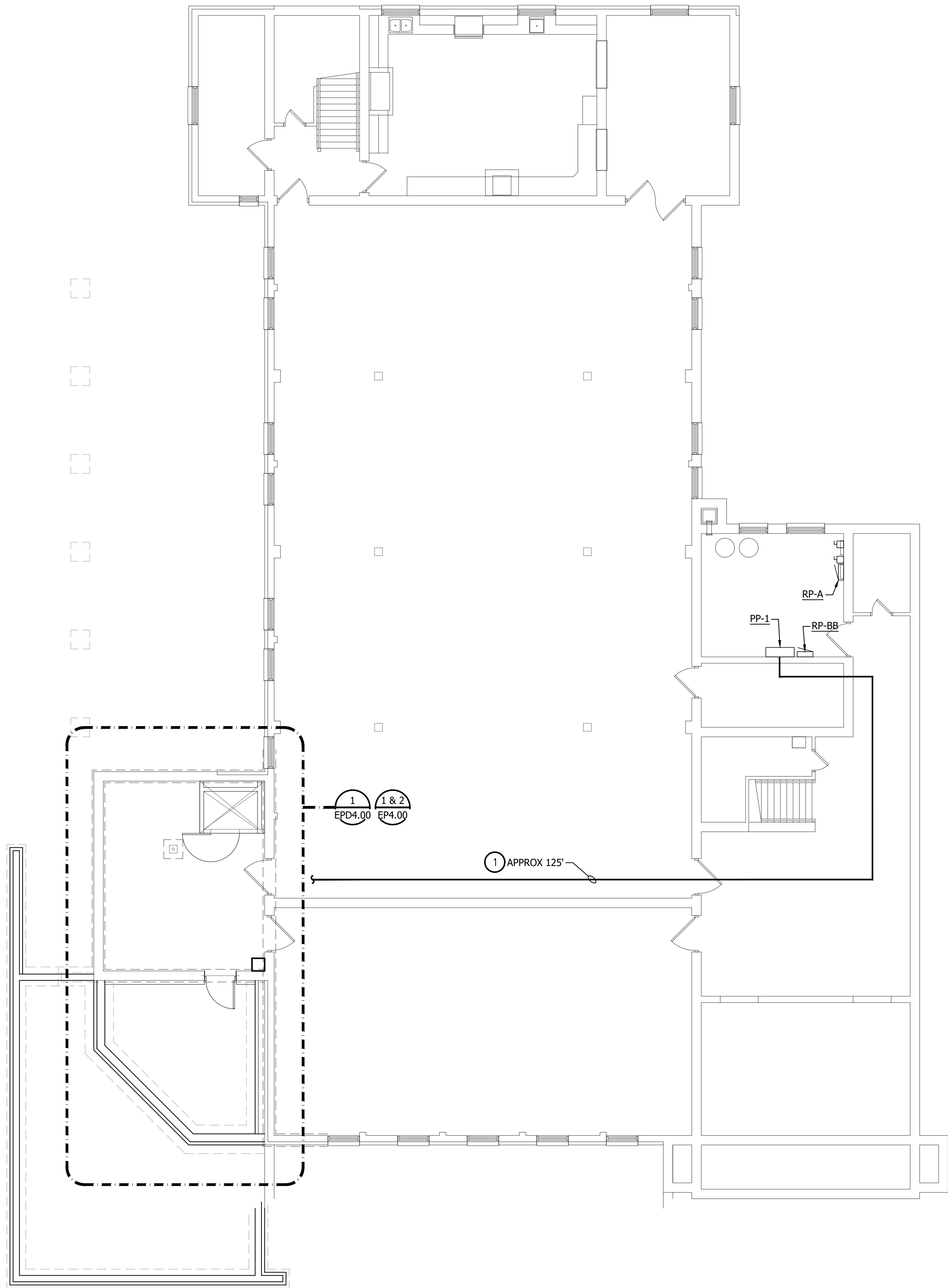
REVISIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.

E0.00

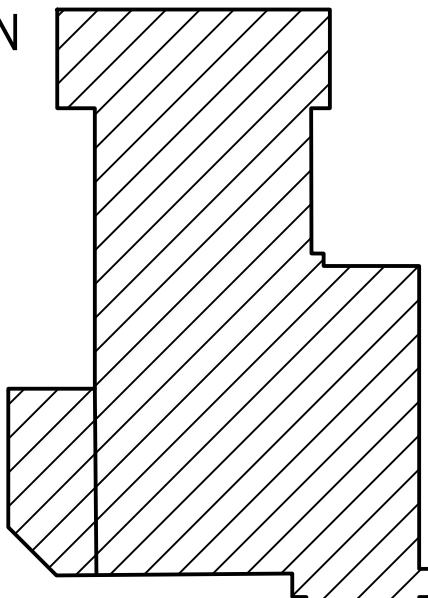
JOB NO.





ELECTRICAL POWER BASEMENT COMPOSITE PLAN  
SCALE: 1/8" = 1'-0"

KEY PLAN



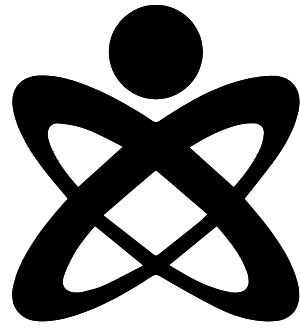
POWER GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF THE WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS PER ENGINEER'S SPECIFICATION, AND LOCAL APPLICABLE CODES INCLUDING AMENDMENTS, BULLETINS, ETC; AS WELL AS THE STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF THE OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD IN ACCORDANCE WITH ALTERNATES OF OPTIONS AS STATED HEREINAFTER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
F	ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED.
G	WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" CONDUIT MINIMUM. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
H	NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO EQUIPMENT, FURNISHED AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.
J	ALL P.A. AND SPEAKER SCOPE BY OTHERS. REFER TO TECH DRAWINGS FOR FURTHER INFORMATION.

NEW WORK KEYED NOTES	
1	NEW PANEL RP-D, FED FROM PP-1. RUN CONDUIT IN MECHANICAL'S FABRICATED METAL CHASE. REFER TO ONE-LINE DIAGRAM FOR FURTHER DETAILS.



WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com



UNIFIED BUILDING  
SYSTEMS ENGINEERING  
69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007-24-14



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ELECTRICAL POWER  
BASEMENT COMPOSITE PLAN

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY \_DSH\_  
CHECKED BY \_BDL\_

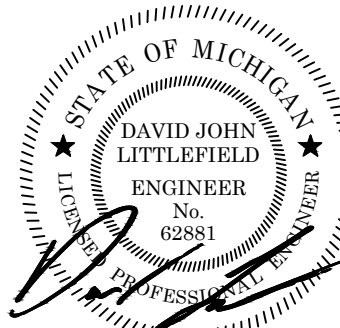
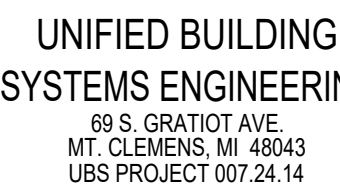
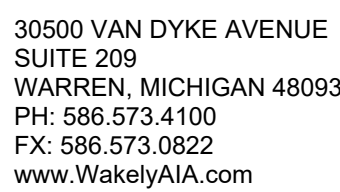
REVISIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.

EP1.00

JOB NO.





# FIRST BAPTIST CHURCH OF FARMINGTON LOBBY ADDITION

ELECTRICAL LIGHTING  
COMPOSITE PLANS

PRELIMINARY	<input type="checkbox"/>
DESIGN DEVELOPMENT	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
FINAL RECORD	<input type="checkbox"/>

DRAWN BY DJL  
CHECKED BY DJL

REVISIONS	
BID SET	01/14/2

---

---

---

---

---

---

---

---

---

---

DATE: JANUARY 14TH, 202

---

SHEET NO.

-1.104

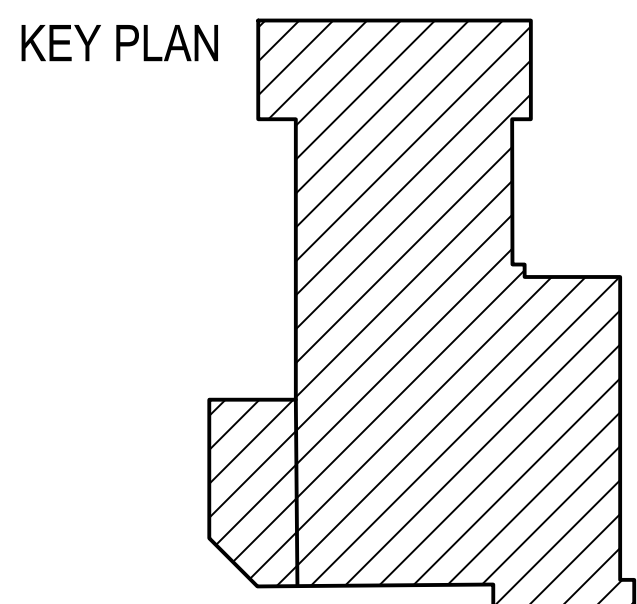
= L 1.00

JOB NO. \_\_\_\_\_

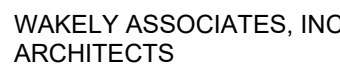


LIGHTING GENERAL NOTES	
	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
A	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNERS REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDINGS OPERATION.
B	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND CONFER WITH THE OWNER AND THE CITY ENGINEER, INSURANCE AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
C	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANDRAILS, SUPPORTS, INSULATION, CONDUITS, ETC. CAP ALL OPENINGS.
D	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND ABANDONED EQUIPMENT.
E	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
F	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK SHALL BE VERIFIED BY FIELD OBSERVATION PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND RECORD FIELD VERIFICATION.
G	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DIRECT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.
H	
I	ALL SWITCHES SHALL BE WHITE WITH BRUSHED SILVER COVEPLATE.

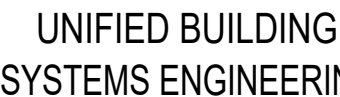
<div style="display: flex; align-items: center;"> <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin-right: 10px;"> X </div> <div> <h2 style="margin: 0;">NEW WORK KEYED NOTES</h2> </div> </div>	
1	NEW LED EXTERIOR LIGHTING. WIRE SUCH AS INDICATED ON PLANS.
2	ALT. 1 - NEW LED EXTERIOR LIGHTING. WIRE SUCH AS INDICATED ON PLANS, PHOTO CELL CONTROLLED. NEW EXTERIOR LIGHTING TO BE SURFACE MOUNTED TO CANOPY STRUCTURE. NEW CONDUIT BETWEEN FIXTURES TO BE SURFACE MOUNTED.



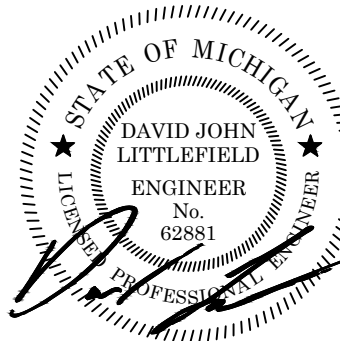




30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
[www.WakelyAIA.com](http://www.WakelyAIA.com)



69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007.24.14



# FIRST BAPTIST CHURCH OF FARMINGTON LOBBY ADDITION

ENLARGED ELECTRICAL  
POWER DEMOLITION  
BASEMENT PLAN

PRELIMINARY	<input type="checkbox"/>
DESIGN DEVELOPMENT	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
FINAL RECORD	<input type="checkbox"/>

DRAWN BY DSH  
CHECKED BY RDL

REVISIONS	
BID SET	01/14/2

---

---

---

---

---

---

---

---

---

---

DATE: JANUARY 14TH, 202

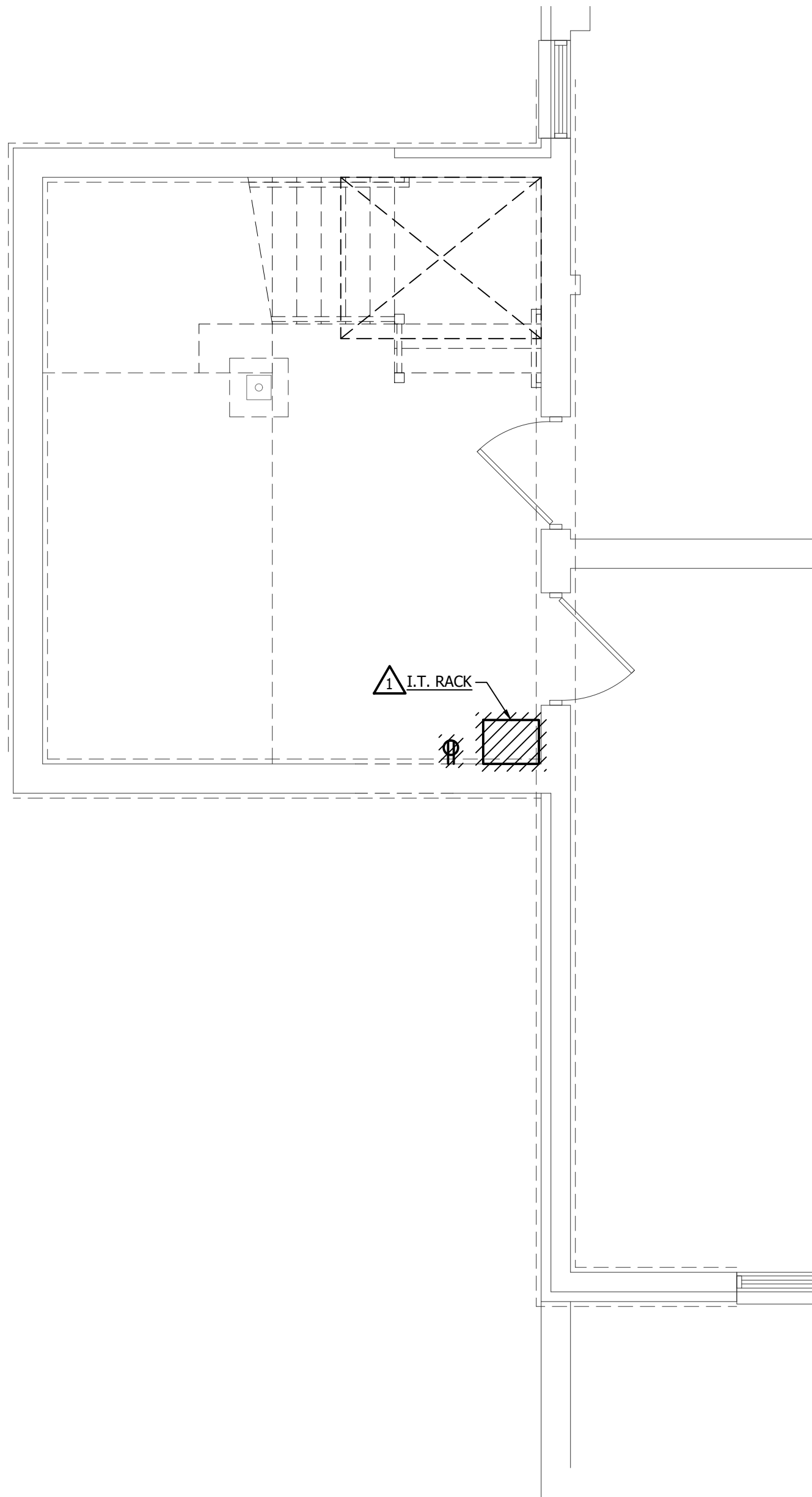
SHEET NO.

PD4 0

## THE DATA

GENERAL DEMOLITION NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNERS REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SURVEY INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD. INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. EXISTING DUCT WORK PIPES AND UTILITIES SHALL BE DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.

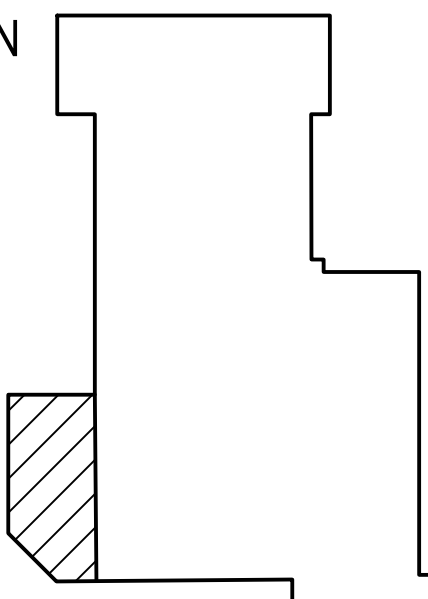
<div style="display: flex; align-items: center;"> <div>DEMOLITION KEYED NOTES</div> </div>	
1	SURFACE MOUNTED I.T. RACK TO BE REMOVED AND RELOCATED. EC TO PREP CIRCUIT TO BE EXTENDED TO NEW LOCATION. REFER TO NEW WORK PLANS FOR SUGGESTED LOCATION.



ENLARGED POWER DEMOLITION BASEMENT PLAN

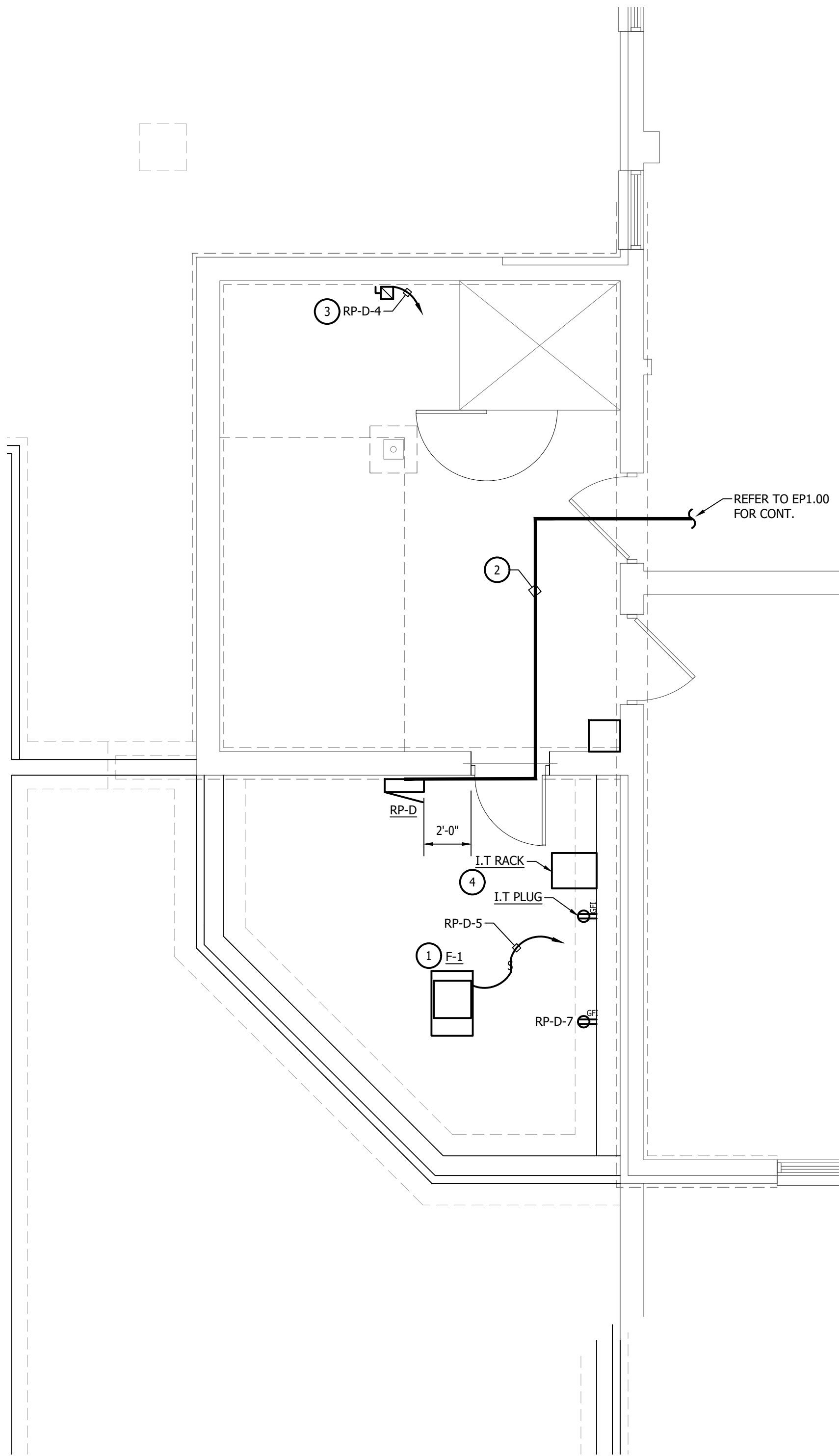
SCALE: 1/4" = 1'-0"

## KEY PLAN



EPD4.00

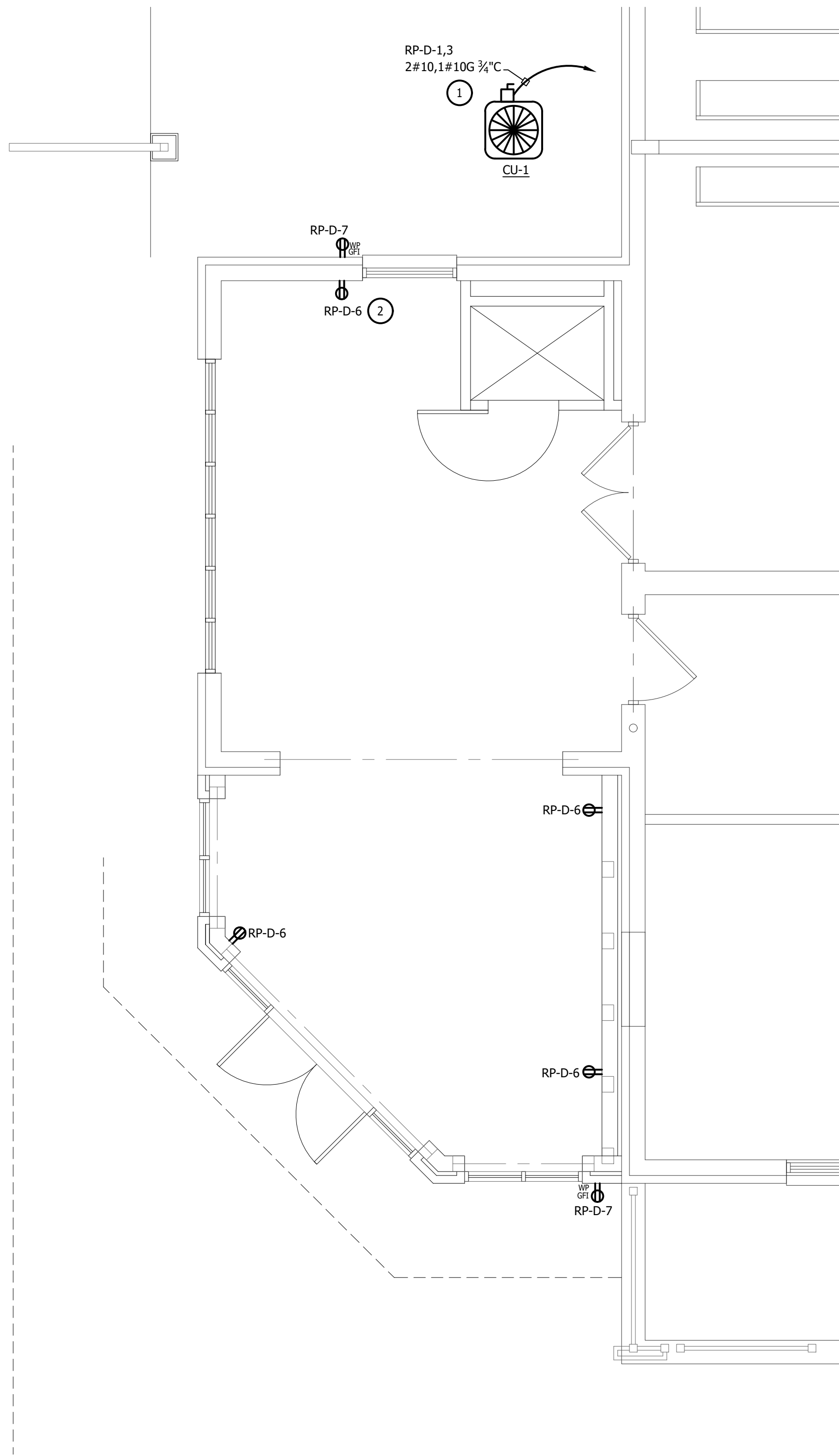




1 ENLARGED POWER NEW WORK BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

POWER GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF THE WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS PER ENGINEER'S SPECIFICATION, AND LOCAL APPLICABLE CODES INCLUDING AMENDMENTS, BULLETINS, ETC; AS WELL AS THE STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF THE OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD IN ACCORDANCE WITH ALTERNATES OF OPTIONS AS STATED HEREINAFTER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
F	ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED.
G	WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" CONDUIT MINIMUM. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
H	NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO EQUIPMENT, FURNISHED AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.
J	ALL P.A. AND SPEAKER SCOPE BY OTHERS. REFER TO TECH DRAWINGS FOR FURTHER INFORMATION.

NEW WORK KEYED NOTES	
1	NEW FURNACE BEING INSTALLED BY MECHANICAL TRADES. ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT AND FINAL ELECTRICAL CONNECTIONS. CIRCUIT AS SHOWN.
2	NEW PANEL RP-D, FED FROM PP-1. RUN CONDUIT IN MECHANICAL'S FABRICATED METAL CHASE REFER TO ONE-LINE DIAGRAM FOR FURTHER DETAILS.
3	PROVIDE NEW LOCKABLE FUSED DISCONNECT FOR CHAIR LIFT. REFER TO MANUFACTURER FOR EXACT MOUNTING LOCATION. CIRCUIT AS SHOWN.
4	EXTEND EXISTING IT CIRCUIT TO NEW SUGGESTED LOCATION. COORDINATE WITH OWNER FOR EXACT LOCATION.

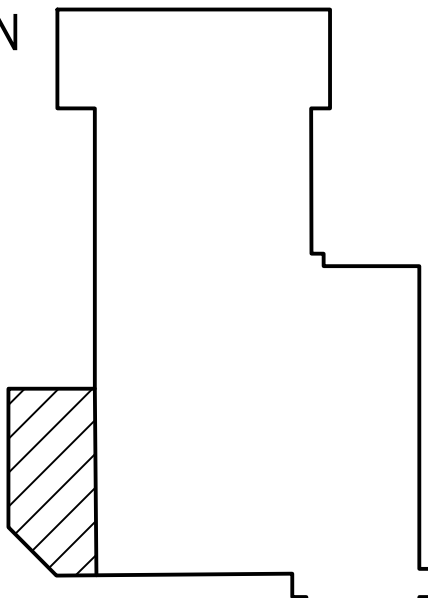


2 ENLARGED POWER NEW WORK FIRST FLOOR LOBBY PLAN  
SCALE: 1/4" = 1'-0"

POWER GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF THE WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS PER ENGINEER'S SPECIFICATION, AND LOCAL APPLICABLE CODES INCLUDING AMENDMENTS, BULLETINS, ETC; AS WELL AS THE STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF THE OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD IN ACCORDANCE WITH ALTERNATES OF OPTIONS AS STATED HEREINAFTER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
F	ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED.
G	WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" CONDUIT MINIMUM. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
H	NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO EQUIPMENT, FURNISHED AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.
J	ALL P.A. AND SPEAKER SCOPE BY OTHERS. REFER TO TECH DRAWINGS FOR FURTHER INFORMATION.

(X) NEW WORK KEYED NOTES	
1	NEW CONDENSING UNIT BEING INSTALLED BY MECHANICAL TRADES. ELECTRICAL CONTRACTOR SHALL PROVIDE WEATHERPROOF 240V 30A DISCONNECT AND FINAL ELECTRICAL CONNECTIONS.
2	SURFACE MOUNT RECEPTACLE REFER TO DETAIL SHEET ES.00

KEY PLAN



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ENLARGED ELECTRICAL  
POWER NEW WORK PLANS

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY DJH  
CHECKED BY BML

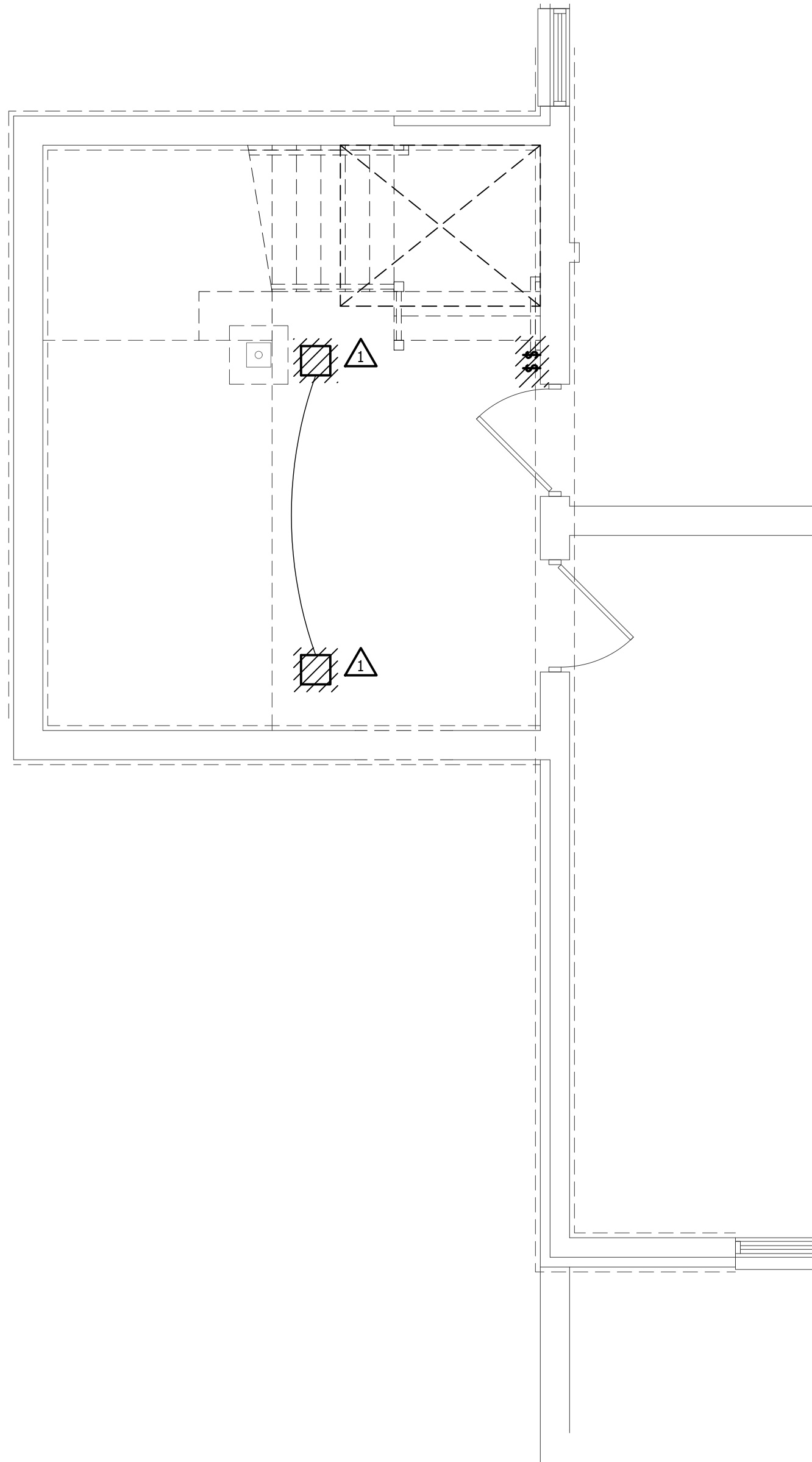
REVISIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.

JOB NO.

EP4.00

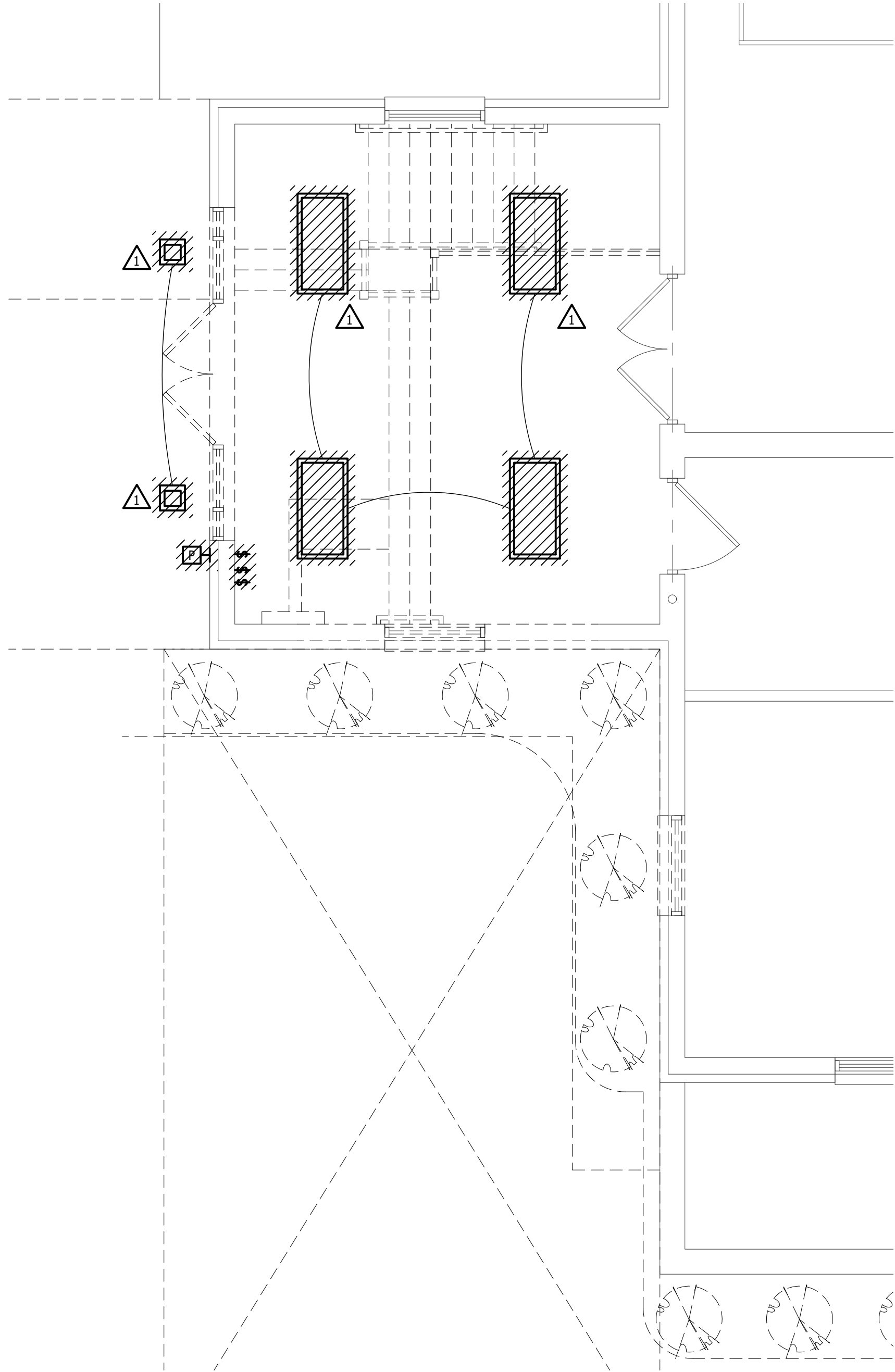




1  
ELL.01  
ENLARGED LIGHTING DEMOLITION BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.

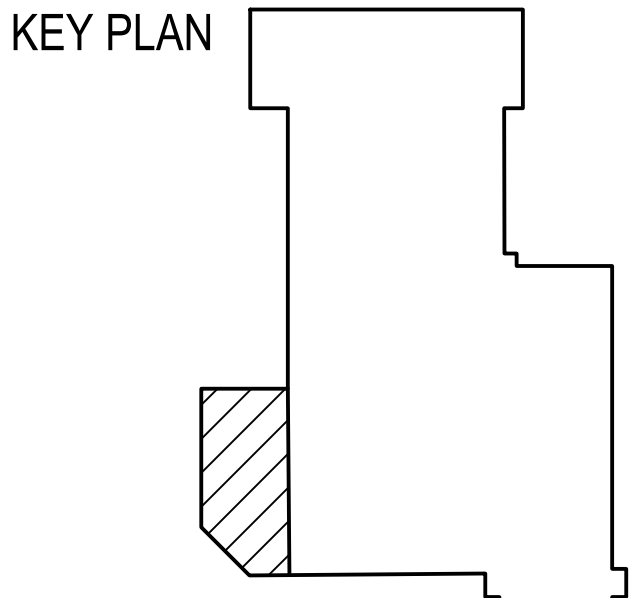
DEMOLITION KEYED NOTES
1 EXISTING LIGHT FIXTURES TO BE REMOVED COMPLETE, INCLUDING SWITCHING AND CONTROLS. REMOVE CONDUIT AND WIRING BACK TO JUNCTION BOX FEEDING THIS AREA.



2  
ELL.01  
ENLARGED LIGHTING FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.

DEMOLITION KEYED NOTES
1 EXISTING LIGHT FIXTURES AND CONTROLS TO BE REMOVED COMPLETE. REMOVE CONDUIT AND WIRING BACK TO JUNCTION BOX FEEDING THIS AREA.



WA

WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com

UNIFIED BUILDING  
SYSTEMS ENGINEERING

69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007-24-14

STATE OF MICHIGAN

DAVID JOHN  
LITTLEFIELD  
ENGINEER  
No. 42951  
EXPIRES 12/31/2025

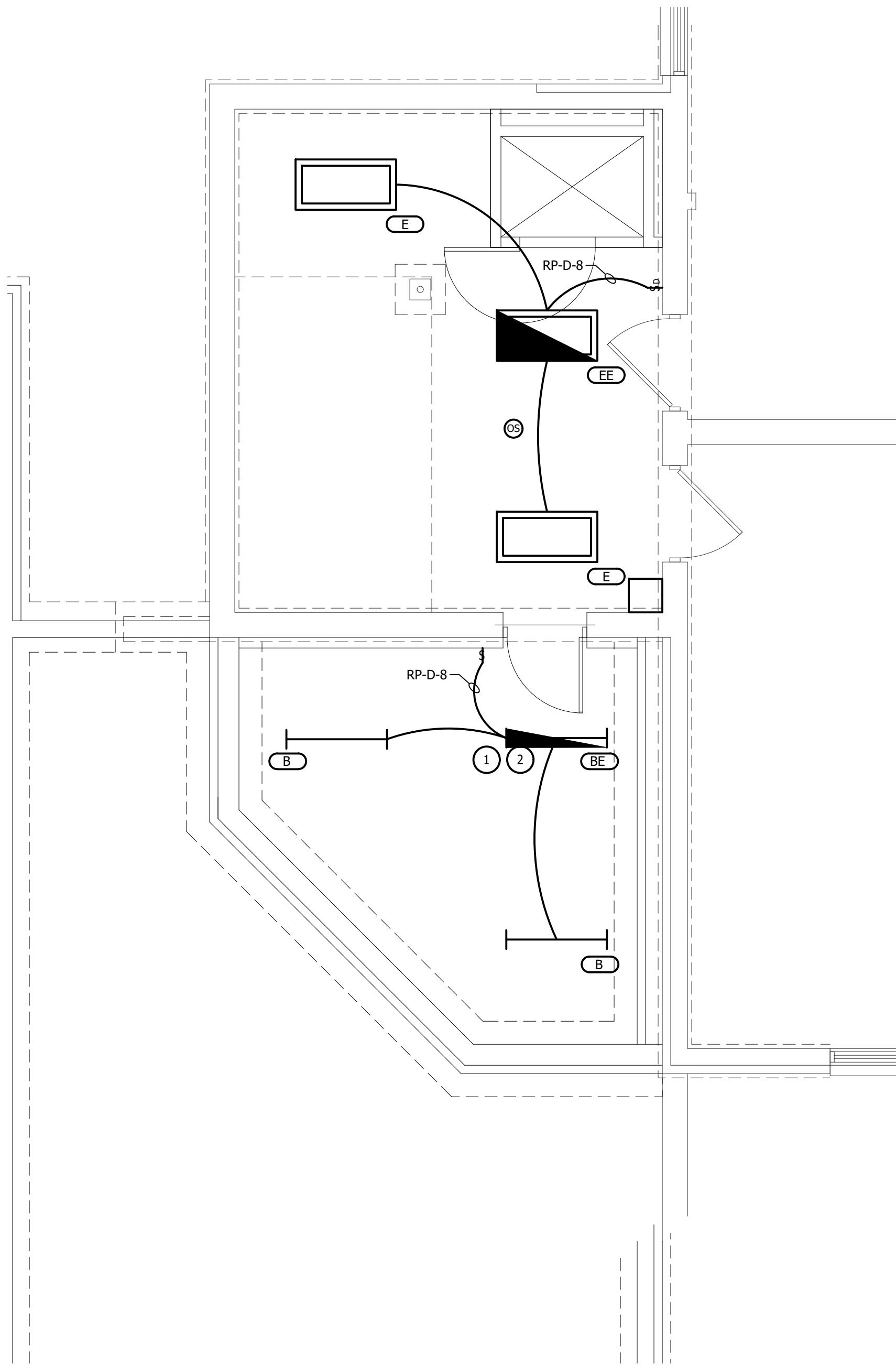
FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ENLARGED ELECTRICAL  
LIGHTING DEMOLITION PLANS

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐  
DRAWN BY \_DSH\_  
CHECKED BY \_BDL\_  
REVISIONS  
BID SET 01/14/2025  
DATE: JANUARY 14TH, 2025  
SHEET NO.  
JOB NO.

ELD4.00

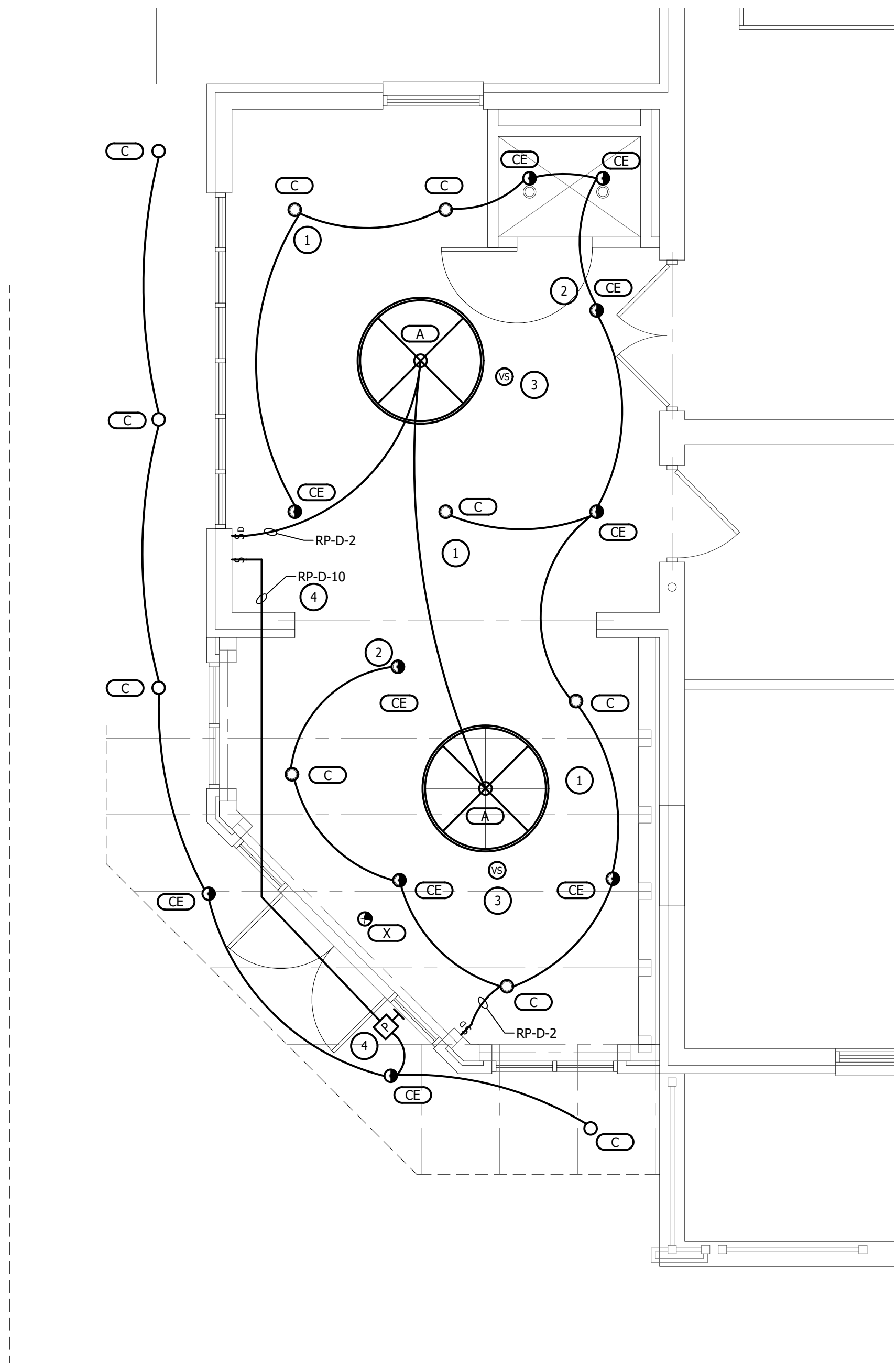




3  
E1.00  
ENLARGED LIGHTING NEW WORK BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

LIGHTING GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.
J	ALL SWITCHES SHALL BE WHITE WITH BRUSHED SILVER COVERPLATE.

NEW WORK KEYED NOTES	
1	NEW LED FIXTURES IN THIS AREA TO REPLACE EXISTING. PROVIDE NEW CONTROL SENSORS AND LV SWITCHING AS SHOWN. ALL WIRING AND CONDUIT SHALL BE NEW. RE-USE EXISTING SWITCH LOCATIONS FOR NEW SWITCHES.
2	NEW FIXTURES WITH BUILT-IN BATTERY BACK UP. WIRE SUCH THAT FIXTURES TURN ON NORMAL WITH SWITCHES AND STAY ON AS EMERGENCY POWER UPON LOSS OF POWER. HATCHED FIXTURES SHALL BE WIRED AHEAD OF LOCAL SWITCH.
3	PROVIDE NEW CEILING-MOUNTED OCCUPANCY SENSORS, EXACT SIZE AND QUANTITY REQUIRED FOR COVERED AREA TO BE DETERMINED BY LIGHTING CONTROLS CONTRACTOR.

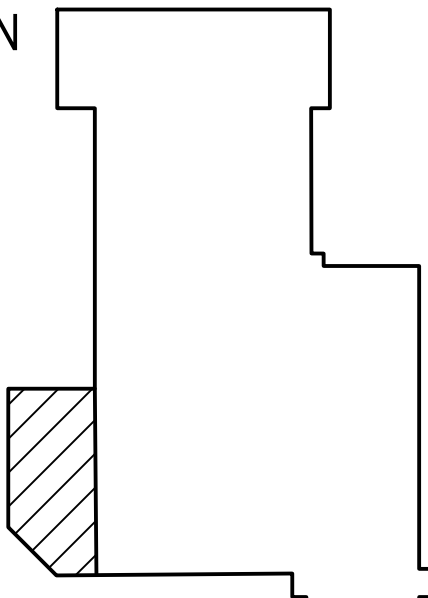


4  
E1.00  
ENLARGED LIGHTING NEW WORK FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

LIGHTING GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.
J	ALL SWITCHES SHALL BE WHITE WITH BRUSHED SILVER COVERPLATE.

NEW WORK KEYED NOTES	
1	NEW LED FIXTURES IN THIS AREA TO REPLACE EXISTING. PROVIDE NEW CONTROL SENSORS AND LV SWITCHING AS SHOWN. ALL WIRING AND CONDUIT SHALL BE NEW. RE-USE EXISTING SWITCH LOCATIONS FOR NEW SWITCHES.
2	NEW FIXTURES WITH BUILT-IN BATTERY BACK UP. WIRE SUCH THAT FIXTURES TURN ON NORMAL WITH SWITCHES AND STAY ON AS EMERGENCY POWER UPON LOSS OF POWER. HATCHED FIXTURES SHALL BE WIRED AHEAD OF LOCAL SWITCH.
3	PROVIDE NEW CEILING-MOUNTED OCCUPANCY SENSORS, EXACT SIZE AND QUANTITY REQUIRED FOR COVERED AREA TO BE DETERMINED BY LIGHTING CONTROLS CONTRACTOR.
4	NEW LED EXTERIOR LIGHTING. WIRE SUCH AS INDICATED ON PLANS, PHOTO CELL CONTROLLED WITH LOCAL SWITCH OVERRIDE.

KEY PLAN



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ENLARGED ELECTRICAL  
LIGHTING NEW WORK PLANS

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY D.S.H.  
CHECKED BY B.M.

REVISIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.

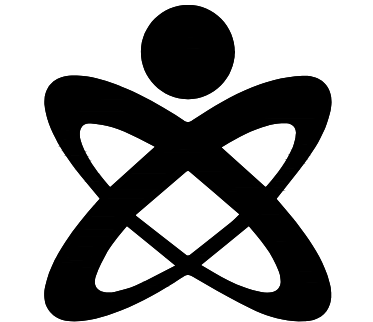
EL4.00

JOB NO.

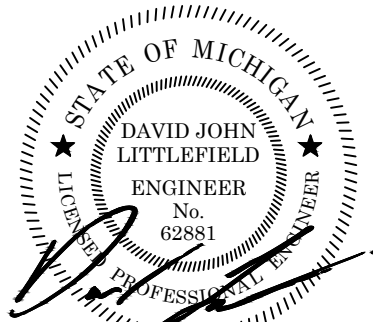
WA

WAKELY ASSOCIATES, INC.  
ARCHITECTS

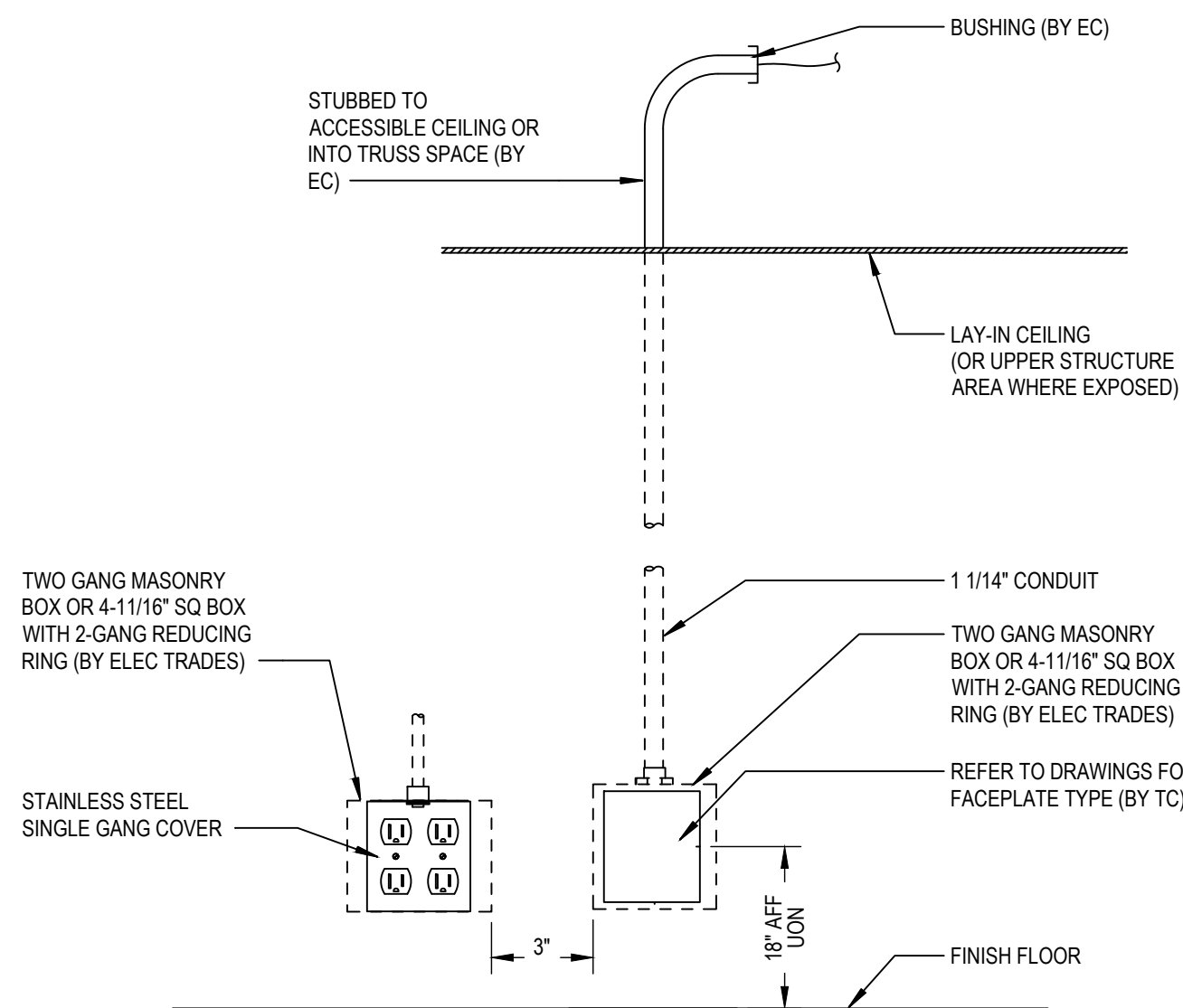
30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0322  
www.WakelyAIA.com



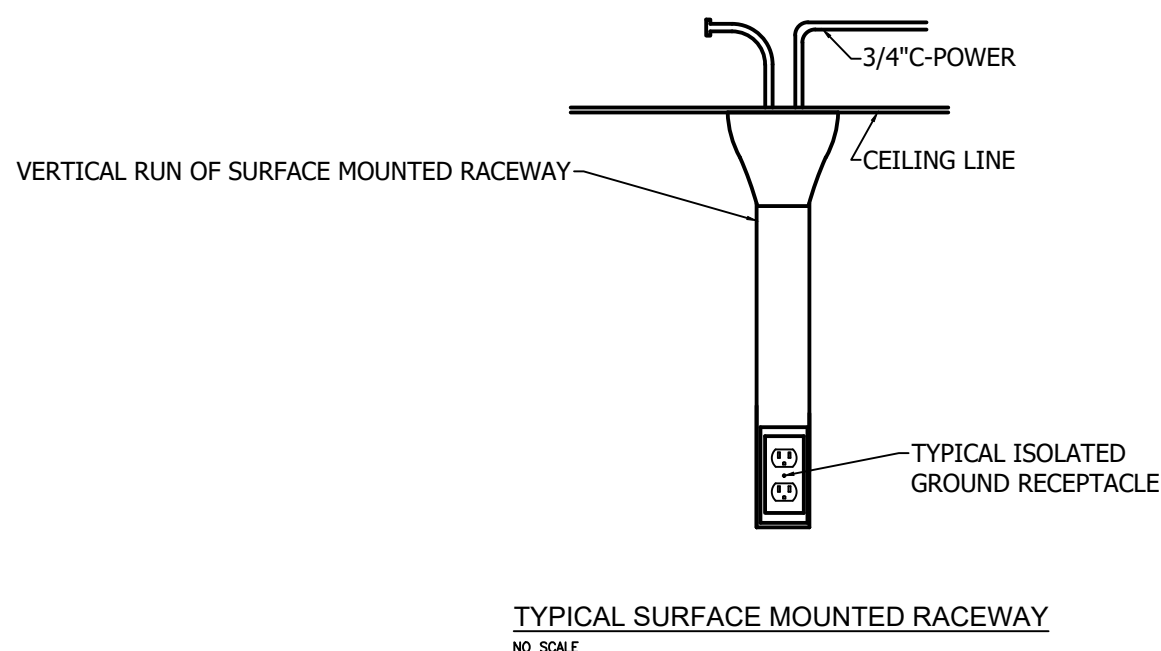
UNIFIED BUILDING  
SYSTEMS ENGINEERING  
69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007-24-14





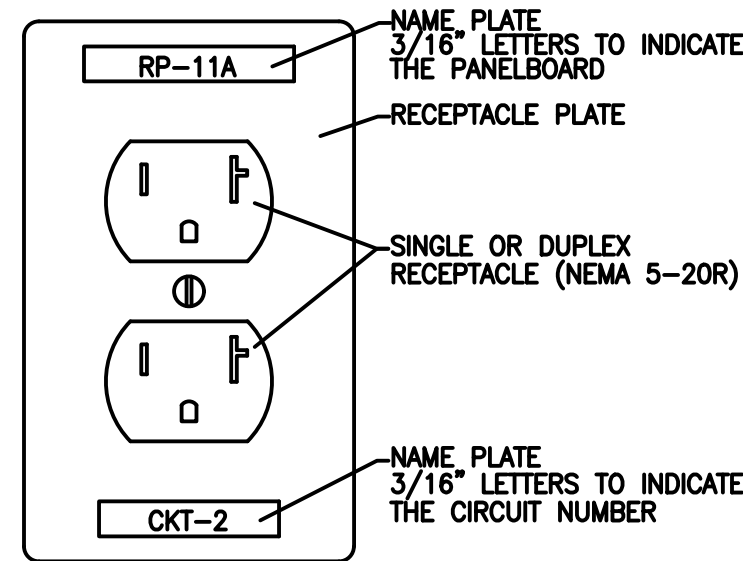


1 TYPICAL WALL MOUNTED POWER AND COMMUNICATION MOUNTING DETAIL  
NO SCALE

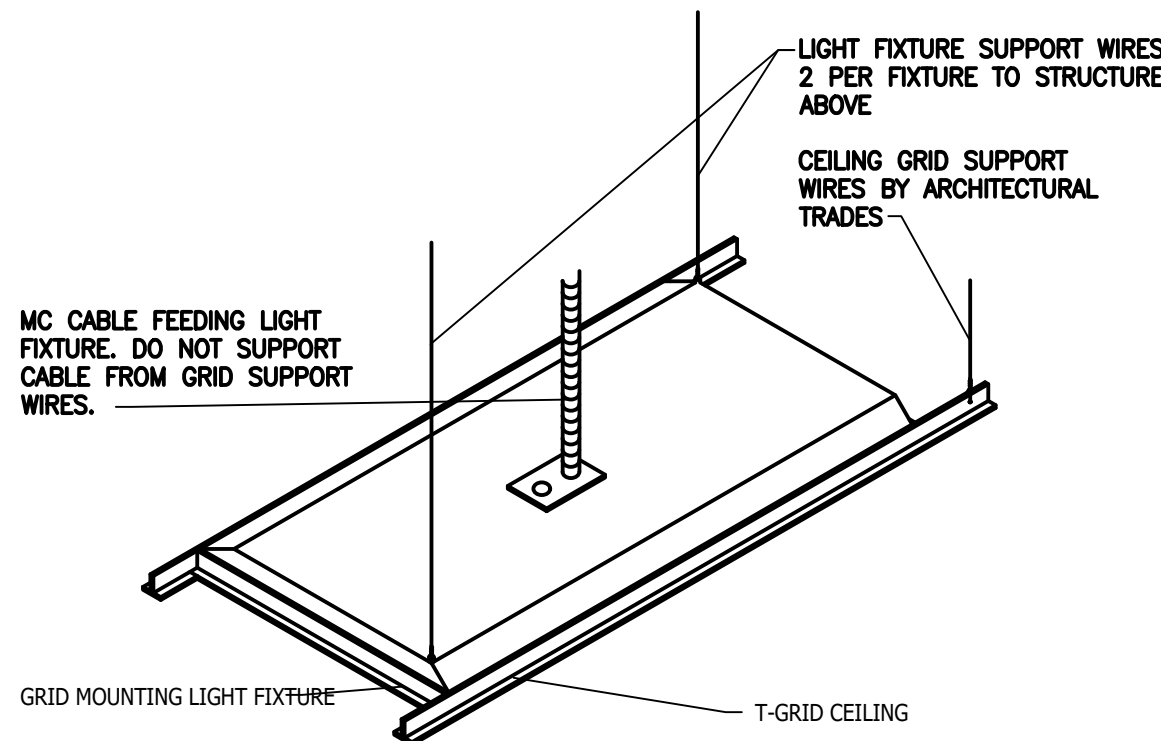


- NOTES:
1. SURFACE RACEWAY SHALL BE V 2,000 TYPE W/ MATCHING PANDUIT BRACKET, COVER, PLATES ETC. FOR A COMPLETE SYSTEM. (OR EQUAL BY WIREMOLD)
  2. SURFACE RACEWAY EQUIPMENT AND POWER OUTLETS SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR.
  3. MOUNT SURFACE RACEWAY 24" A.F.F.

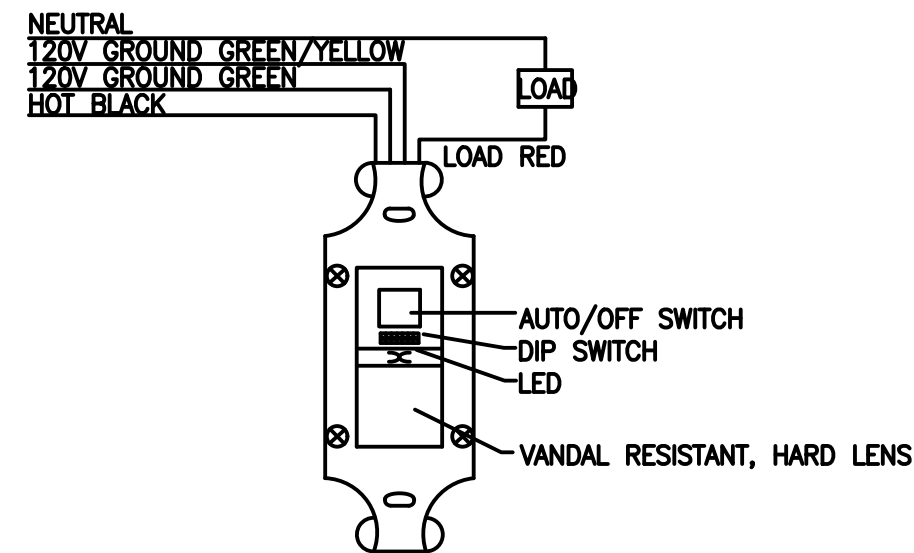
2 V2000 SURFACE MOUNTED RACEWAY DETAIL  
NO SCALE



3 DETAIL OF BRANCH CIRCUIT NUMBER ON RECEPTACLE PLATE  
NO SCALE



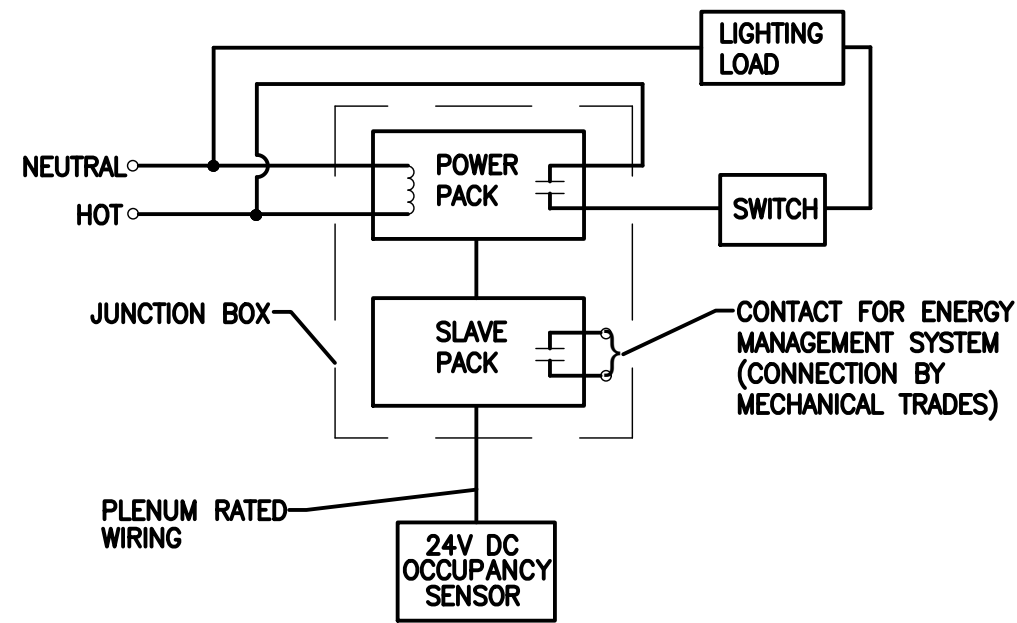
4 T-GRID FIXTURE MOUNTING DETAIL  
NO SCALE



5 VACANCY SENSOR SCHEMATIC  
NO SCALE

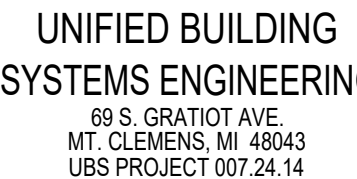
ELECTRICAL FIXTURES

1. PENDANT MOUNTED FIXTURES SHALL BE DIRECTLY SUPPORTED FROM THE STRUCTURE ABOVE USING A 9 GAUGE WIRE OR AN APPROVED ALTERNATE SUPPORT WITHOUT USING THE CEILING SUSPENSION SYSTEM FOR DIRECT SUPPORT.
2. TANDEM FIXTURES MAY UTILIZE COMMON WIRES.



6 CEILING MOUNTED OCCUPANCY SENSOR DETAIL  
NO SCALE (CS)





## ELECTRICAL PANEL SCHEDULES

DRAWN BY DSH  
CHECKED BY BDI

REVISIONS

---

---

---

---

---

---

---

---

DATE: JANUARY 14TH, 2025

---

SHEET NO.

JOB NO. \_\_\_\_\_

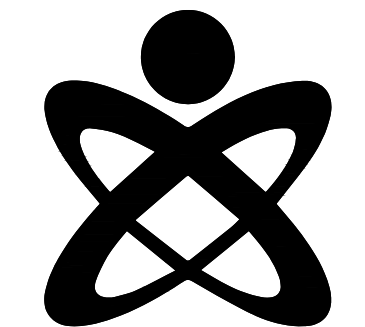
PANEL NAME: <b>RP-D</b>					MAIN: 100A					L-I VOLTAGE: 240					
LOCATION: NEW STORAGE RM					BUSSING: 100A					L-N VOLTAGE: 120					
SOURCE: PP-1					GROUND BUS: STANDARD					PHASE: 1					
FEEDER SIZE: REFER TO ONE LINE					MOUNTING: SURFACE					WIRE: 3					
					NEUTRAL: 100%					MIN SC INTERRUPT RATING: 22,000					
LOAD DESCRIPTION		LIGHTING LOAD	RECEPTACLE LOAD	CONTINUOUS LOAD	NON-CONTINUOUS LOAD	OCPD	CKT 1L	L2	CKT 2	OCPD	NON-CONTINUOUS LOAD	CONTINUOUS LOAD	RECEPTACLE LOAD	LIGHTING LOAD	LOAD DESCRIPTION
CU-1				1679		25	<b>1</b>	<b>2</b>	<b>2</b>	20				551	EIGHTING CHAIR LIFT
				1679			<b>3</b>	<b>4</b>	<b>4</b>	20	1440				
FURNACE (B-1)			816		15	<b>5</b>	<b>6</b>	<b>6</b>	<b>6</b>	20			720		RECEPTABLES
OUTSIDE/CONVENIENCE RECEPTACLES			540		20	<b>7</b>	<b>8</b>	<b>8</b>	<b>8</b>	20				371	BASMENT LIGHTING
OUTSIDE/BOLLARD LIGHTS / PHOTOCCELL	168				20	<b>9</b>	<b>10</b>	<b>10</b>	<b>10</b>	20				137	OUTSIDE SODIT LIGHTS / PHOTOCCELL
SPARE					20	<b>11</b>	<b>12</b>	<b>12</b>	<b>12</b>	20					SPARE
SPARE					20	<b>13</b>	<b>14</b>	<b>14</b>	<b>14</b>	20					SPARE
SPARE					20	<b>15</b>	<b>16</b>	<b>16</b>	<b>16</b>	20					SPARE
SPARE					17	<b>18</b>	<b>18</b>	<b>18</b>	<b>18</b>	20					SPARE
SPARE					19	<b>20</b>	<b>20</b>	<b>20</b>	<b>20</b>	20					SPARE
SPARE					21	<b>22</b>	<b>22</b>	<b>22</b>	<b>22</b>	20					SPARE
SPARE					23	<b>24</b>	<b>24</b>	<b>24</b>	<b>24</b>	20					SPARE
CONNECTED LOAD															
LOAD TYPE	L1	L2	TOTAL		DEMAND FACTOR				L1	L2	TOTAL				
LIGHTING LOAD (VA)	856	371	1227		100				856	371	1227				
RECEPTACLE LOAD (VA)	720	540	1260		1.00 (FIRST 10KVA) 0.50 (P>10 KVA)				720	540	1260		RECEPTACLE DEMAND FACTOR PER ARTICLE 220.44 OF THE NEC		
	0	0	0						0	0	0				
CONTINUOUS LOAD (VA)	2465	Amount over 10KVA =		1629 4174					2465	1629 4174					
NON-CONTINUOUS LOAD (VA)	0	1440	1440		0.00				0	1152	1152				
TOTAL LOAD (KVA)	4.07	4.03	8.10		125% OF LIGHT/CONT AND RECEPT<10KVA) LOAD PLUS OTHER LOAD				4.07	3.74	7.81				
TOTAL AMPACITY (A)	33.9	33.6	33.6		<= 100% PER NEC ARTICLE 215.2 .....>				33.9	31.2	32.6				
MINIMUM FEEDER SIZE (A)	42.4	42.4	39.0						42.4	36.4	39.5				





WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0322  
www.WakelyAIA.com



UNIFIED BUILDING  
SYSTEMS ENGINEERING  
69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007-24-14



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ELECTRICAL ONE-LINE RISER  
DIAGRAMS

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

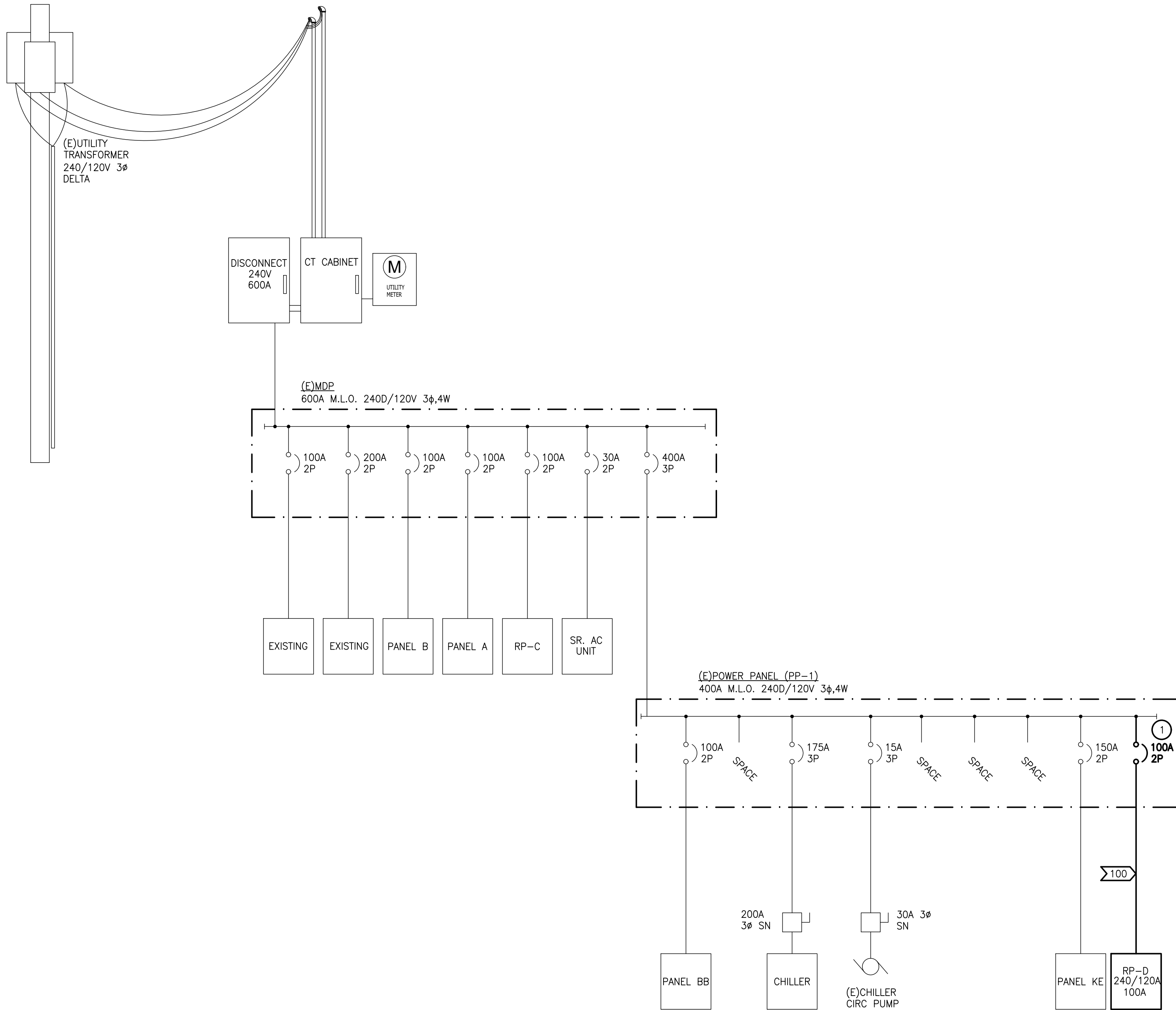
DRAWN BY \_DSH\_  
CHECKED BY \_BDL\_

REVISIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.

E7.00

JOB NO.



NEW WORK ELECTRICAL RISER DIAGRAM  
NO SCALE

NEW WORK KEYED NOTES		
1	CONTRACTOR TO PROVIDE NEW 100A 2P SQUARE D BREAKER TO FEED PANEL RP-D SIZE AS SHOWN.	

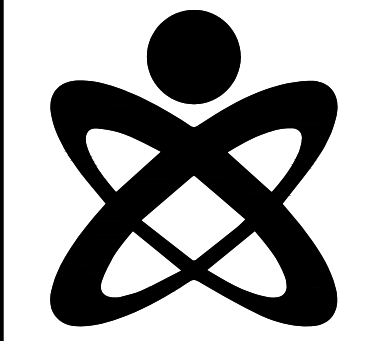
COPPER FEEDER SCHEDULE		
FEEDER (AMPS)	COND. SIZE	3 WIRE WITH GROUND
Σ100	1	3#1, 1#8 GND IN 1 1/4" C





WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
586.573.4100  
FX: 586.573.0822  
www.WakeleyAIA.com



UNIFIED BUILDING  
SYSTEMS ENGINEERING  
69 S. GRATIOT AVE.  
MT. CLEMENS, MI 48043  
UBS PROJECT 007-24-14



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ELECTRICAL SPECIFICATIONS

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY \_D\_S\_H\_  
CHECKED BY \_B\_D\_L\_

REVISIONS  
BID SET 01/16/2026

DATE: JANUARY 14TH, 2025  
SHEET NO.

E8.00

JOB NO.

## BASIC ELECTRICAL REQUIREMENTS

- PART 1 GENERAL**
- 1.01 RELATED DOCUMENTS
- A. DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS, SPECIAL CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS, APPLY TO WORK OF THIS SECTION.
- B. PROVIDE ALL ITEMS, ARTICLES, MATERIALS, OPERATIONS OR METHODS LISTED, MENTIONED OR SCHEDULED ON DRAWINGS AND/OR HEREIN, INCLUDING LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY AND REQUIRED FOR THEIR COMPLETION.
- 1.02 DRAWINGS
- A. THE DRAWINGS SHOW THE LOCATION AND GENERAL ARRANGEMENT OF EQUIPMENT, ELECTRICAL SYSTEMS AND RELATED ITEMS. THEY SHALL BE FOLLOWED AS CLOSELY AS ELEMENTS OF THE CONSTRUCTION PERMIT.
- B. EXAMINE THE DRAWINGS OF OTHER TRADES AND VERIFY THE CONDITIONS GOVERNING THE WORK ON THE JOB SITE. ARRANGE WORK ACCORDINGLY, PROVIDING SUCH FITTINGS, CONDUIT, JUNCTION BOXES AND ACCESSORIES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS.
- C. DEVIATIONS FROM THE DRAWINGS, WITH THE EXCEPTION OF WORK CHANGES IN ROUTING AND OTHER SUCH INCIDENTAL CHANGES THAT DO NOT AFFECT THE FUNCTIONING OR SERVICEABILITY OF THE SYSTEMS, SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
- D. THE ARCHITECTURAL AND STRUCTURAL DRAWINGS TAKE PRECEDENCE IN ALL MATTERS PERTAINING TO THE BUILDING STRUCTURE. MECHANICAL DRAWINGS IN ALL MATTERS PERTAINING TO MECHANICAL TRADES AND ELECTRICAL DRAWINGS IN ALL MATTERS PERTAINING TO ELECTRICAL TRADES. WHERE THERE ARE CONFLICTS OR DIFFERENCES BETWEEN THE DRAWINGS FOR THE VARIOUS TRADES, REPORT SUCH CONFLICTS OR DIFFERENCES TO THE ARCHITECT/ENGINEER FOR RESOLUTION.
- 1.03 COSES, PERMITS AND FEES
- A. UNLESS OTHERWISE INDICATED, ALL REQUIRED PERMITS, LICENSES, INSPECTIONS, APPROVALS AND FEES FOR ELECTRICAL WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, RULES AND REGULATIONS.
- B. RULES OF LOCAL UTILITY COMPANIES SHALL BE COMPLIED WITH. CHECK WITH THE UTILITY COMPANY SUPPLYING SERVICE TO THE INSTALLATION AND DETERMINE ALL DEVICES INCLUDING, BUT NOT LIMITED TO, ALL CURRENT AND POTENTIAL TRANSFORMERS, METER BOXES, C.T. CABINETS AND METERS WHICH WILL BE REQUIRED AND INCLUDE THE COST OF ALL SUCH ITEMS IN PROPOSAL.
- C. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE RULES AND REGULATIONS SET FORTH IN LOCAL AND STATE CODES. PREPARE ANY DETAILED DRAWINGS OR CHANGES WHICH MAY BE REQUIRED BY THE GOVERNING AUTHORITIES. WHERE THE DRAWINGS AND/OR SPECIFICATIONS INDICATE MATERIALS OR CONSTRUCTION IN EXCESS OF CODE REQUIREMENTS, THE DRAWINGS AND/OR SPECIFICATIONS SHALL GOVERN.
- 1.04 STANDARDS OF MATERIAL AND WORKMANSHIP
- A. ALL MATERIALS SHALL BE NEW, THE ELECTRICAL AND PHYSICAL PROPERTIES OF ALL MATERIALS, AND THE DESIGN, PERFORMANCE CHARACTERISTICS, AND METHODS OF CONSTRUCTION OF ALL ITEMS OF EQUIPMENT, SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE VARIOUS, APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING RECOGNIZED AUTHORITIES:
1. A.N.S.I./AMERICAN NATIONAL STANDARDS INSTITUTE
  2. A.S.T.M./AMERICAN SOCIETY FOR TESTING MATERIALS
  3. I.C.E./INSULATED CABLE ENGINEERS ASSOCIATION
  4. I.E.E.E./INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
  5. N.E.C./NATIONAL ELECTRICAL CODE
  6. N.E.M.A./NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
  7. U.L./UNDERWRITERS LABORATORIES, INC.
- B. ALL EQUIPMENT OF THE SAME OR SIMILAR SYSTEMS SHALL BE BY THE SAME MANUFACTURER.
- 1.05 RECORD DRAWINGS
- A. PROVIDE COMPLETE OPERATING AND MAINTENANCE INSTRUCTION MANUALS COVERING ALL ELECTRICAL EQUIPMENT HEREIN SPECIFIED, TOGETHER WITH PARTS LISTS. ALL LITERATURE SHALL BE SUBMITTED TO THE ARCHITECT IN AN ELECTRONIC FORMAT.
- B. THE OPERATING AND MAINTENANCE INSTRUCTIONS SHALL INCLUDE A BRIEF, GENERAL DESCRIPTION FOR ALL ELECTRICAL SYSTEMS INCLUDING, BUT NOT LIMITED TO, ROUTINE MAINTENANCE PROCEDURES, TROUBLESHOOTING PROCEDURES AND SHOP DRAWINGS.
- C. ANY EQUIPMENT OFFERED AS A SUBSTITUTION SHALL BE EQUAL IN QUALITY, DURABILITY, APPEARANCE, EFFICIENCY THROUGH ALL RANGES OF OPERATION, SHALL CONFORM WITH ARRANGEMENTS, WITH THE EXCEPTION OF WORK CHANGES IN ROUTING AND OTHER SUCH INCIDENTAL CHANGES THAT DO NOT AFFECT THE FUNCTIONING OR SERVICEABILITY OF THE SYSTEM, ALL COSTS TO MAKE THESE ITEMS IN COMPLIANCE WITH THESE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, CONDUIT, WIRING, BUS WORK, ENCLOSURES AND BUILDING ALTERATIONS SHALL BE INCLUDED IN THE ORIGINAL BID. SIMILAR EQUIPMENT SHALL BE BY ONE MANUFACTURER.
- 1.06 SHOP DRAWINGS/SUBMITTALS
- A. ALL SHOP DRAWINGS SHALL BE SUBMITTED IN GROUPINGS OF SIMILAR AND/OR RELATED ITEMS (LIGHTING FIXTURES, SWITCHGEAR, ETC.). INCOMPLETE SUBMITTALS GROUPINGS WILL BE RETURNED UNCORRECTED.
- B. SUBMIT FOR APPROVAL SHOP DRAWINGS FOR ALL ELECTRICAL SYSTEMS OR EQUIPMENT BUT NOT LIMITED TO THE SECTIONS OF SPECIFICATIONS. WHERE ITEMS ARE REFERRED TO BY SYMBOLIC DESIGNATION ON THE DRAWINGS AND SPECIFICATIONS, ALL SUBMITTALS SHALL BEAT THE SAME DESIGNATION (LIGHT FIXTURES). REFER TO OTHER SECTIONS OF THE ELECTRICAL SPECIFICATIONS FOR ANY ADDITIONAL REQUIREMENTS.
- 1.07 MANUFACTURERS LISTED
- A. THE LISTING OF SPECIFIC MANUFACTURERS DOES NOT IMPLY ACCEPTANCE OF THEIR PRODUCTS THAT DO NOT MEET THE SPECIFIED RATINGS, FEATURES AND FUNCTIONS. MANUFACTURERS LISTED ARE NOT RELEASED FROM MEETING THESE SPECIFICATIONS IN THEIR ENTIRETY.
- B. PRODUCTS IN COMPLIANCE WITH THE SPECIFICATION AND MANUFACTURED BY OTHERS NOT NAMED WILL BE CONSIDERED ONLY IF PRE-APPROVED BY THE ENGINEER TEN (10) DAYS PRIOR TO BID DATE.
- 1.08 USE OF EQUIPMENT
- A. THE USE OF ANY EQUIPMENT, OR ANY PART THEREOF FOR PURPOSES OTHER THAN TESTING EVEN WITH THE OWNER'S CONSENT, SHALL NOT BE CONSIDERED TO BE AN ACCEPTANCE OF THE WORK ON THE PART OF THE OWNER, NOR BE CONSIDERED TO OBLIGATE THE OWNER IN ANY WAY TO ACCEPT IMPROVED WORK OR RECTIFICATIVE MATERIALS.
- B. DO NOT USE OWNER'S LAMPS FOR TEMPORARY LIGHTING EXCEPT AS ALLOWED AND DIRECTED BY THE OWNER. EQUIP LIGHTING FIXTURES WITH NEW LAMPS WHEN THE PROJECT IS TURNED OVER TO THE OWNER.
- PART 2 EXECUTION**
- 2.01 INSTALLATION OF EQUIPMENT
- A. INSTALL ALL EQUIPMENT IN STRICT ACCORDANCE WITH ALL DIRECTIONS AND RECOMMENDATIONS FURNISHED BY THE MANUFACTURER. WHERE SUCH DIRECTIONS ARE IN CONFLICT WITH THE DRAWINGS AND SPECIFICATIONS, REPORT SUCH CONFLICTS TO THE ARCHITECT/ENGINEER FOR RESOLUTION.
- B. DO NOT PENETRATE OR OTHERWISE HARM OR CUT STRUCTURAL MEMBERS, INCLUDING FOOTINGS AND GRADE BEAMS, WITHOUT APPROVAL OF STRUCTURAL ENGINEER.
- C. MAKE PENETRATIONS PERPENDICULAR TO SURFACES UNLESS OTHERWISE INDICATED.
- D. PROVIDE SLEEVES FOR PENETRATIONS AS INDICATED OR AS REQUIRED TO FACILITATE INSTALLATION. SET SLEEVES FLUSH WITH EXPOSED SURFACES UNLESS OTHERWISE INDICATED OR REQUIRED.
- E. CONSULT BIRMS FOR CONDUIT RISERS EMERGING ABOVE GROUND.
- F. SEAL INTERIOR OF CONDUITS ENTERING BUILDING FROM UNDERGROUND AT FIRST ACCESSIBLE POINT TO PREVENT ENTRY OF MOISTURE AND GASES.
- G. WHERE CONDUITS PENETRATE WATERPROOF MEMBRANE, SEAL AS REQUIRED TO MAINTAIN INTEGRITY OF MEMBRANE.
- H. MAKE PENETRATIONS FOR ROOF-MOUNTED EQUIPMENT WITH ASSOCIATED EQUIPMENT EQUIPMENT AND CURBS WHERE POSSIBLE TO MAINTAIN ROOFING SYSTEM PENETRATIONS, WHERE PENETRATIONS ARE NECESSARY, SEAL AS INDICATED OR AS REQUIRED TO PRESENT INTEGRITY OF ROOFING SYSTEM AND MAINTAIN ROOF WARRANTY, INCLUDE PROPOSED LOCATIONS OF PENETRATIONS AND METHODS FOR SEALING WITH SUBMITTALS.
- 2.02 COORDINATION
- A. INSTALL WORK TO AVOID INTERFERENCE WITH WORK OF OTHER TRADES. REMOVE AND RELOCATE ANY WORK THAT CAUSES AN INTERFERENCE AT CONTRACTOR'S EXPENSE. DISPUTES REGARDING THE CAUSE OF AN INTERFERENCE WILL BE RESOLVED BY THE CONSTRUCTION MANAGER OR ARCHITECT/ENGINEER.
- 2.03 CHASES AND RECESSES
- A. PROVIDE BY THE ARCHITECTURAL TRADES, BUT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR ACCURATE LOCATION AND SIZE.
- B. CUTTING, PATCHING AND FINISHING OF CHASES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- C. REFER TO GENERAL CONDITIONS FOR REQUIREMENTS.
- D. ALL CUTTING, PATCHING AND REPAIR WORK SHALL BE PERFORMED BY THE CONTRACTOR THROUGH APPROVED, QUALIFIED SUBCONTRACTORS. CONTRACTOR SHALL INCLUDE FULL COST OF SAME IN BID.
- 2.05 EXCAVATION AND BACKFILLING
- A. PROVIDE ALL EXCAVATION, TRENCHING, TUNNELING, BACKFILLING AND BACKFILLING REQUIRED FOR THE ELECTRICAL WORK. COORDINATE THE WORK WITH OTHER EXCAVATING AND BACKFILLING IN THE SAME AREA.
- B. WHERE CONDUIT IS INSTALLED LESS THAN 2" BELOW THE SURFACE OF PAVEMENT, PROVIDE CONCRETE ENCASEMENT, 4" MINIMUM COVERAGE, ALL AROUND OR AS SHOWN ON THE ELECTRICAL DRAWINGS.
- C. BACKFILL ALL EXCAVATIONS INSIDE BUILDING, UNDER DRIVES AND PARKING AREAS WITH WELL-TAMPED GRANULAR MATERIAL. BACKFILL ALL EXCAVATIONS UNDER WALL FOOTINGS WITH LEAN MIX CONCRETE UP TO UNDERSIDE OF FOOTINGS AND EXTEND CONCRETE WITH EXCAVATION A MINIMUM OF FOUR (4) FEET EACH SIDE OF FOOTING. GRANULAR BACKFILL SHALL BE PLACED IN LAYERS NOT MORE THAN 6 INCHES IN THICKNESS, 95 PERCENT COMPACTION THROUGHOUT WITH APPROVED COMPACTION EQUIPMENT. TAMP, ROLL AS REQUIRED. EXCAVATED MATERIAL SHALL NOT BE USED.
- D. BACKFILL OUTSIDE BUILDING WITH GRANULAR MATERIAL TO A MINIMUM OF 12 INCHES OVER TOP OF PIPE COMPACTED TO 95 PERCENT COMPACTION AS SPECIFIED ABOVE. BACKFILL REMAINDER OF EXCAVATION WITH UNFROZEN, EXCAVATED MATERIAL IN SUCH A WAY TO PREVENT SETTLING. TAMP, ROLL AS REQUIRED.
- 2.06 EQUIPMENT FOUNDATION AND SUPPORTS
- A. SHALL BE AS REQUIRED OR AS SHOWN ON PLANS OR SPECIFIED.
- B. PROVIDE CONCRETE BASES AND SUPPORTS FOR FLOOR MOUNTED ELECTRICAL EQUIPMENT.
- C. PROVIDE CONCRETE HOUSE KEEPING BASES 4" ABOVE FINISHED FLOOR, WITH LEDGING CHANNELS, WHERE NOTED, FOR FLOOR-MOUNTED EQUIPMENT.
- D. FOR EQUIPMENT SUSPENDED FROM CEILINGS OR WALLS, FURNISH AND INSTALL ALL INSERTS, ROGS, STRUCTURAL STEEL FRAMES, BRACKETS AND PLATES REQUIRED.
- 2.07 EQUIPMENT CONNECTIONS
- A. MAKE CONNECTIONS TO EQUIPMENT, MOTORS, LIGHTING FIXTURES, AND OTHER ITEMS INCLUDED IN THE WORK IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND ROUGH-IN MEASUREMENTS FURNISHED BY THE MANUFACTURERS OF THE PARTICULAR EQUIPMENT FURNISHED. ALL ADDITIONAL CONNECTIONS NOT SHOWN ON THE DRAWINGS, BUT CALLED OUT BY THE EQUIPMENT MANUFACTURER'S SHOP DRAWINGS SHALL BE PROVIDED.
- 2.08 ACCESS DOORS
- A. COORDINATE REQUIREMENTS FOR ACCESS DOORS WITH ARCHITECT.
- 2.09 CLEANING
- A. ALL DEBRIS SHALL BE REMOVED DAILY AS REQUIRED TO MAINTAIN THE WORK AREA IN A NEAT, ORDERLY CONDITION.
- B. FINAL CLEANUP SHALL INCLUDE, BUT NOT BE LIMITED TO, WASHING OF FIXTURE LENSES OR LOUVERS, SWITCHBOARDS, SUBSTATIONS, MOTOR CONTROL CENTERS, PANELS, ETC. FUTURE REFLECTORS AND LENSES OR LOUVERS SHALL BE LEFT WITH NO WATER MARKS OR CLEANING STREAKS.
- 2.10 PROTECTION AND HANDLING OF EQUIPMENT AND MATERIALS
- A. EQUIPMENT AND MATERIALS SHALL BE PROTECTED FROM THEFT, INJURY OR DAMAGE.
- B. PROTECT CONDUIT OPENINGS WITH TEMPORARY PLUGS OR CAPS.
- C. PROVIDE ADEQUATE STORAGE FOR ALL EQUIPMENT AND MATERIALS DELIVERED TO THE JOB SITE. LOCATION OF THE SPACE WILL BE DESIGNATED BY THE CONSTRUCTION MANAGER OR ARCHITECT/ENGINEER. EQUIPMENT SET IN PLACE IN UNPROTECTED AREAS MUST BE PROVIDED WITH TEMPORARY PROTECTION.
- 2.11 EXTRA WORK
- A. FOR ANY EXTRA ELECTRICAL WORK WHICH MAY BE PROPOSED, THIS CONTRACTOR SHALL FURNISH TO THE CONSTRUCTION MANAGER, AN ITEMIZED BREAKDOWN OF THE ESTIMATED COST OF THE MATERIALS AND LABOR REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL PROCEED ONLY AFTER RECEIVING A WRITTEN ORDER FROM THE CONSTRUCTION MANAGER ESTABLISHING THE AGREED PRICE AND DESCRIBING THE WORK TO BE DONE.
- 2.12 DRAWINGS AND MEASUREMENTS
- A. THESE SPECIFICATIONS AND ACCOMPANYING DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR FINISHED WORK. THEY ARE INTENDED TO BE COOPERATIVE, AND WHAT IS CALLED FOR BY EITHER SHALL BE AS BINDING AS IF CALLED FOR BY BOTH. THE CONTRACTOR WILL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETE AT EVERY STEP.
- B. THE DRAWINGS ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS NOR TO SERVE AS SHOP DRAWINGS. FIELD MEASUREMENTS NECESSARY FOR ORDERING MATERIALS AND FITTING THE INSTALLATION TO THE BUILDING CONSTRUCTION AND ARRANGEMENT SHALL BE TAKEN BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK LATEST ARCHITECTURAL DRAWINGS AND LOCATE LIGHT SWITCHES FROM SAME WHERE DOOR SWINGS ARE DIFFERENT FROM ELECTRICAL DRAWINGS.

## LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES

- PART 1 PRODUCTS**
- 1.01 CONDUCTOR AND CABLE APPLICATIONS
- A. DO NOT USE CONDUCTORS AND CABLES FOR APPLICATIONS OTHER THAN AS PERMITTED BY NFPA 70 AND PRODUCT LISTING.
- B. PROVIDE SINGLE CONDUCTOR BUILDING WIRE INSTALLED IN SUITABLE RACEWAY UNLESS OTHERWISE INDICATED, PERMITTED, OR REQUIRED.
- C. NONMETALLIC-SHEATHED CABLE IS NOT PERMITTED.
- D. UNDERGROUND FEEDER AND BRANCH-CIRCUIT CABLE IS NOT PERMITTED.
- E. SERVICE ENTRANCE CABLE IS NOT PERMITTED.
- F. ARMORED CABLE IS NOT PERMITTED.
- G. METAL-CLAD CABLE IS PERMITTED ONLY AS FOLLOWS:
1. WHERE NOT OTHERWISE RESTRICTED, MAY BE USED:
  - a. WHERE CONCEALED ABOVE ACCESSIBLE CEILINGS FOR FINAL CONNECTIONS FROM JUNCTION BOXES TO LUMINAIRES.
  - b. MAXIMUM LENGTH: 6 FEET.
  - c. WHERE CONCEALED IN A HOLLOW STUD WALL, ABOVE ACCESSIBLE CEILINGS, AND UNDER RASED FLOORS FOR BRANCH CIRCUITS UP TO 20 A.
  - d. EXCEPTION: PROVIDE SINGLE CONDUCTOR BUILDING WIRE IN RACEWAY FOR CIRCUIT HOMERUN FROM FIRST OUTLET TO PANELBOARD.
2. IN ADDITION TO OTHER APPLICABLE RESTRICTIONS, MAY NOT BE USED:
- a. WHERE EXPOSED TO DAMAGE.
  - b. FOR DAMP, WET, OR CORROSIVE LOCATIONS, UNLESS PROVIDED WITH A PVC JACKET LISTED AS SUITABLE FOR THOSE LOCATIONS.
- H. MANUFACTURED WIRING SYSTEMS ARE NOT PERMITTED.
- 1.02 CONDUCTOR AND CABLE GENERAL REQUIREMENTS
- A. PROVIDE PRODUCTS THAT COMPLY WITH REQUIREMENTS OF NFPA 70.
- B. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.
- C. UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE ALL REQUIRED CONDUIT, BOXES, WIRING, CONNECTORS, ETC. AS REQUIRED FOR A COMPLETE OPERATING SYSTEM.
- D. COMPLY WITH NEMA WC 70.

- E. THERMOPLASTIC-INSULATED CONDUCTORS AND CABLES: LISTED AND LABELED AS COMPLYING WITH UL 83.
- F. THERMOSET-INSULATED CONDUCTORS AND CABLES: LISTED AND LABELED AS COMPLYING WITH UL 44.
- G. CONDUCTOR MATERIAL:
1. PROVIDE COPPER CONDUCTORS EXCEPT WHERE ALUMINUM CONDUCTORS ARE SPECIFICALLY INDICATED. SUBSTITUTION OF ALUMINUM CONDUCTORS FOR COPPER IS NOT PERMITTED. CONDUCTOR SIZES INDICATED ARE BASED ON COPPER UNLESS SPECIFICALLY INDICATED AS ALUMINUM. CONDUCTORS DESIGNATED WITH THE ABBREVIATION "AL" INDICATE ALUMINUM.
  2. COPPER CONDUCTORS: SOFT DRAWN ANNEALED, 99 PERCENT CONDUCTIVITY, UNCOATED COPPER CONDUCTORS COMPLYING WITH ASTM B3, ASTM B8, OR ASTM B787/B787M UNLESS OTHERWISE INDICATED.
  3. TINED COPPER CONDUCTORS: COMPLY WITH ASTM B33.
  4. ALUMINUM CONDUCTORS (ONLY WHERE SPECIFICALLY INDICATED OR PERMITTED FOR SUBSTITUTION): AA-8000 SERIES ALUMINUM ALLOY CONDUCTORS RECOGNIZED BY ASTM B300 AND COMPACT STRANDED IN ACCORDANCE WITH ASTM B801 UNLESS OTHERWISE INDICATED.
- H. CONDUCTOR COLOR CODING:
1. COLOR CODE CONDUCTORS AS INDICATED UNLESS OTHERWISE REQUIRED BY THE AUTHORITY HAVING JURISDICTION. MAINTAIN CONSISTENT COLOR CODING THROUGHOUT PROJECT.
  2. COLOR CODING METHOD: INTERNALLY COLORED INSULATION.
  3. COLOR CODE:
    - a. 240/120 V, 1 PHASE, 4 WIRE SYSTEM:
      - 1) PHASE A: BLACK.
      - 2) PHASE B: RED.
      - 3) PHASE C: BLUE.
      - 4) NEUTRAL/GROUNDED: WHITE.  - b. EQUIPMENT GROUND, ALL SYSTEMS: GREEN.
- 1.03 SINGLE CONDUCTOR BUILDING WIRE
- A. DESCRIPTION: SINGLE CONDUCTOR INSULATED WIRE.
- B. CONDUCTOR STRANDING:
1. FEEDERS AND BRANCH CIRCUITS:
    - a. SIZE 12 AWG AND SMALLER: STRANDED.
    - b. SIZE 10 AWG AND LARGER: STRANDED.
- C. INSULATION VOLTAGE RATING: 600 V.
- D. INSULATION:
1. COPPER BUILDING WIRE: TYPE THW/THWN OR THHN/THWN-2, EXCEPT AS INDICATED BELOW.
- 1.04 METAL-CLAD CABLE
- A. DESCRIPTION: NFPA 70, TYPE MC CABLE LISTED AND LABELED AS COMPLYING WITH UL 1569, AND LISTED FOR USE IN CLASSIFIED FIRESTOP SYSTEMS TO BE USED.
- B. CONDUCTOR STRANDING:
1. SIZE 12 AWG AND SMALLER: STRANDED.
  2. SIZE 10 AWG AND LARGER: STRANDED.
- C. INSULATION VOLTAGE RATING: 600 V.
- D. INSULATION: TYPE THW, THHN/THWN, OR THHN/THWN-2.
- E. GROUNDING: FULL-SIZE INTEGRAL EQUIPMENT GROUNDING CONDUCTOR.
- F. ARMOR: STEEL, INTERLOCKED TAPE.
- G. PROVIDE PVC JACKET APPLIED OVER CABLE ARMOR WHERE INDICATED OR REQUIRED FOR ENVIRONMENT OF INSTALLED LOCATION.
- H. WIRING CONNECTORS:
- A. DESCRIPTION: WIRING CONNECTORS APPROPRIATE FOR THE APPLICATION, SUITABLE FOR USE WITH THE CONDUCTORS TO BE CONNECTED, AND LISTED AS COMPLYING WITH UL 486C AS APPLICABLE.
- PART 2 EXECUTION**
- 2.01 INSTALLATION
- A. EXECUTING REQUIREMENTS:
1. UNLESS DIMENSIONED, CIRCUIT ROUTING INDICATED IS DIAGRAMMATIC.
  2. WHEN CIRCUIT DESTINATION IS INDICATED WITHOUT SPECIFIC ROUTING, DETERMINE EXACT ROUTING REQUIRED.
  3. ARRANGE CIRCUITS TO MINIMIZE SPLICES.
  4. INCLUDE CIRCUIT LENGTHS REQUIRED TO INSTALL CONDUIT DEVICES WITHIN 1 FT. OF LOCATION INDICATED.
  5. MAINTAIN SEPARATION OF CLAS 1, CLASS 2, AND CLASS 3 REMOTE-CONTROL, SIGNALING, AND POWER-LIMITED CIRCUITS IN ACCORDANCE WITH NFPA 70.
  6. MAINTAIN SEPARATION OF WIRING FOR EMERGENCY SYSTEMS IN ACCORDANCE WITH NFPA 70.
- B. PERFORM WORK IN ACCORDANCE WITH NECA 1 (GENERAL WORKMANSHIP).
- C. INSTALL ALUMINUM CONDUCTORS IN ACCORDANCE WITH NECA 104.
- D. INSTALL METAL-CLAD CABLE (TYPE MC) IN ACCORDANCE WITH NECA 120.
- E. INSTALLATION IN RACEWAY:
1. TAP EDS OF CONDUCTORS AND CABLES TO PREVENT INTRUSION OF MOISTURE AND OTHER CONTAMINANTS.
  2. PULL ALL CONDUCTORS AND CABLES TOGETHER INTO RACEWAY AT SAME TIME.
  3. DO NOT DAMAGE CONDUCTORS AND CABLES OR EXCEED MANUFACTURER'S RECOMMENDED MAXIMUM PULLING TENSION AND SIDEWALL PRESSURE.
  4. USE SUITABLE WIRE PULLING LUBRICANT WHEN NECESSARY, EXCEPT WHEN LUBRICANT IS NOT RECOMMENDED BY THE MANUFACTURER.
- F. PARALLEL CONDUCTORS: INSTALL CONDUCTORS OF THE SAME LENGTH AND TERMINATE IN THE SAME MANNER.
- G. SECURE AND SUPPORT CONDUCTORS AND CABLES IN ACCORDANCE WITH NFPA 70 USING SUITABLE SUPPORTS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION. PROVIDE INDEPENDENT SUPPORT FROM BUILDING STRUCTURE. DO NOT PROVIDE SUPPORT FROM RACEWAYS, PIPING, DUCTWORK, OR OTHER SYSTEMS.
- H. TERMINATE CABLES USING SUITABLE FITTINGS.
- I. METAL-CLAD CABLE (TYPE MC):
1. USE LISTED FITTINGS.
  2. USE LISTED FITTINGS.
- J. CUT CABLE ARMOR ONLY USING SPECIALIZED TOOLS TO PREVENT DAMAGING CONDUCTORS OR INSULATION. DO NOT USE HACKSAW OR WIRE CUTTERS TO CUT ARMOR.
- K. INSTALL CONDUCTORS WITH A MINIMUM OF 12 INCHES OF SLACK AT EACH OUTLET.
- L. NEATLY TRIM AND BUNDLE CONDUCTORS INSIDE BOXES, WIREWAYS, PANELBOARDS AND OTHER EQUIPMENT ENCLOSURES.
- M. GROUP OR OTHERWISE IDENTIFY NEUTRAL/GROUNDED CONDUCTORS WITH ASSOCIATED UNGROUNDED CONDUCTORS INSIDE ENCLOSURES IN ACCORDANCE WITH NFPA 70.
- N. MAKE WIRING CONNECTIONS USING SPECIFIED WIRING CONNECTORS.
1. MAKE SPLICES AND TAPS ONLY IN ACCESSIBLE BOXES. DO NOT PULL SPLICES INTO CONDUIT BODIES OR WIRING TUBES.
  2. REMOVE APPROPRIATE AMOUNT OF CONDUIT INSULATION FOR WIRING CONNECTIONS WITHOUT CUTTING, NICKING OR DAMAGING CONDUCTORS.
  3. DO NOT REMOVE CONDUCTOR STRANDED TO FACILITATE INSERTION INTO CONNECTOR.
  4. CLEAN CONTACT SURFACES ON CONDUCTORS AND CONNECTORS TO SUITABLE REMOVE CORROSION, OXIDES, AND OTHER CONTAMINANTS. DO NOT USE WIRE BRUSH ON PLATED CONNECTOR SURFACES.
- O. CONNECTIONS FOR ALUMINUM CONDUCTORS: FILL CONDUITS WITH OXIDE INHIBITING COMPOUND WHERE NOT PRE-FILLED BY MANUFACTURER.
- M. INSULATE SPLICES AND TAPS THAT ARE MADE WITH UNGALVANIZED CONDUCTORS USING METHODS SUITABLE FOR THE APPLICATION, WITH INSULATION AND MECHANICAL STRENGTH AT LEAST EQUIVALENT TO UNGALVANIZED CONDUCTORS.
- N. INSULATE ENDS OF SPARE CONDUCTORS USING VINYL INSULATING ELECTRICAL TAPE.
- O. INSTALL FIRESTOPPING TO PRESERVE THE RESISTANCE RATING OF PARTITIONS AND OTHER ELEMENTS.
- P. UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE FINAL CONNECTIONS TO ALL EQUIPMENT AND DEVICES, INCLUDING THOSE FURNISHED BY OTHERS, AS REQUIRED FOR A COMPLETE OPERATING SYSTEM.

## GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS

- PART 1 PRODUCTS**
- 1.01 GROUNDING AND BONDING REQUIREMENTS
- A. EXISTING WORK: WHERE EXISTING GROUNDING AND BONDING SYSTEM COMPONENTS ARE INDICATED TO BE REUSED, THEY MAY BE REUSED ONLY WHERE THEY ARE FREE FROM CORROSION, INTEGRITY AND CONTINUITY ARE VERIFIED, AND WHERE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
- B. DO NOT USE PRODUCTS FOR APPLICATIONS OTHER THAN AS PERMITTED BY NFPA 70 AND PRODUCT LISTING.
- C. UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE ALL REQUIRED COMPONENTS, CONDUCTORS, CONNECTOR, BOXES, FITTINGS, SUPPORTS, ACCESSORIES, ETC. AS NECESSARY FOR A COMPLETE GROUNDING AND BONDING SYSTEM.
- D. WHERE CONDUCTOR SIZE IS NOT INDICATED, SIZE TO COMPLY WITH NFPA 70 BUT NOT LESS THAN APPLICABLE MINIMUM SIZE REQUIREMENTS SPECIFIED.
- E. GROUNDING SYSTEM RESISTANCE
- F. GROUNDING ELECTRODE SYSTEM: NOT GREATER THAN 5 OHMS TO GROUND, WHEN TESTED ACCORDING TO IEEE 81 USING "ALL-OF-POTENTIAL" METHOD.
- G. GROUNDING ELECTRODE SYSTEM:
1. PROVIDE CONNECTION TO REQUIRED AND SUPERSTANDARD, GROUNDING ELECTRODES INDICATED TO FORM GROUNDING ELECTRODE SYSTEM.
  - a. PROVIDE CONTINUOUS GROUNDING ELECTRODES WITHOUT SPLICE OR JOINT.
  - b. INSTALL GROUNDING ELECTRODE CONDUCTORS IN RACEWAY WHERE EXPOSED TO PHYSICAL DAMAGE. BOND GROUNDING ELECTRODE CONDUCTOR TO METALLIC RACEWAYS AT EACH END WITH BONDING JUMPER.
2. PROVIDE ADDITIONAL GROUND ELECTRODES AS REQUIRED TO ACHIEVE SPECIFIED GROUNDING ELECTRODE SYSTEM RESISTANCE.
- 1.02 GROUNDING AND BONDING COMPONENTS
- A. GENERAL REQUIREMENTS:
1. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.
  2. PROVIDE PRODUCTS LISTED AND LABELED AS COMPLYING WITH UL 467 WHERE APPLICABLE.
- B. CONDUCTORS FOR GROUNDING AND BONDING, IN ADDITION TO REQUIREMENTS OF SECTION 26 0526:
1. USE INSULATED COPPER CONDUCTORS UNLESS OTHERWISE INDICATED.
  - a. EXCEPTIONS:
    - 1) USE BARE COPPER CONDUCTORS WHERE INSTALLED UNDERGROUND IN DIRECT CONTACT WITH EARTH.
    - 2) USE BARE COPPER CONDUCTORS WHERE DIRECTLY ENCASED IN CONCRETE (NOT IN RACEWAY).
- C. CONNECTORS FOR GROUNDING AND BONDING:
1. DESCRIPTION: CONNECTORS APPROPRIATE FOR THE APPLICATION AND SUITABLE FOR THE CONDUCTORS AND ITEMS TO BE CONNECTED, LISTED AND LABELED AS COMPLYING WITH UL 467.
  2. UNLESS OTHERWISE INDICATED, USE EXOTHERMIC WELDED CONNECTIONS FOR UNDERGROUND, CONCEALED AND OTHER ACCESSIBLE CONNECTIONS.
  3. UNLESS OTHERWISE INDICATED, USE MECHANICAL CONNECTORS, COMPRESSION CONNECTORS, OR EXOTHERMIC WELDED CONNECTIONS FOR ACCESSIBLE CONNECTIONS.
- PART 2 EXECUTION**
- 2.01 EXAMINATION
- A. VERIFY THAT WORK LIKELY TO DAMAGE GROUNDING AND BONDING SYSTEM COMPONENTS HAS BEEN COMPLETED.
- B. VERIFY THAT CONDITIONS ARE SATISFACTORY FOR INSTALLATION PRIOR TO STARTING WORK.
- 2.02 INSTALLATION
- A. PERFORM WORK IN ACCORDANCE WITH NECA 1 (GENERAL WORKMANSHIP).
- B. GROUND ROD ELECTRODES: UNLESS OTHERWISE INDICATED, INSTALL GROUND ROD ELECTRODES VERTICALLY, WHERE ENCOUNTERED ROCK PROHIBITS VERTICAL INSTALLATION, INSTALL AT 45 DEGREE ANGLE OR BURRY HORIZONTALLY IN TRENCH AT LEAST 30 INCHES (750 MM) DEEP IN ACCORDANCE WITH NFPA 70 OR PROVIDE GROUND PLATES.
- C. MAKE GROUNDING AND BONDING CONNECTIONS USING SPECIFIED CONNECTIONS.
1. REMOVE APPROPRIATE AMOUNT OF CONDUCTOR INSULATION FOR WIRING CONNECTIONS WITHOUT CUTTING, NICKING OR DAMAGING CONDUCTORS. DO NOT REMOVE CONDUCTOR STRANDED TO FACILITATE INSERTION INTO CONNECTOR.
  2. REMOVE NONCONDUCTIVE PAINT, ENAMEL, OR SIMILAR COATING AT TRENCH, CONTACT POINTS, AND CONTACT SURFACES.
  3. EXOTHERMIC WELDS: MAKE CONNECTIONS USING MOLDS AND WELD MATERIAL SUITABLE FOR THE ITEMS TO BE CONNECTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  4. MECHANICAL CONNECTORS: SECURE CONNECTIONS ACCORDING TO MANUFACTURER'S RECOMMENDED TORQUE SETTINGS.
  5. COMPRESSION CONNECTORS: SECURE CONNECTIONS USING MANUFACTURER'S RECOMMENDED TOOLS AND DIES.
- 2.03 FIELD QUALITY CONTROL
- A. INSPECT AND TEST IN ACCORDANCE WITH NECA ITS EXCEPT SECTION 4.
- B. PERFORM INSPECTIONS AND TESTS LISTED IN NECA ITS, SECTION 7.1.3.
- C. PERFORM GROUND ELECTRODE RESISTANCE TESTS UNDER NORMALLY DRY CONDITIONS. PRECIPITATION WITHIN THE PREVIOUS 48 HOURS DOES NOT CONSTITUTE NORMALLY DRY CONDITIONS.
- D. INVESTIGATE AND CORRECT DEFICIENCIES WHERE MEASURED GROUND RESISTANCES DO NOT COMPLY WITH SPECIFIED REQUIREMENTS.

## HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS

- PART 1 GENERAL**
- 1.01 SUMMARY
- A. THE WORK COVERED UNDER THIS SECTION CONSISTS OF THE FURNISHING OF ALL NECESSARY LABOR, SUPERVISION, MATERIALS, EQUIPMENT, AND SERVICES TO COMPLETELY EXECUTE THE SYSTEM OF CONDUIT HANGERS AND SUPPORTS AS DESCRIBED IN THIS SPECIFICATION.
- B. RATED STRENGTH: ADEQUATE IN TENSION, SHEAR, AND PULLOUT FORCE TO RESIST MAXIMUM LOADS CALCULATED OR IMPOSED FOR THIS PROJECT, WITH A MINIMUM STRUCTURAL SAFETY FACTOR OF FIVE TIMES THE APPLIED FORCE.
- 1.02 COORDINATION
- A. COORDINATE INSTALLATION OF ROOF CURBS, EQUIPMENT SUPPORTS, AND ROOF PENETRATIONS.
- PART 2 PRODUCTS**
- 2.01 SUPPORT AND ATTACHMENT COMPONENTS
- A. GENERAL REQUIREMENTS:
1. PROVIDE ALL REQUIRED HANGERS, SUPPORTS, ANCHORS, FASTENERS, FITTINGS, ACCESSORIES, AND HARDWARE AS NECESSARY FOR THE COMPLETE INSTALLATION OF ELECTRICAL WORK.

2. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED, WHERE APPLICABLE.
3. WHERE SUPPORT AND ATTACHMENT COMPONENT TYPES AND SIZES ARE NOT INDICATED, SELECT IN ACCORDANCE WITH MANUFACTURER'S APPLICATION CRITERIA AS REQUIRED FOR THE LOAD TO BE SUPPORTED. INCLUDE CONSIDERATION FOR VIBRATION, EQUIPMENT OPERATION, AND SHOCK LOADS WHERE APPLICABLE.
4. DO NOT USE PRODUCTS FOR APPLICATIONS OTHER THAN AS PERMITTED BY NFPA 70 AND PRODUCT LISTING.
5. STEEL COMPONENTS: USE CORROSION RESISTANT MATERIALS SUITABLE FOR THE ENVIRONMENT WHERE INSTALLED.
6. GALVANIZED STEEL: HOT-DIP GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123/A123M OR ASTM A153/A153M.
- B. CONDUIT AND CABLE SUPPORTS: STRAPS, CLAMPS, ETC. SUITABLE FOR THE CONDUIT OR CABLE TO BE SUPPORTED.
1. CONDUIT STRAPS: HOT-DIP OR TWO-HOLE TYPE; STEEL OR MALLEABLE IRON.
2. CONDUIT CLAMPS: BOLTED TYPE UNLESS OTHERWISE INDICATED.
- C. OUTLET BOX SUPPORTS: HANGERS, BRACKETS, ETC. SUITABLE FOR THE BOXES TO BE SUPPORTED.
- D. METAL CHANNEL (STRUT) SUPPORTS: FACTORY-FABRICATED CONTINUOUS-SLOT METAL CHANNEL (STRUT) AND ASSOCIATED FITTINGS, ACCESSORIES, AND HARDWARE REQUIRED FOR FIELD-ASSEMBLY OF SUPPORTS.
1. COMPLY WITH NFPA 70.
  2. CHANNEL (STRUT) USED AS RACEWAY (ONLY WHERE SPECIFICALLY INDICATED): LISTED AND LABELED AS COMPLYING WITH UL 58.
- E. HANGER RODS: THREADED ZINC-PLATED STEEL UNLESS OTHERWISE INDICATED.
1. MINIMUM SIZE, UNLESS OTHERWISE INDICATED OR REQUIRED:
    - a. EQUIPMENT SUPPORTS: 1/2 INCH DIAMETER.
    - b. SINGLE CONDUIT UP TO 1 INCH (27 MM) TRADE SIZE: 1/4 INCH DIAMETER.
- F. ANCHORS AND FASTENERS:
1. UNLESS OTHERWISE INDICATED AND WHERE NOT OTHERWISE RESTRICTED, USE THE ANCHOR AND FASTENER TYPES INDICATED FOR THE SPECIFIED APPLICATIONS.
- G. HANGERS, SUPPORTS, ANCHORS, AND FASTENERS - GENERAL:
1. PROTECTIVE ZINC COATING EITHER ELECTRO-PLATED (ASTM B633 S21 OR S23), PRE-GALVANIZED (ASTM A425 COATING DESIGNATION G90) OR HOT-DIP GALVANIZED AFTER FABRICATION (ASTM A123). THE MINIMUM THICKNESS OF ZINC COATING SHALL BE 0.2 MIL (5 MICROMETERS).
- H. PROVIDE MATERIALS OF SIZE AND TYPE ADEQUATE TO CARRY THE LOADS OF EQUIPMENT AND CONDUIT, INCLUDING WEIGHT OF WIRE IN CONDUIT.
1. CONDUIT HANGERS:
    1. SHALL HAVE A VERTICAL LOAD LIMIT OF 100 LBS. AND A HORIZONTAL LOAD LIMIT OF 25 LBS.
    2. SHALL BE AVAILABLE WITH EITHER A PLAIN HOLE FOR 1/4" BOLT OR A 1/4"-20 THREAD IMPRESSION.
    3. SHALL BE AVAILABLE FOR 3/8" THROUGH 2" EMT, RIGID, AND ALUMINUM CONDUIT.
    4. SHALL BE AVAILABLE PRE-ASSEMBLED WITH MANUFACTURER'S SPECIALTY FASTENERS FOR CONNECTION TO BUILDING STRUCTURES LIKE BEAM, FLANGE, DROP WIRE/ROD, WOOD STRUCTURE, CONCRETE AND ACOUSTICAL TIE ROD.
- J. WIRE ROPE HANGERS:
1. WIRE ROPE HANGER ASSEMBLIES SHALL BE MADE OF GALVANIZED STEEL.
  2. HANGER SHALL MEET THE MINIMUM RATING REQUIREMENTS FOR DN 4102-2 FOR 30 MINUTES AT 30 PERCENT OF RATED LOAD.
  3. ROPE HANGERS SHALL HAVE A MINIMUM SAFETY FACTOR OF 5:1.
  4. ROPE HANGERS ARE NOT PERMITTED TO SUPPORT CONDUITS.
  5. ROPE HANGERS ARE PERMITTED TO HANG LIGHT FIXTURES, WHERE APPLICABLE.
  6. HANGERS SHALL BE FULLY ADJUSTABLE.
- PART 3 EXECUTION**
- 3.01 INSTALLATION
- A. PROVIDE INDEPENDENT SUPPORT FROM BUILDING STRUCTURE. DO NOT PROVIDE SUPPORT FROM PIPING, DUCTWORK, OR OTHER SYSTEMS.
- B. UNLESS SPECIFICALLY INDICATED OR APPROVED BY STRATEGIC ENERGY SOLUTIONS, INC., DO NOT PROVIDE SUPPORT FROM SUSPENDED CEILING SUPPORT SYSTEM OR CEILING GRID.
- C. UNLESS SPECIFICALLY INDICATED OR APPROVED BY STRATEGIC ENERGY SOLUTIONS, INC., DO NOT PROVIDE SUPPORT FROM ROOF DECK.
- D. EQUIPMENT SUPPORT AND ATTACHMENT:
1. USE METAL FABRICATED SUPPORTS OR SUPPORTS ASSEMBLED FROM METAL CHANNEL (STRUT) TO SUPPORT EQUIPMENT AS REQUIRED.
  2. USE METAL CHANNEL (STRUT) SECURED TO STUDS TO SUPPORT EQUIPMENT SURFACE-MOUNTED ON HOLLOW STUD WALLS WHEN WALL STRENGTH IS NOT SUFFICIENT TO RESIST PULL-OUT.
  3. USE METAL CHANNEL (STRUT) TO SUPPORT SURFACE-MOUNTED EQUIPMENT IN WET OR DAMP LOCATIONS TO PROVIDE SPACE BETWEEN EQUIPMENT AND MOUNTING SURFACE.
  4. SECURELY FASTEN FLOOR-MOUNTED EQUIPMENT. DO NOT INSTALL EQUIPMENT SUCH THAT IT RELIES ON ITS OWN WEIGHT FOR SUPPORT.
- E. SECURE FASTENERS ACCORDING TO MANUFACTURER'S RECOMMENDED TORQUE SETTINGS.
- F. REMOVE TEMPORARY SUPPORTS.

## CONDUIT

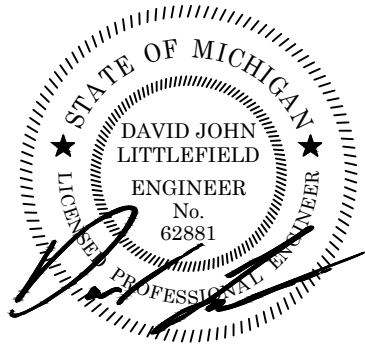
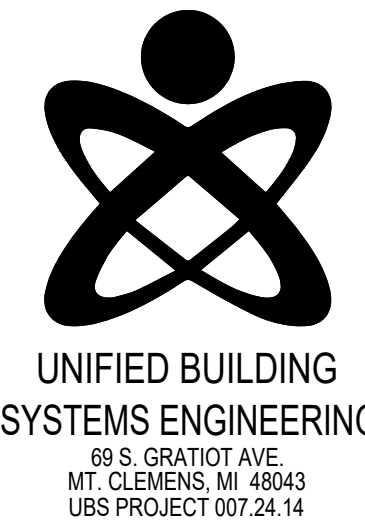
- PART 1 GENERAL**
- 1.01 DELIVERY, STORAGE, AND HANDLING
- A. RECEIVE, INSPECT, HANDLE, AND STORE CONDUIT AND FITTINGS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. PROTECT CONDUIT FROM CORROSION AND ENTRANCE OF DEBRIS BY STORING ABOVE GRADE. PROVIDE APPROPRIATE COVERING.
- C. PROTECT PVC CONDUIT FROM SUNLIGHT.
- PART 2 PRODUCTS**
- 2.01 CONDUIT APPLICATIONS
- A. DO NOT USE CONDUIT AND ASSOCIATED FITTINGS FOR APPLICATIONS OTHER THAN AS PERMITTED BY NFPA 70 AND PRODUCT LISTING.
- B. UNLESS OTHERWISE INDICATED AND WHERE NOT OTHERWISE RESTRICTED, USE THE CONDUIT TYPES INDICATED FOR THE SPECIFIED APPLICATIONS, WHERE MORE THAN ONE LISTED APPLICATION APPLIES, COMPLY APPLICATION WITH THE MOST RESTRICTIVE REQUIREMENTS. WHERE CONDUIT TYPE FOR A PARTICULAR APPLICATION IS NOT SPECIFIED, USE GALVANIZED STEEL RIGID METAL CONDUIT.
- 2.02 CONDUIT REQUIREMENTS
- A. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.
- B. WHERE CONDUIT SIZE IS NOT INDICATED, SIZE TO COMPLY WITH NFPA 70 BUT NOT LESS THAN APPLICABLE MINIMUM SIZE REQUIREMENTS SPECIFIED.
- 2.03 GALVANIZED STEEL RIGID METAL CONDUIT (RMC)
- A. DESCRIPTION: NFPA 70, TYPE RMC GALVANIZED STEEL RIGID METAL CONDUIT COMPLYING WITH ANSI C80.1 AND LISTED AND LABELED AS COMPLYING WITH UL 6.
- B. FITTINGS:
1. NON-HAZARDOUS LOCATIONS: USE FITTINGS COMPLYING WITH NEMA FB 1 AND LISTED AND LABELED AS COMPLYING WITH UL 514B.
  2. MATERIAL: USE STEEL OR MALLEABLE IRON.
- C. CONNECTIONS AND COUPLINGS: USE THREADED SET SCREW AND COMPRESSION (GLAND) TYPE FITTINGS ARE NOT PERMITTED.
- 2.04 FLEXIBLE METAL CONDUIT (FMC)
- A. DESCRIPTION: NFPA 70, TYPE FMC STANDARD WALL STEEL FLEXIBLE METAL CONDUIT LISTED AND LABELED AS COMPLYING WITH UL 1, AND LISTED FOR USE IN CLASSIFIED FIRESTOP SYSTEMS TO BE USED.
- B. FITTINGS:
1. DESCRIPTION: FITTINGS COMPLYING WITH NEMA FB 1 AND LISTED AND LABELED AS COMPLYING WITH UL 514B.
  2. MATERIAL: USE STEEL OR MALLEABLE IRON.
- C. DESCRIPTION: INTERLOCKED STEEL CONSTRUCTION.
- D. FITTINGS: NEMA FB 1.
- 2.05 ELECTRICAL METALLIC TUBING (EMT)
- A. DESCRIPTION: NFPA 70, TYPE EMT STEEL ELECTRICAL METALLIC TUBING COMPLYING WITH ANSI C80.3 AND LISTED AND LABELED AS COMPLYING WITH UL 797.
- B. FITTINGS:
1. DESCRIPTION: FITTINGS COMPLYING WITH NEMA FB 1 AND LISTED AND LABELED AS COMPLYING WITH UL 514B.
  2. MATERIAL: USE STEEL OR MALLEABLE IRON.
- C. CONNECTIONS AND COUPLINGS: USE COMPRESSION (GLAND) OR SET-SCREW TYPE.
- D. DO NOT USE REDUCER TYPE CONNECTORS OR COUPLINGS.
- C. DESCRIPTION: ANSI C80.3; GALVANIZED TUBING.
- D. FITTINGS AND CONDUIT BOXES: NEMA FB 1; STEEL OR MALLEABLE IRON COMPRESSION TYPE.
- 2.06 ELECTRICAL NONMETALLIC TUBING (ENT)
- A. DESCRIPTION: NFPA 70, TYPE ENT ELECTRICAL NONMETALLIC TUBING COMPLYING WITH NEMA TC 13 AND LISTED AND LABELED AS COMPLYING WITH UL 1653.
- B. FITTINGS:
1. MANUFACTURER: SAME AS MANUFACTURER OF ENT TO BE CONNECTED.
  2. USE SOLVENT-WELDED TYPE FITTINGS.
  3. SOLVENT-WELDED FITTINGS: RIGID PVC FITTINGS COMPLYING WITH NEMA TC 3 AND LISTED AND LABELED AS COMPLYING WITH UL 651; SUITABLE FOR USE WITH ENT.
- PART 3 EXECUTION**
- 3.01 EXAMINATION
- A. VERIFY THAT MOUNTING SURFACES ARE READY TO RECEIVE CONDUITS.
- B. VERIFY THAT CONDITIONS ARE SATISFACTORY FOR INSTALLATION PRIOR TO STARTING WORK.
- C. VERIFY ROUTING AND TERMINATION LOCATIONS OF CONDUIT PRIOR TO ROUGH-IN.
- D. CONDUIT ROUTING IS SHOWN ON DRAWINGS IN APPROPRIATE LOCATIONS UNLESS DIMENSIONED. ROUTE AS REQUIRED TO COMPLETE WIRING SYSTEM.
- 3.02 INSTALLATION
- A. INSTALL GALVANIZED STEEL RIGID METAL CONDUIT (RMC) IN ACCORDANCE WITH NECA 101.
- B. INSTALL ELECTRICAL NONMETALLIC TUBING (ENT) IN ACCORDANCE WITH NECA 111.
- C. CONDUIT SUPPORT:
1. SECURE AND SUPPORT CONDUITS IN ACCORDANCE WITH NFPA 70 AND SECTION 26 0529 USING SUITABLE SUPPORTS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
  2. PROVIDE INDEPENDENT SUPPORT FROM BUILDING STRUCTURE. DO NOT PROVIDE SUPPORT FROM PIPING, DUCTWORK, OR OTHER SYSTEMS.
- D. CONNECTIONS AND TERMINATIONS:
1. USE APPROVED ZINC-RICH PAINT OR CONDUIT JOINT COMPOUND ON FIELD-CUT THREADS OF GALVANIZED STEEL CONDUITS PRIOR TO MAKING CONNECTIONS.
  2. WHERE TWO THREADED CONDUITS MUST BE JOINED AND NEITHER CAN BE ROTATED, USE THREE-PIECE COUPLINGS OR SPLIT COUPLINGS. DO NOT USE RUNNING THREADS.
  3. USE SUITABLE ADAPTORS WHERE REQUIRED TO TRANSITION FROM ONE TYPE OF CONDUIT TO ANOTHER.
  4. TERMINATE THREADED CONDUITS IN BOXES AND ENCLOSURES USING THREADED NUTS OR DOUBLE LOCK NUTS FOR DRY LOCATIONS AND RANTHOOT NUTS FOR WET LOCATIONS





WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
P: 586.573.4100  
F: 586.573.0822  
www.WakeleyAIA.com



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ELECTRICAL SPECIFICATIONS

PRELIMINARY ☐  
DESIGN DEVELOPMENT ☐  
CONSTRUCTION ☒  
FINAL RECORD ☐

DRAWN BY \_DSh\_  
CHECKED BY \_BDL\_

REVISIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.

E8.01

JOB NO.

BOXES

PART 1 PRODUCTS

1.01 BOXES

- A. GENERAL REQUIREMENTS:
- DO NOT USE BOXES AND ASSOCIATED ACCESSORIES FOR APPLICATIONS OTHER THAN AS PERMITTED BY NFPA 70 AND PRODUCT LISTING.
  - PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.
  - WHERE BOX SIZE IS NOT INDICATED, SIZE TO COMPLY WITH NFPA 70 BUT NOT LESS THAN APPLICABLE MINIMUM SIZE REQUIREMENTS SPECIFIED.
  - PROVIDE GROUNDING TERMINALS WITHIN BOXES WHERE EQUIPMENT GROUNDING CONDUCTORS TERMINATE.
- B. OUTLET AND DEVICE BOXES UP TO 100 CUBIC INCHES, INCLUDING THOSE USED AS JUNCTION AND PULL BOXES:
- USE SHEET-STEEL BOXES FOR DRY LOCATIONS UNLESS OTHERWISE INDICATED OR REQUIRED.
  - USE CAST IRON BOXES OR CAST ALUMINUM BOXES FOR DAMP OR WET LOCATIONS UNLESS OTHERWISE INDICATED OR REQUIRED; FURNISH WITH COMPATIBLE WEATHERPROOF GASKETED COVERS.
  - USE SUITABLE CONCRETE TYPE BOXES WHERE FLUSH-MOUNTED IN CONCRETE.
  - USE SUITABLE MASONRY TYPE BOXES WHERE FLUSH-MOUNTED IN MASONRY WALLS.
  - USE RASED COVERS SUITABLE FOR THE TYPE OF WALL CONSTRUCTION AND DEVICE CONFIGURATION WHERE REQUIRED.
  - USE SHALLOW BOXES WHERE REQUIRED BY THE TYPE OF WALL CONSTRUCTION.
  - DO NOT USE THROUGH-WALL BOXES DESIGNED FOR ACCESS FROM BOTH SIDES OF WALL.
  - SHEET-STEEL BOXES: COMPLY WITH NEMA OS 1, AND LIST AND LABEL AS COMPLYING WITH UL 514A.
  - CAST METAL BOXES: COMPLY WITH NEMA FB 1, AND LIST AND LABEL AS COMPLYING WITH UL 514A; FURNISH WITH THREADED HUBS.
  - BOXES FOR SUPPORTING LUMINAIRES AND CEILING FANS: LISTED AS SUITABLE FOR THE TYPE AND WEIGHT OF LOAD TO BE SUPPORTED; FURNISHED WITH FIXTURE STUD TO ACCOMMODATE MOUNTING OF LUMINAIRE WHERE REQUIRED.
- C. CABINETS AND ENCLOSURES, INCLUDING JUNCTION AND PULL BOXES LARGER THAN 100 CUBIC INCHES:
- COMPLY WITH NEMA 250, AND LIST AND LABEL AS COMPLYING WITH UL 50 AND UL 50E, OR UL 508A.
- D. BOX LOCATIONS:
- LOCATE BOXES TO BE ACCESSIBLE.
  - UNLESS DIMENSIONED, BOX LOCATIONS INDICATED ARE APPROXIMATE.
  - LOCATE BOXES SO THAT WALL PLATES DO NOT SPAN DIFFERENT BUILDING FINISHES.
  - LOCATE BOXES SO THAT WALL PLATES DO NOT CROSS MASONRY JOINTS.
  - UNLESS OTHERWISE INDICATED, WHERE MULTIPLE OUTLET BOXES ARE INSTALLED AT THE SAME LOCATION AT DIFFERENT MOUNTING HEIGHTS, INSTALL ALONG A COMMON VERTICAL CENTER LINE.
  - FIRE RESISTANCE RATED WALLS: INSTALL FLUSH-MOUNTED BOXES SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.
- H. BOX SUPPORTS:
- SECURE AND SUPPORT BOXES IN ACCORDANCE WITH NFPA 70 AND SECTION 26 0529 USING SUITABLE SUPPORTS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
  - PROVIDE INDEPENDENT SUPPORT FROM BUILDING STRUCTURE EXCEPT FOR CAST METAL BOXES (OTHER THAN BOXES USED FOR FIXTURE SUPPORT) SUPPORTED BY THREADED CONDUIT CONNECTIONS IN ACCORDANCE WITH NFPA 70; DO NOT PROVIDE SUPPORT FROM PIPING, DUCTWORK, OR OTHER SYSTEMS.
- I. INSTALL BOXES PLUMB AND LEVEL.
- J. FLUSH-MOUNTED BOXES:
- INSTALL BOXES IN NONCOMBUSTIBLE MATERIALS SUCH AS CONCRETE, TILE, GYPSUM PLASTER, ETC. SO THAT FRONT EDGE OF BOX OR ASSOCIATED RAISED COVER IS NOT SET BACK FROM FINISHED SURFACE MORE THAN 1/4 INCH OR DOES NOT PROJECT BEYOND FINISHED SURFACE.
  - INSTALL BOXES IN COMBUSTIBLE MATERIALS SUCH AS WOOD SO THAT FRONT EDGE OF BOX OR ASSOCIATED RAISED COVER IS FLUSH WITH FINISHED SURFACE.
  - REPAIR ROUGH OPENINGS AROUND BOXES IN NONCOMBUSTIBLE MATERIALS SUCH AS CONCRETE, TILE, GYPSUM PLASTER, ETC. SO THAT THERE ARE NO GAPS OR OPEN SPACES GREATER THAN 1/8 INCH AT THE EDGE OF THE BOX.
- K. INSTALL BOXES AS REQUIRED TO PRESERVE INSULATION INTEGRITY.
- L. INSTALL PERMANENT BARRIER BETWEEN GANGED WIRING DEVICES WHEN VOLTAGE BETWEEN ADJACENT DEVICES EXCEEDS 300 V.
- M. INSTALL FIRESTOPPING TO PRESERVE FIRE RESISTANCE RATING OF PARTITIONS AND OTHER ELEMENTS.
- N. CLOSE UNUSED BOX OPENINGS.
- O. INSTALL BLANK WALL PLATES ON JUNCTION BOXES AND ON OUTLET BOXES WITH NO DEVICES OR EQUIPMENT INSTALLED OR DESIGNATED FOR FUTURE USE.

IDENTIFICATION FOR ELECTRICAL SYSTEMS

PART 1 PRODUCTS

1.01 IDENTIFICATION REQUIREMENTS

- A. IDENTIFICATION FOR EQUIPMENT:
- USE IDENTIFICATION NAMEPLATE TO IDENTIFY EACH PIECE OF ELECTRICAL DISTRIBUTION AND CONTROL EQUIPMENT AND ASSOCIATED SECTIONS, COMPARTMENTS, AND COMPONENTS.
- B. PANELBOARDS:
- IDENTIFY POWER SOURCE AND CIRCUIT NUMBER, INCLUDE LOCATION WHEN NOT WITHIN SIGHT OF EQUIPMENT.
  - USE TYPEWRITTEN CIRCUIT DIRECTORY TO IDENTIFY LOAD(S) SERVED FOR PANELBOARDS WITH A DOOR; IDENTIFY SPARES AND SPACES USING PENCL.
- C. SERVICE EQUIPMENT:
- USE IDENTIFICATION NAMEPLATE TO IDENTIFY EACH SERVICE DISCONNECTING MEANS.
  - USE IDENTIFICATION NAMEPLATE AT EACH PIECE OF SERVICE EQUIPMENT TO IDENTIFY THE AVAILABLE FAULT CURRENT AND THE DATE CALCULATIONS WERE PERFORMED.
  - USE IDENTIFICATION LABEL TO IDENTIFY EQUIPMENT PROTECTIVE DEVICES FOR BRANCH CIRCUITS SERVING FIRE ALARM CIRCUITS; IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - AVAILABLE FAULT CURRENT DOCUMENTATION: USE IDENTIFICATION LABEL TO IDENTIFY THE AVAILABLE FAULT CURRENT AND DATE CALCULATIONS WERE PERFORMED AT LOCATIONS REQUIRING DOCUMENTATION BY NFPA 70, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
    - SERVICE EQUIPMENT.
    - INDUSTRIAL CONTROL PANELS.
    - MOTOR CONTROL CENTER.
    - ELEVATOR CONTROL PANELS.
    - INDUSTRIAL MACHINERY.
  - ARC FLASH HAZARD WARNING LABELS: USE WARNING LABELS TO IDENTIFY ARC FLASH HAZARDS FOR ELECTRICAL EQUIPMENT, SUCH AS SWITCHBOARDS, PANELBOARDS, INDUSTRIAL CONTROL PANELS, METER SOCKET ENCLOSURES, AND MOTOR CONTROL CENTERS THAT ARE LIKELY TO REQUIRE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE WHILE ENERGIZED.
- D. IDENTIFICATION FOR CONDUITORS AND CABLES:
- USE IDENTIFICATION NAMEPLATE OR IDENTIFICATION LABEL TO IDENTIFY COLOR CODE FOR UNGROUNDED AND GROUNDED POWER CONDUCTORS INSIDE DOOR OR ENCLOSURE AT EACH PIECE OF FEEDER OR BRANCH-CIRCUIT DISTRIBUTION EQUIPMENT WHEN PREMISES HAS FEEDERS OR BRANCH CIRCUITS SERVED BY MORE THAN ONE NOMINAL VOLTAGE SYSTEM.
- C. IDENTIFICATION FOR DEVICES:
- 1.02 IDENTIFICATION NAMEPLATES AND LABELS
- A. IDENTIFICATION NAMEPLATES:
- MATERIALS:
    - INDOOR CLEAN, DRY LOCATIONS: USE PLASTIC NAMEPLATES.
    - OUTDOOR LOCATIONS: USE PLASTIC, STAINLESS STEEL, OR ALUMINUM NAMEPLATES SUITABLE FOR EXTERIOR USE.
- B. IDENTIFICATION LABELS:
- MATERIALS: USE SELF-ADHESIVE LAMINATED PLASTIC LABELS, UV, CHEMICAL, WATER, HEAT, AND ABRASION RESISTANT.
  - TEXT: USE FACTORY PRE-PRINTED OR MACHINE-PRINTED TEXT; DO NOT USE HANDWRITTEN TEXT UNLESS OTHERWISE INDICATED.
  - NAMEPLATES: ENGRAVED THREE-LAYER LAMINATED PLASTIC, BLACK LETTERS ON WHITE BACKGROUND.
  - LABELS: ENGRAVED ADHESIVE TAPE, WITH 3/16 INCH WHITE LETTERS ON BLACK BACKGROUND; USE ONLY FOR IDENTIFICATION OF INDIVIDUAL WALL SWITCHES AND RECEPTACLES, CONTROL DEVICES, STATIONS.

PART 2 EXECUTION

2.01 PREPARATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGREASE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

2.02 INSTALLATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. SECURE NAMEPLATES TO EXTERIOR SURFACES OF ENCLOSURES USING STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR WRINKLES AND EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

WIRING DEVICES

PART 1 PRODUCTS

1.01 MANUFACTURERS

- A. HUBBELL INCORPORATED: WWW.HUBBELL-WIRING.COM
- B. LEVITON MANUFACTURING COMPANY, INC.: WWW.LEVITON.COM
- C. PASS & SEYMOUR, A BRAND OF LEGRAND NORTH AMERICA, INC.: WWW.LEGRANDUS

1.02 WIRING DEVICE APPLICATIONS

- A. PROVIDE WIRING DEVICES SUITABLE FOR INTENDED USE AND WITH RATINGS ADEQUATE FOR LOAD SERVED.
- B. FOR SINGLE RECEPTACLES INSTALLED ON AN INDIVIDUAL BRANCH CIRCUIT, PROVIDE RECEPTACLE WITH AMPERE RATING NOT LESS THAN THAT OF THE BRANCH CIRCUIT.
- C. PROVIDE WEATHER RESISTANT RECEPTACLES WITH SPECIFIED WEATHERPROOF COVERS FOR RECEPTACLES INSTALLED OUTDOORS OR IN DAMP OR WET LOCATIONS.
- D. PROVIDE TAMPER RESISTANT RECEPTACLES FOR RECEPTACLES INSTALLED IN DWELLING UNITS.
- E. PROVIDE GFCI PROTECTION FOR RECEPTACLES INSTALLED WITHIN 6 FEET OF SINKS.
- F. PROVIDE GFCI PROTECTION FOR RECEPTACLES INSTALLED IN KITCHENS.
- G. PROVIDE GFCI PROTECTION FOR RECEPTACLES SERVING ELECTRIC DRINKING FOUNTAINS.
- H. UNLESS NOTED OTHERWISE, DO NOT USE COMBINATION SWITCH/RECEPTACLE DEVICES.

1.03 WIRING DEVICE FINISHES

- A. PROVIDE WIRING DEVICE FINISHES AS DESCRIBED BELOW UNLESS OTHERWISE INDICATED.
- B. WIRING DEVICES INSTALLED IN FINISHED SPACES: WHITE WITH WHITE NYLON WALL PLATE.
- C. WIRING DEVICES INSTALLED IN UNFINISHED SPACES: GRAY WITH GALVANIZED STEEL WALL PLATE.
- D. WIRING DEVICES INSTALLED IN WET OR DAMP LOCATIONS: WHITE WITH SPECIFIED WEATHERPROOF COVER.
- E. WIRING DEVICES CONNECTED TO EMERGENCY POWER: RED WITH RED NYLON WALL PLATE.

1.04 ALL WIRING DEVICES

- A. PROVIDE PRODUCTS LISTED AND CLASSIFIED BY UNDERWRITERS LABORATORIES INC. AS SUITABLE FOR THE PURPOSE SPECIFIED AND INDICATED.

1.05 RECEPTACLES

- A. RECEPTACLES – GENERAL REQUIREMENTS: SELF-GROUNDING, COMPLYING WITH NEMA WD 1 AND NEMA WD 6, AND LISTED AS COMPLYING WITH UL 498, AND WHERE APPLICABLE, FS W-C-596; TYPES AS INDICATED ON THE DRAWINGS.
- J. WIRING PROVISIONS: TERMINAL SCREWS OR SCREW ACTUATED BINDING CLAMP FOR BACK WIRING WITH SEPARATE GROUND TERMINAL SCREW.
- K. NEMA CONFIGURATIONS SPECIFIED ARE ACCORDING TO NEMA WD 6.
- B. CONVENIENCE RECEPTACLES:
- STANDARD CONVENIENCE RECEPTACLES: INDUSTRIAL SPECIFICATION GRADE, 20A, 125V, NEMA 5-20R; SINGLE OR DUPLEX AS INDICATED ON THE DRAWINGS.
- C. GFCI RECEPTACLES:
- GFCI RECEPTACLES – GENERAL REQUIREMENTS: SELF-TESTING, WITH FEED-THROUGH PROTECTION AND LIGHT TO INDICATE GROUND FAULT TRIPPED CONDITION AND LOSS OF PROTECTION; LISTED AS COMPLYING WITH UL 943, CLASS A.
    - PROVIDE TEST AND RESET BUTTONS OF SAME COLOR AS DEVICE.
  - STANDARD GFCI RECEPTACLES: INDUSTRIAL SPECIFICATION GRADE, DUPLEX, 20A, 125V, NEMA 5-20R.
- 1.06 WALL PLATES
- D. WALL PLATES: COMPLY WITH UL 514D.
- CONFIGURATION: ONE PIECE COVER AS REQUIRED FOR QUANTITY AND TYPES OF CORRESPONDING WIRING DEVICES.
  - SCREWS: METAL WITH SLOTTED HEADS FINISHED TO MATCH WALL PLATE FINISH.
- B. NYLON WALL PLATES: SMOOTH FINISH, HIGH-IMPACT THERMOPLASTIC.
- STAINLESS STEEL WALL PLATES: SHALL MATCH RECEPTACLE COLOR

2.01 EXAMINATION

- A. VERIFY THAT FIELD MEASUREMENTS ARE AS INDICATED.
- B. VERIFY THAT OUTLET BOXES ARE INSTALLED IN PROPER LOCATIONS AND AT PROPER MOUNTING HEIGHTS AND ARE PROPERLY SIZED TO ACCOMMODATE DEVICES AND CONDUCTORS IN ACCORDANCE WITH NFPA 70.
- C. VERIFY THAT WALL OPENINGS ARE NEATLY CUT AND WILL BE COMPLETELY COVERED BY WALL PLATES.
- D. VERIFY THAT FINAL SURFACE FINISHES ARE COMPLETE, INCLUDING PAINTING.
- E. VERIFY THAT BRANCH CIRCUIT WIRING INSTALLATION IS COMPLETED, TESTED, AND READY FOR CONNECTION TO WIRING DEVICES.

- F. VERIFY THAT CONDITIONS ARE SATISFACTORY FOR INSTALLATION PRIOR TO STARTING WORK.

2.02 PREPARATION

- A. PROVIDE EXTENSION RINGS TO BRING OUTLET BOXES FLUSH WITH FINISHED SURFACE.
- B. CLEAN DRY, GIBBS, PLASTER, AND OTHER FOREIGN MATERIALS FROM OUTLET BOXES.

2.03 INSTALLATION

- A. PERFORM WORK IN ACCORDANCE WITH NECA 1 (GENERAL WORKMANSHIP) AND, WHERE APPLICABLE, NECA 130, INCLUDING MOUNTING HEIGHTS SPECIFIED IN THOSE STANDARDS UNLESS OTHERWISE INDICATED.
- B. COORDINATE LOCATIONS OF OUTLET BOXES PROVIDED UNDER SECTION 26 0537 AS REQUIRED FOR INSTALLATION OF WIRING DEVICES PROVIDED UNDER THIS SECTION.
- MOUNTING HEIGHTS: UNLESS OTHERWISE INDICATED, AS FOLLOWS:
    - WALL SWITCHES: 48 INCHES ABOVE FINISHED FLOOR.
    - RECEPTACLES: 18 INCHES ABOVE FINISHED FLOOR OR 6 INCHES ABOVE COUNTER.
  - WHERE MULTIPLE RECEPTACLES OR WALL SWITCHES ARE INSTALLED AT THE SAME LOCATION AND AT THE SAME MOUNTING HEIGHT, GANG DEVICES TOGETHER UNDER A COMMON WALL PLATE.
- C. INSTALL PERMANENT BARRIER BETWEEN GANGED WIRING DEVICES WHEN VOLTAGE BETWEEN ADJACENT DEVICES EXCEEDS 300 V.
- D. WHERE REQUIRED, CONNECT WIRING DEVICES USING PIGTAILS NOT LESS THAN 6 INCHES LONG. DO NOT CONNECT MORE THAN ONE CONDUCTOR TO WIRING DEVICE TERMINALS.
- E. CONNECT WIRING DEVICES BY WRAPPING CONDUCTOR CLOUSEWISE 3/4 TURN AROUND SCREW TERMINAL AND TIGHTENING TO PROPER TORQUE SPECIFIED BY THE MANUFACTURER, WHERE PRESENT, DO NOT USE PUSH-IN PRESSURE TERMINALS THAT DO NOT RELY ON SCREW-ACTUATED BINDING.
- F. UNLESS OTHERWISE INDICATED, CONNECT WIRING DEVICE GROUNDING TERMINAL TO BRANCH CIRCUIT EQUIPMENT GROUNDING CONDUCTOR AND TO OUTLET BOX WITH BONDING JUMPER.
- G. PROVIDE GFCI RECEPTACLES WITH INTEGRAL GFCI PROTECTION AT EACH LOCATION INDICATED.
- H. INSTALL WIRING DEVICES PLUMB AND LEVEL WITH MOUNTING YOLKE HELD RIGIDLY IN PLACE.
- I. INSTALL WALL SWITCHES WITH OFF POSITION DOWN.
- J. INSTALL VERTICALLY MOUNTED RECEPTACLES WITH GROUNDING POLE ON TOP AND HORIZONTALLY MOUNTED RECEPTACLES WITH GROUNDING POLE ON LEFT.
- K. INSTALL WALL PLATES TO FIT COMPLETELY FLUSH TO WALL WITH NO GAPS AND ROUGH OPENING COMPLETELY COVERED WITHOUT STRAIN ON WALL PLATE. REPAIR OR REINSTALL IMPROPERLY INSTALLED OUTLET BOXES OR IMPROPERLY SIZED ROUGH OPENINGS. DO NOT USE OVERSIZED WALL PLATES IN LIEU OF MEETING THIS REQUIREMENT.
- L. INSTALL BLANK WALL PLATES ON JUNCTION BOXES AND ON OUTLET BOXES WITH NO WIRING DEVICES INSTALLED OR DESIGNATED FOR FUTURE USE.

INTERIOR LIGHTING

PART 1 PRODUCTS

1.01 LUMINAIRE TYPES

A. FURNISH PRODUCTS AS INDICATED IN LUMINAIRE SCHEDULE INCLUDED ON THE DRAWINGS.

1.02 LUMINAIRES

- A. PROVIDE PRODUCTS THAT COMPLY WITH REQUIREMENTS OF NFPA 70 AND NFPA 101.
- B. PROVIDE PRODUCTS THAT ARE LISTED AND LABELED AS COMPLYING WITH UL 1598, WHERE APPLICABLE.
- C. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.
- D. UNLESS OTHERWISE INDICATED, PROVIDE COMPLETE LUMINAIRES INCLUDING LAMP(S) AND ALL SOCKETS, BALLASTS, REFLECTORS, LENSES, HOUSINGS AND OTHER COMPONENTS REQUIRED TO POSITION, ENERGIZE AND PROTECT THE LAMP AND DISTRIBUTE THE LIGHT.
- E. UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE ALL REQUIRED CONDUIT, BOXES, WIRING, CONNECTORS, HARDWARE, SUPPORTS, TRIMS, ACCESSORIES, ETC. AS NECESSARY FOR A COMPLETE OPERATING SYSTEM.
- F. PROVIDE PRODUCTS SUITABLE TO WITHSTAND NORMAL HANDLING, INSTALLATION, AND SERVICE WITHOUT ANY DAMAGE, DISTORTION, CORROSION, FADING, DISCOLORING, ETC.
- G. LED LUMINAIRES:
- COMPONENTS: UL 8750 RECOGNIZED OR LISTED AS APPLICABLE.
  - TESTED IN ACCORDANCE WITH IES LM-79 AND IES LM-80.
  - LED ESTIMATED USEFUL LIFE: MINIMUM OF 50,000 HOURS AT 70 PERCENT LUMEN MAINTENANCE, CALCULATED BASED ON IES LM-80 TEST DATA.
- 1.03 BALLASTS AND DRIVERS
- A. BALLASTS/DRIVERS – GENERAL REQUIREMENTS:
- PROVIDE BALLASTS CONTAINING NO POLYCHLORINATED BIPHENYLS (PCBS).
  - MINIMUM EFFICIENCY/EFFICACY: PROVIDE BALLASTS COMPLYING WITH ALL CURRENT APPLICABLE FEDERAL AND STATE BALLAST EFFICIENCY/EFFICACY STANDARDS.
- B. DIMMABLE LED DRIVERS:
- DIMMING RANGE: CONTINUOUS DIMMING FROM 100 PERCENT TO ONE PERCENT RELATIVE LIGHT OUTPUT UNLESS DIMMING CAPABILITY TO LOWER LEVEL IS INDICATED, WITHOUT FLICKER.
  - CONTROL COMPATIBILITY: FULLY COMPATIBLE WITH THE DIMMING CONTROLS TO BE INSTALLED.
- 1.04 ACCESSORIES
- A. STEMS FOR SUSPENDED LUMINAIRES: STEEL TUBING, MINIMUM 1/2" SIZE, FACTORY FINISHED TO MATCH LUMINAIRE OR FIELD-PAINTED AS DIRECTED.
- B. THREADED ROOF FOR SUSPENDED LUMINAIRES: ZINC-PLATED STEEL, MINIMUM 1/4" SIZE, FIELD-PAINTED AS DIRECTED.
- C. PROVIDE ACCESSORY PLASTER FRAMES FOR LUMINAIRES RECESSED IN PLASTER CEILINGS.

PART 2 EXECUTION

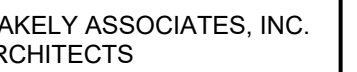
2.01 INSTALLATION

- A. PERFORM WORK IN ACCORDANCE WITH NECA 1 (GENERAL WORKMANSHIP).
- B. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- C. INSTALL LUMINAIRES SECURELY, IN A NEAT AND WORKMANLIKE MANNER, AS SPECIFIED IN NECA 500 (COMMERCIAL LIGHTING) AND NECA 502 (INDUSTRIAL LIGHTING).
- D. INSTALL LUMINAIRES PLUMB AND SQUARE AND ALIGNED WITH BUILDING LINES AND WITH ADJACENT LUMINAIRES.
- E. SUSPENDED CEILING MOUNTED LUMINAIRES:
- DO NOT USE CEILING TIE-LS TO BEAR WEIGHT OF LUMINAIRES.
  - DO NOT USE CEILING SUPPORT SYSTEM TO BEAR WEIGHT OF LUMINAIRES UNLESS CEILING SUPPORT SYSTEM IS CERTIFIED AS SUITABLE TO DO SO.
  - SECURE SURFACE-MOUNTED AND RECESSED LUMINAIRES TO CEILING SUPPORT CHANNELS OR FRAMING MEMBERS OR TO BUILDING STRUCTURE.
  - SECURE PENDANT-MOUNTED LUMINAIRES TO BUILDING STRUCTURE.
  - SECURE LAY-IN LUMINAIRES TO CEILING SUPPORT CHANNELS USING LISTED SAFETY CLIPS AT FOUR CORNERS.
- F. RECESSED LUMINAIRES:
- INSTALL TRIM TIGHT TO MOUNTING SURFACE WITH NO VISIBLE LIGHT LEAKAGE.
- G. SUSPENDED LUMINAIRES:
- INSTALL USING THE SUSPENSION METHOD INDICATED, WITH SUPPORT LENGTHS AND ACCESSORIES AS REQUIRED FOR SPECIFIED MOUNTING HEIGHT.
  - UNLESS OTHERWISE INDICATED, SUPPORT PENDANTS FROM SWAGEL HANGERS.
- H. INSTALL ACCESSORIES FURNISHED WITH EACH LUMINAIRE.
- I. BOND PRODUCTS AND METAL ACCESSORIES TO BRANCH CIRCUIT EQUIPMENT GROUNDING CONDUCTOR.
- J. EMERGENCY LIGHTING UNITS:
- UNLESS OTHERWISE INDICATED, CONNECT UNIT TO UNSWITCHED POWER FROM SAME CIRCUIT FEEDING NORMAL LIGHTING IN SAME ROOM OR AREA. BYPASS LOCAL SWITCHES, CONTACTORS, OR OTHER LIGHTING CONTROLS.
- K. EXIT SIGNS:
- UNLESS OTHERWISE INDICATED, CONNECT UNIT TO UNSWITCHED POWER FROM SAME CIRCUIT FEEDING NORMAL LIGHTING IN SAME ROOM OR AREA. BYPASS LOCAL SWITCHES, CONTACTORS, OR OTHER LIGHTING CONTROLS.
- L. UNLESS OTHERWISE INDICATED, CONNECT UNIT TO UNSWITCHED POWER FROM SAME CIRCUIT FEEDING NORMAL LIGHTING IN SAME ROOM OR AREA. BYPASS LOCAL SWITCHES, CONTACTORS, OR OTHER LIGHTING CONTROLS.

2.02 CLOSEOUT ACTIVITIES

- A. JUST PRIOR TO SUBSTANTIAL COMPLETION, REPLACE ALL LAMPS THAT HAVE FAILED.





500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
T: 586.573.4100  
F: 586.573.0822  
www.WakelyAIA.com

FIRST BAPTIST CHURCH OF FARMINGTON  
333400 SHIAWASSEE ST., FARMINGTON, MI 48335

NEW WORK FLOOR PLAN

PRELIMINARY	<input type="checkbox"/>
DESIGN DEVELOPMENT	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
FINAL RECORD	<input type="checkbox"/>

DRAWN BY DCW/JMW  
 CHECKED BY DCW/BS

#### REVISIONS

DATE: JUNE 27, 2025
SHEET NO.

# AL1.0

B NO. 232004

PLANTING SCHEDULE							
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING (O.C.)	ROOT	REMARKS
A	6	THUJA OCCIDENTALS	EMERALD GREEN ARBORVITAE	3'-0"	3'-0" MIN.	-	-
B	2	QUERCUS X WAREI 'NADLER	KINDRED SPIRIT OAK	25'-0"	25'-0" MIN.	-	-



---

## Sec. 35-53. Nonresidential Design Requirements.

For the review and approval of all nonresidential developments, except in the CBD, including new construction, expansions, renovations and facade changes in accordance with section [35-]162, uses subject to site plan approval [review], the planning commission, city council and building official shall consider the following standards. These exterior building design standards shall apply to all walls intended for public view from any of the following: the street, alleys used for public access to a business, pedestrian walkways, public parking located to the front side, or rear of the building and adjacent residential areas. Design requirements applicable to development in the CBD are outlined in Article 7, Commercial Districts.

- A. *Building Location and Orientation.* New buildings shall have at least one (1) principal building entrance oriented toward the front lot line.
- B. *Exterior Building Design.*
  - 1. Exterior building walls which can be viewed from public streets or residential uses shall be designed using architectural features with a variety of materials and landscaping (near the building) for at least thirty (30) percent of the wall length, as determined by the planning commission, city council or building official.
  - 2. Windows shall make up at least twenty (20) percent of the exterior wall area facing the principal street(s) from which access is gained.
- C. *Architectural Features.*
  - 1. Architectural features shall include, but are not limited to, the following: recesses, projections, wall insets, arcades, window display areas, awnings, balconies, window projections, landscape structures or other features that complement the design intent of the structure as determined by the planning commission, city council or building official.
  - 2. In addition, a portion of the on-site landscaping shall abut the walls so that the vegetation combined with the architectural features significantly reduce the visual impact of the building mass as viewed from the street. Additional landscaping requirements of this chapter must also be satisfied.
- D. *Building Materials.*
  - 1. The predominant building materials should be materials that are characteristic of Michigan such as brick, decorative tilt-up panels, wood, native stone and tinted/textured concrete masonry units and/or glass products. Highly reflective or metallic tinting of windows shall not be permitted.
  - 2. Other materials, such as smooth-faced concrete block, undecorated tilt-up concrete panels, or prefabricated steel panels should only be used as accents and not dominate the building exterior of the structure.
  - 3. Metal roofs may be allowed if deemed by the planning commission or city council to be compatible with the overall architectural design of the building.
- E. *Signs.* Signs shall be in accordance with Chapter 25, Signs, of the City of Farmington Code. All sign bases shall be constructed of materials compatible with the architecture of the building(s) located on the premises.
- F. *Building and Sign Colors.* Exterior colors shall be of low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors such as neon, metallic or fluorescent for the facade and/or roof of the building are prohibited except as approved by the planning commission for building trim.



---

G. *Roof Design.*

1. Roofs should be designed to reduce the apparent exterior mass of a building, add visual interest and be appropriate to the architectural style of the building.
2. Variations in architectural style are highly encouraged. Visible roof lines and roofs that project over the exterior wall of a building enough to cast a shadow on the ground are highly encouraged, with a minimum overhang of twelve (12) inches.
3. Architectural methods shall be used to conceal flat rooftops and roof-mounted mechanical equipment.
4. Overhanging eaves, sloped roofs and multiple roof elements are highly encouraged.

H. *Customer Entrances.* Clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls and integral planters are highly encouraged.

I. *Community Amenities.* Community amenities such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located adjacent to the primary entrance to the building(s) are highly encouraged.

J. *Natural Features.* Buildings shall be sited to protect existing natural areas such as steep natural grades, trees, significant groupings of healthy vegetation (shrubs and trees) and rock outcroppings. These areas are encouraged to be incorporated into the overall site plan and existing vegetation may be calculated as part of the landscaping requirement if healthy and not damaged during construction.

(Ord. No. C-746-2010, § 1, 4-19-10)



<b>Farmington Planning Commission Staff Report</b>	<b>Council Meeting Date:</b> January 12, 2026	<b>Item Number</b>
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b><u>Agenda Topic:</u></b> Schedule of Public Hearing for the City of Farmington 2025 Master Plan		
<b><u>Proposed Motion:</u></b> Move to schedule a public hearing for the City of Farmington 2025 Master Plan for the March 9, 2026.		
<p><b><u>Background:</u></b></p> <p>The City is required to update its Master Plan every 5 Years. The Master Plan Steering Committee and its consultant, OHM Advisors, have been working diligently to create the updated Master Plan, based on data collection &amp; analysis and public engagement.</p> <p>At its January 12, 2026 meeting, the Commission will hear a presentation by Jennifer Morris, Rachel Bush, and Justin Sprague of OHM Advisors on the 2025 Master Plan. Administration then recommends that the Planning Commission schedule a public hearing for the March 9, 2026 meeting to review any public comment on the plan and to direct Administration to publish the notice.</p> <p>A draft of the 2025 Master Plan is on the project website at:  <a href="https://www.farmingtonforward2025.com/">https://www.farmingtonforward2025.com/</a></p>		
<b><u>Materials:</u></b> Public Hearing Notice Draft		



**CITY OF FARMINGTON  
PLANNING COMMISSION  
43-DAY PUBLIC REVIEW PERIOD  
AND  
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Draft City of Farmington 2025 Master Plan prepared in accordance with State statutory requirements and the City's comprehensive planning program is available for public review. The Plan is available for a 43-day public review period commencing January 12, 2026 and ending March 9, 2026.

The Draft City of Farmington 2025 Master Plan is available for review at Farmington City Hall located at 23600 Liberty Street, Farmington, MI 48335 during regular business hours. Copies are also available for review on the city's website at [www.farmgov.com](http://www.farmgov.com) and on the project website at [www.farmingtonforward2025.com](http://www.farmingtonforward2025.com).

Notice is further given that the Farmington Planning Commission will hold a Public Hearing on Monday, March 9, 2026 at 7:00 p.m. in the Council Chambers located at 23600 Liberty Street, Farmington, MI 48335 to discuss and review the Draft City of Farmington 2025 Master Plan.

All interested residents are encouraged to attend the public hearing to be heard, and any written materials concerning the Draft City of Farmington 2025 Master Plan shall be received and considered.

Christopher M. Weber, Assistant City Manager

Publish: January 18, 2026 Oakland Press



<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission Date:</b> January 12, 2026	<b>Item Number</b>
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b><u>Agenda Topic:</u></b> Public Hearing – 2025 Parks and Recreation Master Plan		
<b><u>Proposed Motion:</u></b>  Move to open the Public Hearing on the 2025 Parks and Recreation Master Plan  Move to close the Public Hearing on the 2025 Parks and Recreation Master Plan		
<b><u>Background:</u></b>  The Planning Commission discussed and reviewed the City of Farmington 2025 Parks and Recreation Master Plan at the December 8, 2025 meeting and scheduled the required public hearing.  The requested action of the Planning Commission at their January 12, 2026 meeting is to hold the required public hearing as scheduled and noticed. Comments will be accepted both by the public attending the public hearing and through advance submission to Administration, including via the City's website.  A draft of the 2025 Parks and Recreation Plan is on the project website at: <a href="https://www.farmingtonforward2025.com/parksandrec">https://www.farmingtonforward2025.com/parksandrec</a>		
<b><u>Materials:</u></b>		



<b>Farmington Planning Commission Staff Report</b>	<b>Planning Commission Date:</b> January 12, 2026	<b>Item Number</b>
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Agenda Topic:</b> 2025 Parks and Recreation Master Plan Review and Recommendation		
<p><b><u>Proposed Motion:</u></b></p> <p>Move to Approve the 2025 Parks and Recreation Master Plan and Forward to City Council for their Approval.</p> <p>Or</p> <p>Move to Approve the 2025 Parks and Recreation Master Plan with the Following Edits and Forward to City Council for their Approval:_____.</p> <p>Or</p> <p>Move to deny approval of the 2025 Parks and Recreation Master Plan because: _____.</p>		
<p><b><u>Background:</u></b></p> <p>The Planning Commission discussed and reviewed the City of Farmington 2025 Parks and Recreation Master Plan at the December 8, 2025 meeting and held the required public hearing at their January 12, 2026 meeting.</p> <p>Based on the review of the Planning Commission of the plan and comments received from the public, Administration is requesting the Planning Commission to approve the plan, approve the plan with edits, or to not approve the plan; and, if the plan is approved, to forward to City Council for “governing body” approval at their January 20, 2026 meeting.</p> <p>A draft of the 2025 Parks and Recreation Plan is on the City’s website at:  <a href="https://www.farmingtonforward2025.com/parksandrec">https://www.farmingtonforward2025.com/parksandrec</a> </p>		
<b><u>Materials:</u></b>		