



## **PLANNING COMMISSION MEETING**

January 12, 2026 – 7:00 p.m.  
City Council Chambers  
23600 Liberty Street  
Farmington, MI 48335

---

### **AGENDA**

- 1. ROLL CALL**
  
- 2. APPROVAL OF ITEMS ON CONSENT AGENDA**
  - A. December 8, 2025 Minutes**
  
- 3. APPROVAL OF REGULAR AGENDA**
  
- 4. UNFINISHED BUSINESS**
  - A. None**
  
- 5. NEW BUSINESS**
  - A. FAÇADE REVIEW – DOWNTOWN OFFICES, 33211 GRAND RIVER**
  - B. SPECIAL LAND USE PUBLIC HEARING – MAKE A CHANGE WELLNESS, 23629 LIBERTY STREET**
  - C. SPECIAL LAND USE – MAKE A CHANGE WELLNESS, 23629 LIBERTY STREET**
  - D. SITE PLAN APPROVAL – FIRST BAPTIST CHURCH OF FARMINGTON, 33400 SHIAWASSEE**
  - E. PRESENTATION OF MASTER PLAN, DOWNTOWN MASTER PLAN, AND PARKS AND RECREATION MASTER PLAN**
  - F. SCHEDULING OF PUBLIC HEARING FOR MASTER PLAN AND DOWNTOWN MASTER PLAN**
  - G. PUBLIC HEARING - 2025 PARKS AND RECREATION MASTER PLAN**
  - H. 2025 PARKS AND RECREATION MASTER PLAN REVIEW AND RECOMMENDATION**
  
- 6. UPDATE - CURRENT DEVELOPMENT PROJECTS**
  
- 7. PUBLIC COMMENT**
  
- 8. PLANNING COMMISSION COMMENTS**

## **9. ADJOURNMENT**

*The City will follow its normal procedures for accommodation of persons with disabilities. Those individuals needing accommodations for effective participation in this meeting should contact the City Clerk (248) 474-5500, ext. 2218 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

FARMINGTON PLANNING COMMISSION PROCEEDINGS  
23600 Liberty Street  
Farmington, Michigan  
December 8, 2025

Chairperson Perrot called the meeting to order in Council Chambers, 23600 Liberty Street, Farmington, Michigan, at 7:00 p.m. on Monday, December 8, 2025.

**ROLL CALL**

Present: Crutcher, Gray, Mantey, Perrot and Westendorf  
Absent: Kmetzo, Majoros

A quorum of the Commission was present.

**OTHER OFFICIALS PRESENT:** Chris Weber, Assistant City Manager; Beth Saarella, City Attorney Brian Belesky, Director of Media, Brian Golden, Director of Media, Audrianna Jordan, OHM Advisors, Jennifer Morris, OHM Advisors Austin Downe, OHM Advisors, Bonnie Murphy, Recording Secretary.

**APPROVAL OF ITEMS ON CONSENT AGENDA**

**A. November 10, 2025 minutes**

MOTION by Crutcher, seconded by Westendorf, to approve the items on the Consent Agenda.

MOTION carried, all ayes.

**APPROVAL OF ITEMS ON REGULAR AGENDA**

MOTION by Crutcher, seconded by Westendorf, to approve the items on the Regular Agenda.

MOTION carried, all ayes.

**UNFINISHED BUSINESS**

None heard.

**NEW BUSINESS**

**A. 33431 Grand River Parking Waiver Request**

Chairperson Perrot introduced this item and turned it over to staff, Assistant City Weber stated that the developer entered into a purchasing agreement with the current owner of 33431 Grand River Avenue and is considering converting the upper part of the building to four to five apartments. . The structure is built lot line to lot line and there's no parking available on site. The Applicant is seeking a parking waiver from the Planning

Commission for the proposed new apartments under Section 35-104.b(3). Because the regulations of this section of the are intended to encourage pedestrian/traffic friendly design and compact mixed used development that requires less reliance on automobiles. On site parking required under Article 14 may be waived under the following conditions: A.. The site is located within 500 feet of other parking facilities intended for public use such as a municipal parking lot, parking structure or on street parking that provides adequate parking spaces to serve the proposed use, and B: failure to provide onsite parking shall be deemed to constitute an acknowledgment and acceptance of the benefits of onsite parking standards such that if the City establishes a Special Assessment District to fund the construction, operation and maintenance of public parking, the property owner agrees to become part of such district and further agrees payment of assessment in lieu of the provided onsite parking .The City may require written acknowledgement of the site benefits provided. I would invite the developer to come up and if you have any questions the Planning Commission may have with regard to this project.

Steve Toth, 810 Pinehurst, Northville, MI came to the podium and stated they are excited for this project, taking the old Focal Point photo studio, making the downstairs a retail/commercial and then transferring the upper which is about 4,500 square feet and putting in some custom apartments. I think it will be a good project for the City and obviously for the heart of the downtown area. But again, one of the biggest issues we have is parking so I guess per City code if we have apartments, we need ten spots, is that correct and that is what we're asking for. I don't need ten dedicated spots but we need ten spots where our tenants can park in the evening and in the day go about their business, I need ten spots and that is what we're asking from you guys tonight.

Weber asked if you have any questions about the development itself, you can ask the developer, otherwise I would ask Audrianna to talk about the letter we put in the packet and talks about considerations for the Planning Commission in terms of granting that waiver.

Audrianna Jordan, OHM Advisors, stated that the property requires about 25 spaces. What the applicant is proposing is using the first floor for either commercial or office development and then put up to five apartments on the second floor. And if that is the case we would be looking at, the Applicant mentioned ten spaces on the second floor under the current provisions of the Zoning Ordinance. She stated that that is the summary.

Further discussion was held concerning parking.

MOTION by Crutcher, supported by Mantey that the parking waiver request for 33431 Grand River Avenue subject to the first floor being used for commercial retail and/or service office business because the proposed use can be adequately supported.  
Motion carried, all ayes

B. Presentation of Farmington Parks and Recreation Master Plan

Chairperson Perrot introduced this item and turned it over to staff.

Jennifer Morris, OHM Advisors , stated it has been a busy year working on three Master Plans simultaneously.to be presented at the Public Hearing scheduled for the 1-12-26 meeting.

She said they kicked this off Farmington Forward, there were many opportunities for data collection, feedback from the Steering Committee, and the first plan has a 43-day waiting period and then if it's adopted by Planning Commission and then turned over to City Council for approval.

Rachel Bush, OHM Advisors, gave an overview of the project. She stated that they started with feedback from the Steering Committee and finalized the draft plan and started the adoption process.

She stated they started by reviewing prior versions and built on that through demographics. Facilities have been added and new parks. Sixty percent of residents live within a ten minute walk to park. Level of service analysis which is used to form the foundation for recommendation through demographics, who lives in Farmington now and in the future. There are shifts in population but Farmington is stable.

She defined the two open houses that were held: OPEN HOUSE 1 – gathered info – provided list of parks, what's missing, feedback further affirmed connectivity - shade picnic areas – walkability.  
Initial comments used to form preliminary recommendations.

OPEN HOUSE 2 – made recommendations for 5 parks and presented to community in October and asked them to tell us what they're most excited about. Ultimately what we heard was activate parks programing, events, fitness amenities, prioritizing greenspaces, and making parks and civic areas more inviting where you are adding equipment making sure it is inclusive and

accessible for all ages and just to make parks more functional and practical and improve and enhance underused public spaces with landscape and public art.

So that is the structure of the Parks and Recs Plan and what we've talked about so far focused on Chapters 1 through 5 and we'll next go into Chapter 6.

We developed the goal statement for the Parks and Recreation Plan and that came from what we heard from community engagement.

From the community engagement and the Steering Committee we developed these five objective statements which support the accomplishments of our goal statements and that is broken down as active items to implement each of these objectives.

The most exciting part is the park specific plans, we developed a series of recommendations for a handful of the parks and all of the parks are in the packet in alphabetical order so I'm going to move through them. We understand that the Civic Theater is beloved by the community and ultimately our recommendation is to start doing some community engagement on facility improvements and concept design.

Drake Park – accessibility improvements, potentially converting a ball field into a cricket pitch, they're exploring that.

Flanders Park – there's an opportunity to increase shade throughout the park, install lighting that is not intrusive to surrounding neighborhood but helps create more safety and more inviting and also although the equipment is relatively new, it could be replaced with shredded rubber in the play area.

Gazebo Park – this one is really important because as we were talking with the Steering Committee, a new vision for this area has been re-imagined. So you'll get a sneak peek of this in the Downtown Master Plan.

Riley Park – we're looking for electrical upgrades, exploring the addition of restrooms to Riley Park, winterizing it through the addition of those rolling black garage doors on the shed. We also heard about some accessibility and safety concerns and could we improve design and circulation be considered there as well as covered parking area that could function as a more permanent shed during events. So, parking wouldn't change, it would be a covered parking area that is accessible to vendors during events.

Promenade Park – the main action here is to determine a calendar of events.

Shiawassee Park is truly the gem of Farmington and recommendations are to connect the park to downtown which is an ongoing effort as well as through community engagement and developing a Master Plan for Shiawassee Park.

For the Warner Mansion, their main objective here is to explore the feasibility of this concept plan which includes parking lot improvements, interior and exterior improvements, and in addition to the existing house the DDA expects gazebo improvements and courtyard improvements.

Jennifer Morris stated after this process we will start the implementation and adoption, and the thirty day review period. The Notice will be published Wednesday, citizens are encouraged to provide comments on website and informed of opportunity on boards. The Public Hearing will be held at the January 12, 2025 Planning Commission and the Master Plan will be ready to go to Council and submitted to DNR by February 1<sup>st</sup>.

Perrot asked about accessibility, how is City of Farmington doing versus like communities and Morris replied Farmington is unique, it has a historic mansion, owned and operated theater visit downtown park and Shiawassee Park.

C. Consideration of Resolution to Schedule Public Hearing for 2025 Parks and Recreation Master Plan

MOTION by Westendorf supported Crutcher to approve to schedule the Public Hearing for the 2025 Parks and Recreation Master Plan for the January 12, 2026 Planning Commission meeting.

Motion carried, all ayes.

D. 2026 Schedule of Planning Commission Meeting

Weber stated that the Planning Commission meetings are held on the 2<sup>nd</sup> Monday of month at 7:00 p.m. .

MOTION by Westendorf, supported by Crutcher to approve the 2026 Schedule of Planning Commission Meetings.

Motion carried, all ayes.

City of Farmington Planning Commission  
December 8, 2025  
Page 6

### **UPDATE CURRENT DEVELOPMENT PROJECTS**

Weber stated at the prior meeting we were going to set a Public Hearing for the Parking Ordinance but it will be back in February.

Legion Square preconstruction meeting today ,Work will start mid January

Hillside Townes – twelve units have been sold and some residents have moved in.

Drakeshire new meat store featuring Halal Meat.

Sips new sports bar – next to Mama Eats

Rose Best opened on Orchard Lake

Back Nine opened which is a golf simulator and open 24/7.

### **PUBLIC COMMENT**

None heard.

### **PUBLIC COMMENT**

None heard.

### **PLANNING COMMISSION COMMENT**

None heard.

### **ADJOURNMENT**

MOTION by Mantey , supported by Gray to adjourn the meeting.  
Motion carried, all ayes.

The meeting was adjourned at 8:04 p.m.

Respectfully submitted,

---

Secretary

Farmington Planning Commission Staff Report	Planning Commission Date: January 12, 2026	Reference Number
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Description</b> Proposed Building Façade Modification – Downtown Offices, 33211 Grand River		
<b>Motion:</b>		
Motion to approve the proposed façade modifications for Downtown Offices, 33211 Grand River because they meet the requirements of Section 35-104 of the Zoning Ordinance subject to the conditions described in the Façade Review Letter from OHM dated January 6, 2026.		
OR		
Move to approve the proposed façade modifications for Downtown Offices, 33211 Grand River because they meet the requirements of Section 35-104 of the Zoning Ordinance subject to the conditions described in the Façade Review Letter from OHM dated January 6, 2026 as well as the following modifications _____.		
OR		
Move to deny the proposed façade modifications for Downtown Offices, 33211 Grand River because they do not meet the requirements of Section 35-104 of the Zoning Ordinance		
<b>Background</b>		
This item is a review of a proposed Building Façade Modification to the existing building located at 33211 Grand River. The proposed modification includes renovation of the north façade, modernizing the building's look without expanding the footprint, replacing dated elements, and improving curb appeal in order to support future tenant recruitment.		
Site Plan Review is required under Section 35-162 Building renovations, modifications to building facade or other architectural features that do not result in additions to floor area or increased building height. Building facades in the Central Business District are reviewed for compliance with the standards set forth in Section 35-104 of the Zoning Ordinance.		
The applicant, Downtown Offices, has submitted plans prepared by NCS Team for the proposed Building Façade Modification.		
The applicant will be at the January 12, 2026 meeting to review the proposed Building Façade Modification with the Commission.		
Attached are the Nonresidential Building Design Standards to be considered by the Planning		

Commission.

Attachments:

- Plan Review Letter Dated January 6, 2026
- Site Plan, Elevation Plan, and Photometric Plan
- DDA Design Committee 12.18.25 Draft Minutes
- Zoning Ordinance Section 35-104 – Central Business District—Nonresidential and Mixed-Use Development Requirements



# City of Farmington Façade Review

**Date:** January 6, 2026

**To:** Chris Weber, Assistant City Manager  
**cc:** Jennifer Morris, Principal, OHM  
**From:** Kristen Hatfield, Senior Planner, OHM

**Re:** 33211 Grand River Avenue, Farmington, MI 48336

**Subject: 33211 Grand River Avenue (Façade Review)**

**Location: 33211 Grand River Avenue**

**Parcel ID: 20-23-27-155-046**

**Zoning: CBD, Central District**

**Applicant(s) and Owner(s): Downtown Offices, LLC**

At the City of Farmington's request, OHM Advisors has performed a review of the above-referenced façade improvements and offers the following comments and findings for your consideration. This review is based on the revised site plan dated December 22, 2025.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to City site plan and ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation. Key review items in this letter are underlined for the benefit of the applicant.

## SITE DESCRIPTION

The site consists of one (1) parcel and is located on the south side of Grand River Avenue, east of Farmington Roads and west of Grove Street. Online assessing states that 31030 Grand River Avenue is approximately 24,654 square feet with a frontage on Grand River Avenue of 130'. The site is home to Farmington Insurance Agency (formerly Clappison and Conroy), an insurance office. The site plan application indicates that the owner of the site is "Downtown Offices" which is confirmed by online assessing records.

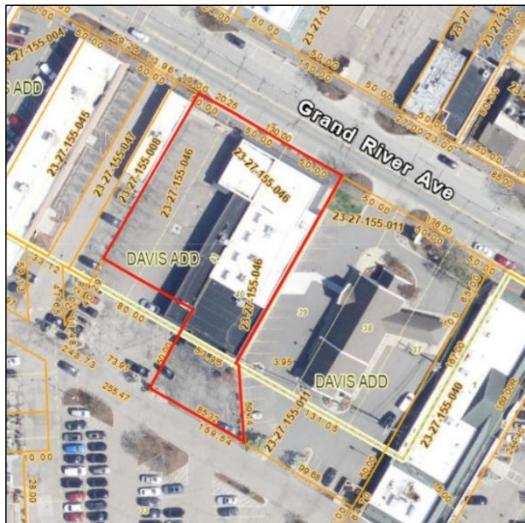
## EXHIBIT A: AERIAL VIEW OF SITE

**OHM Advisors®**

1145 GRISWOLD STREET, SUITE 200  
DETROIT, MICHIGAN 48226

T 313.481.1250

OHM-Advisors.com



#### EXHIBIT B: STREET VIEW (EXISTING)



#### REVIEW COMMENTS

- Zoning and Use (§35-102).** The site is in the CBD, Central Business District and is bordered on all sides by parcels in the CBD District. "Professional offices and service establishments" are permitted by right in the CBD District; an office for an insurance agency would be classified under this designation.
- Nonresidential and Mixed-Use Development Requirements in the CBD District (§35-104).** Any development or modification to a building in the CBD that requires Planning Commission approval under *Article 13, Site Plan Review*, shall be first reviewed by the DDA Design Committee prior to being placed on the agenda for final site plan approval by the Planning Commission. The DDA Design Committee shall review the site plan and building architecture for compliance with the requirements of this section and provide a recommendation to the Planning Commission. We note that the City of Farmington Downtown Development Authority Design Committee recommended approval of the façade improvements, conditioned upon the applicant providing further information at their December 17, 2025, meeting. The applicant submitted a revised site plan dated December 22, 2025, which contains the requested information.



- a. **Area and Bulk Requirements.** As this is an existing structure which is not being expanded, area and bulk requirements are not included as part of this review.
- b. **Pedestrian-Oriented Design Requirements.** The site appears to be designed to promote safe and effective pedestrian and transit-oriented circulation on-site.
- c. **Building Design.**
  - i. **Purpose.** The façade improvements as presented appear to meet the purpose of the ordinance.
  - ii. **Main Entrance.** The elevations show entrance(s) that are located on the Grand River Avenue street front. Additionally, entrances have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas. We note that while the ordinance requires a front entranceway that is inset a minimum of three (3) feet from the front building wall, this is an existing nonconforming structure.
  - iii. **Roofs.** The applicant proposes to demolish portions of the existing roof and construct one that appears to be flat from the street with a small parapet, bringing it into conformance with the ordinance. We note that all rooftop-mounted equipment should be screened from view on all sides of the building; if any rooftop-mounted equipment is proposed it be shown on the site plan, along with method of screening.
  - iv. **Awnings.** The awnings as detailed on the elevations meet the standards of the ordinance. If any signage is proposed for the awnings, it must conform to the ordinance and the applicant will be required to obtain any necessary permits.
  - v. **Required Window Area and Exterior Finishes.**
    - 1. **Windows.** Facades facing a public street or sidewalk shall include windows that equal seventy (70) percent of the wall area measured between two (2) feet and eight (8) feet above grade. The bottom of any window may not be more than four (4) feet above grade. The façade as presented meets the standards of the ordinance. We note that required window areas shall consist of clear glass windows, clear glass doors and clear glass panels, and may not be covered or blocked with the back of shelving units
    - 2. **Exterior Finish Materials.**

Required	Proposed	Comment
Wall shall be constructed of at least seventy-five (75) percent modular brick or stone.	Eight-three (83) percent of the proposed façade is brick.	<b>Meets the intent of the ordinance.</b>
Up to twenty-five (25) percent of the remaining wall area may include other materials.	Seventeen (17) percent of the proposed façade is EFIS, an accent material permitted by the ordinance.	<b>Meets the intent of the ordinance.</b>

The EFIS panels will be painted SW 7006 "Pure White", and the existing brick will be painted SW 7018 "Dovetail".

- 3. **Exterior Lighting (§35-48).** The applicant provided a photometric plan as part of the site plan submittal. The intensity of lighting on the site, as well as the proposed fixtures meet the intent of the ordinance.
- 4. **Site Plan Submittal Requirements (§35-165).** The applicant has provided a description of exterior building materials including paint colors. Material samples should be presented to the Planning Commission for their review and approval.
- 5. **Comments from Other Departments.** All applicable City departments and consultants should review the site plan and identify any remaining issues.



## RECOMMENDATION

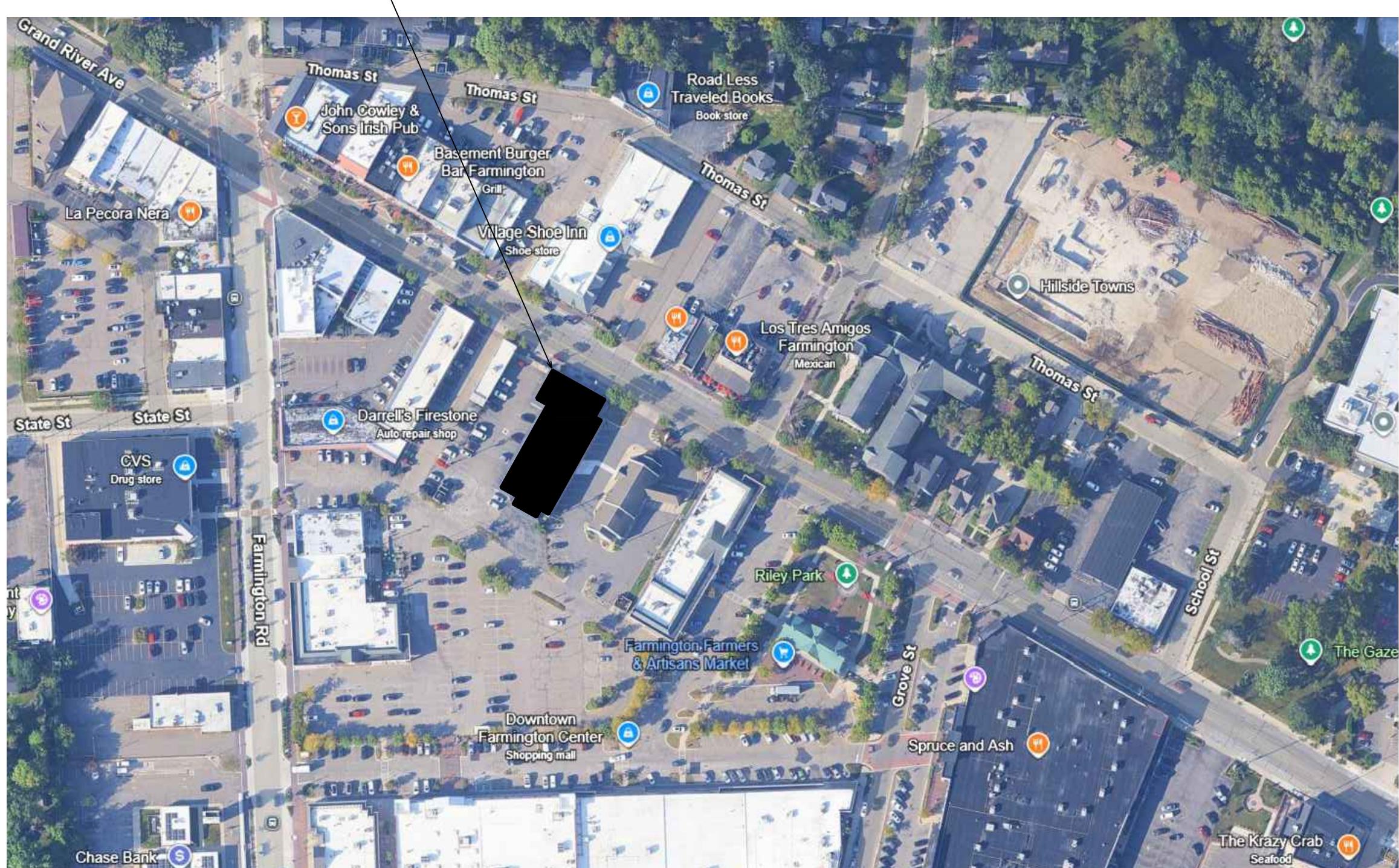
Planning recommends approval of the site plan subject to the following conditions:

- 1. Nonresidential and Mixed-Use Development Requirements in the CBD District (§35-104).** If any rooftop-mounted equipment is proposed, it should be shown on the site plan along with method of screening.
- 2. Nonresidential and Mixed-Use Development Requirements in the CBD District (§35-104).** All required window areas shall consist of clear glass windows, clear glass doors and clear glass panels.
- 3. Site Plan Submittal Requirements (§35-165).** The applicant should provide material samples to the Planning Commission for their review and approval.

If you have any questions, please don't hesitate to contact me at (810) 215-0993.

Thank you,

Kristen Hatfield, AICP  
Senior Planner

**AREA OF CONSTRUCTION**

SCALE: NTS

**LIST OF DRAWINGS**

- 1 SITE PLAN
- S-1 ARCHITECTURAL SITE PLAN, LOCATION MAP
- A-1 DEMOLITION FLOOR PLAN, PARTITION FLOOR PLAN
- A-2 DEMOLITION ELEVATIONS
- A-3 PROPOSED ELEVATIONS
- A-4 3D RENDERINGS

**LEGAL DESCRIPTION**

THE LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

T1N, R9E, SEC 27 LAPHAMS ADD PART OF LOT 33 BEGINNING AT SOUTHEAST CORNER OF LOT 41, BLOCK 1 OF 'DAVIS ADD', THENCE SOUTH 57 DEGREES 15 MINUTES 00 SECONDS EAST 53.95 FEET, THENCE SOUTH 00 DEGREES 33 MINUTES 00 SECONDS WEST 59.14 FEET, THENCE NORTH 57 DEGREES 15 MINUTES 00 SECONDS WEST 85.32 FEET, THENCE NORTH 32 DEGREES 32 MINUTES 00 SECONDS EAST 50.00 FEET TO BEGINNING, ALSO ALL OF LOT 40, ALSO LOT 41 EXC SOUTHWESTERLY 12.00 FEET, ALSO EAST 30.00 FEET OF LOT 42 EXCEPT SOUTHWESTERLY 12.00 FEET BLOCK 1 OF 'DAVIS ADD'.

**NET ACREAGE**

.566 ACRES

**PARKING REQUIREMENTS**

BUSINESS USE - 4 SPACES PER 1,000 SF OF LEASABLE AREA  
 8,444 LEASABLE AREA = 34 PARKING SPACES REQUIRED  
 34 PARKING SPOTS PROVIDED INCLUDING 2 HANDICAP SPOTS

**CODE ANALYSIS**

## ARCHITECT INFO

NAME: DONALD J SCHEIBLE  
 LICENSE NUMBER: 1301018960  
 EXPIRATION DATE: 01-01-27  
 EMAIL: DSCHEIBLE@SCHEIBLEASSOCIATES.COM

## REVIEW CODE

2021 MICHIGAN REHABILITATION CODE FORE EXISTING BUILDINGS LEVEL 2  
 2021 MICHIGAN MECHANICAL CODE  
 2021 MICHIGAN PLUMBING CODE  
 2023 NATIONAL ELECTRIC CODE  
 2021 MICHIGAN ENERGY CODE INCLUDING ASHRAE 90.1-2013  
 2009 ICC/ANSI A11.1 STANDARD FOR ACCESSIBLE BUILDINGS & FACILITIES

ZONE  
 TOTAL FLOORS IN BLDG.  
 USE GROUP  
 TYPE OF CONSTRUCTION

CENTRAL BUSINESS DISTRICT  
 1  
 "B" BUSINESS  
 TYPE II-B

ARCHITECT:  
**Scheible & Associates  
 L.L.C.**

46 Kensington Blvd.  
 Pleasant Ridge, MI 48069  
 (248) 797-9890  
 scheibleassociates.com

DRAWN BY:



**NCS TEAM**  
 One Towne Square  
 Suite 150  
 Southfield, MI 48076  
 Tel: 989-992-6179  
 www.ncs-team.com  
 Josh@NCS-Team.com

**BUILDING RENOVATION**  
 33211 GRAND RIVER AVE  
 FARMINGTON, MI 48336

ISSUED FOR:  
 SITE PLAN APPROVAL  
 11-04-25

SEAL:



**ARCHITECTURAL SITE PLAN**  
 NORTH  
 SCALE: 1/16" = 1'-0"

SHEET#

S-1

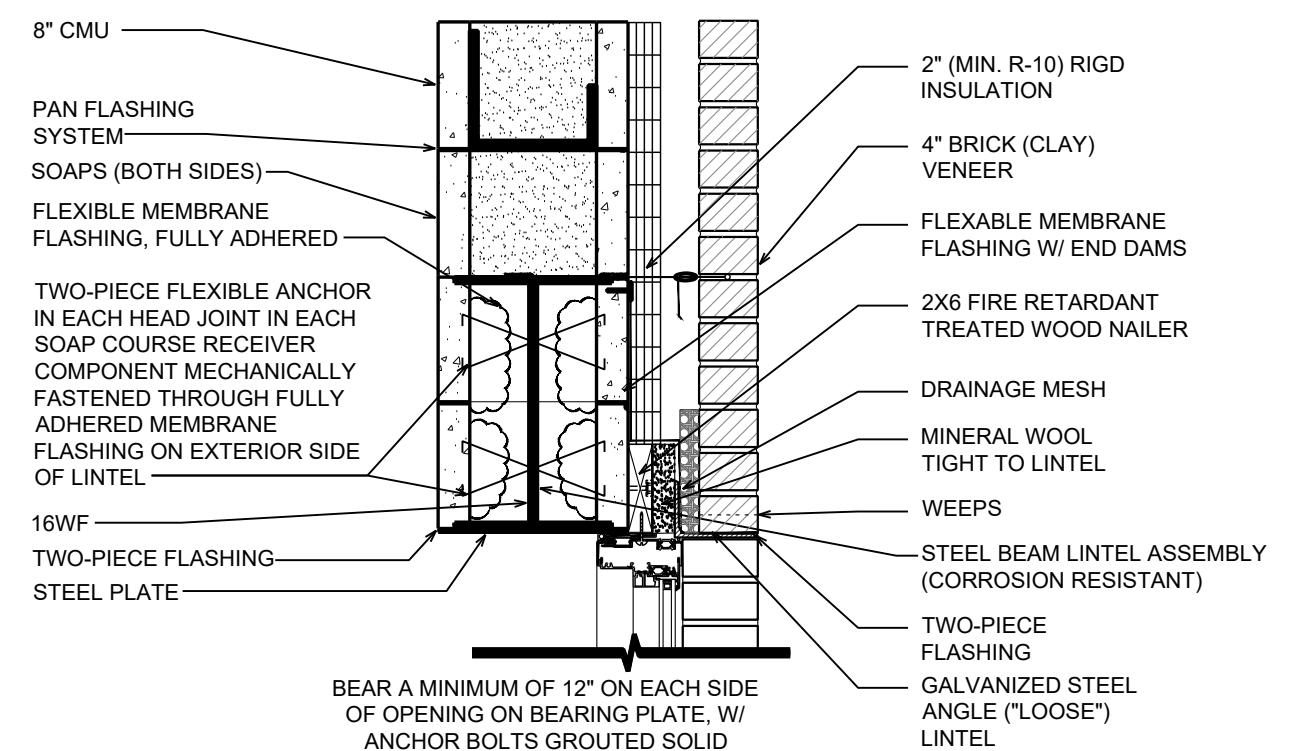
DATE:  
 JOB#

**NOT FOR CONSTRUCTION**



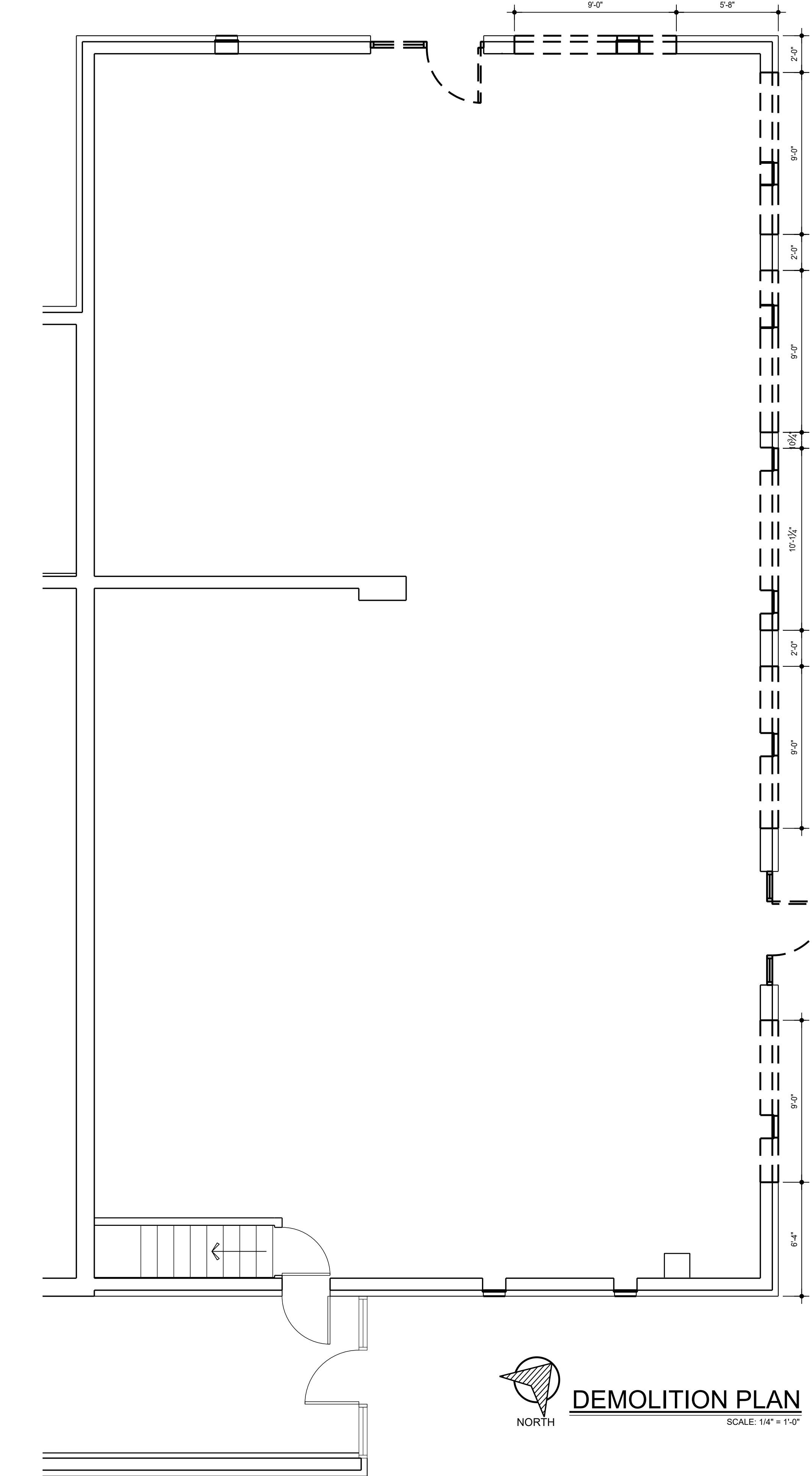
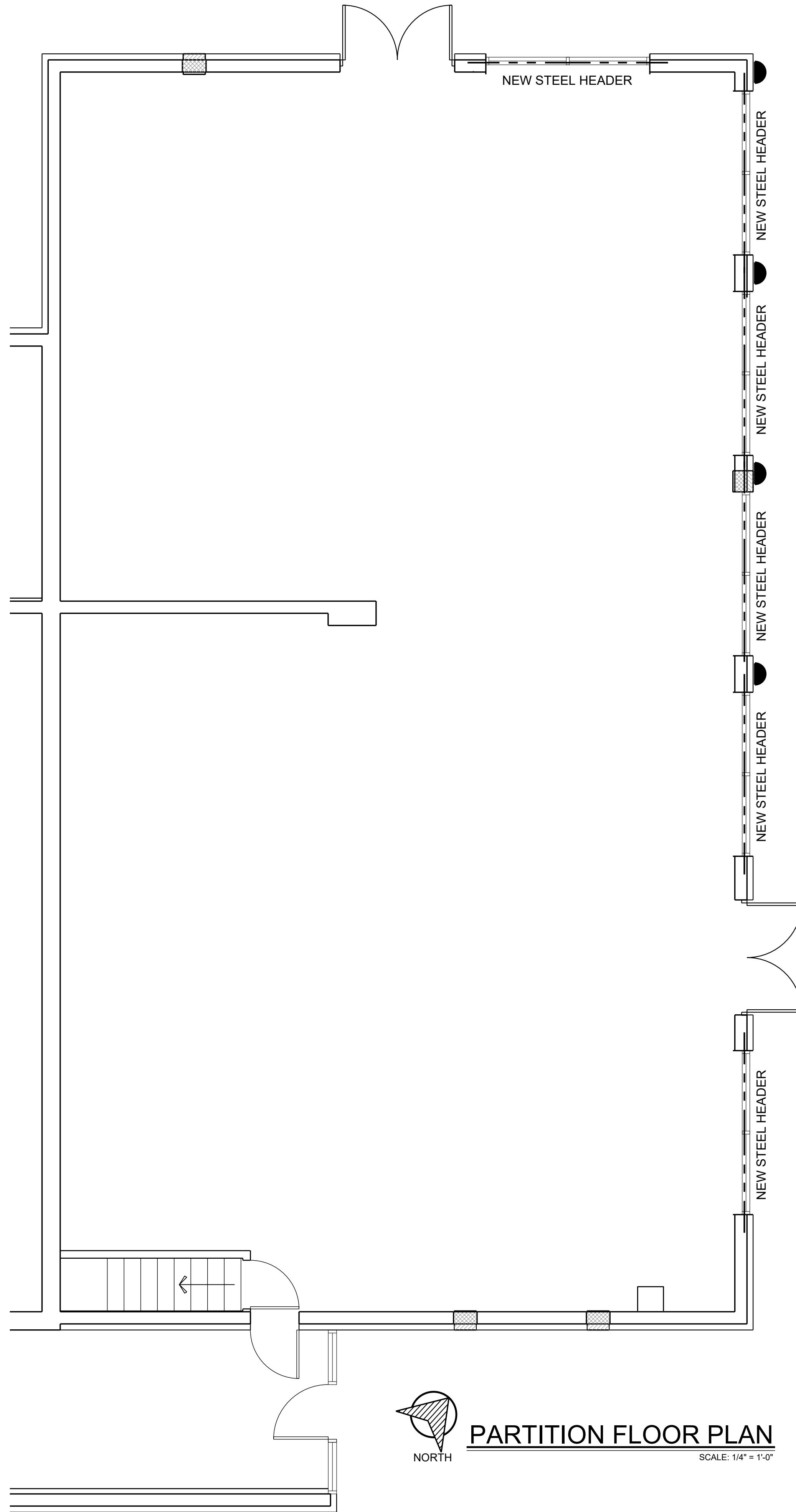
PARTITION LEGEND	
	EXISTING PARTITION TO BE REMOVED. PATCH & REPAIR ALL FLOORS, WALLS, COLUMNS ENCLOSURES & CEILING AS REQ'D (TYP.)
	EXISTING PARTITION OR PERIMETER WALL TO REMAIN
	NEW 8" CMU BLOCK (MATCH WALL THICKNESS WHERE ALIGNING W/ EXISTING WALL)
	NEW 4" BRICK, MATCH EXISTING (MATCH WALL THICKNESS WHERE ALIGNING W/ EXISTING WALL)

NEW REFLECTED CEILING LEGEND	
	NEW / RELOCATED WALL SCONCE



NEW STEEL LINTEL DETAIL

SCALE: 1" = 1'-0"

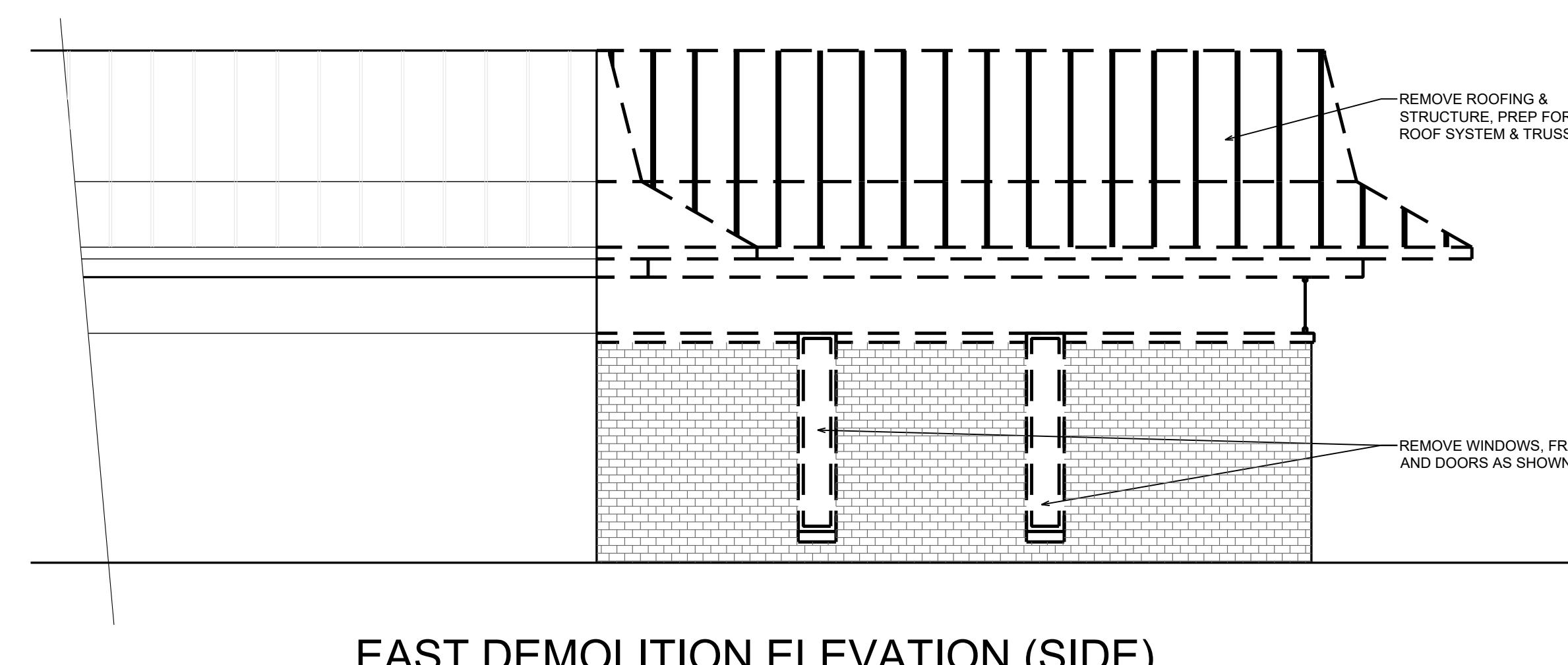
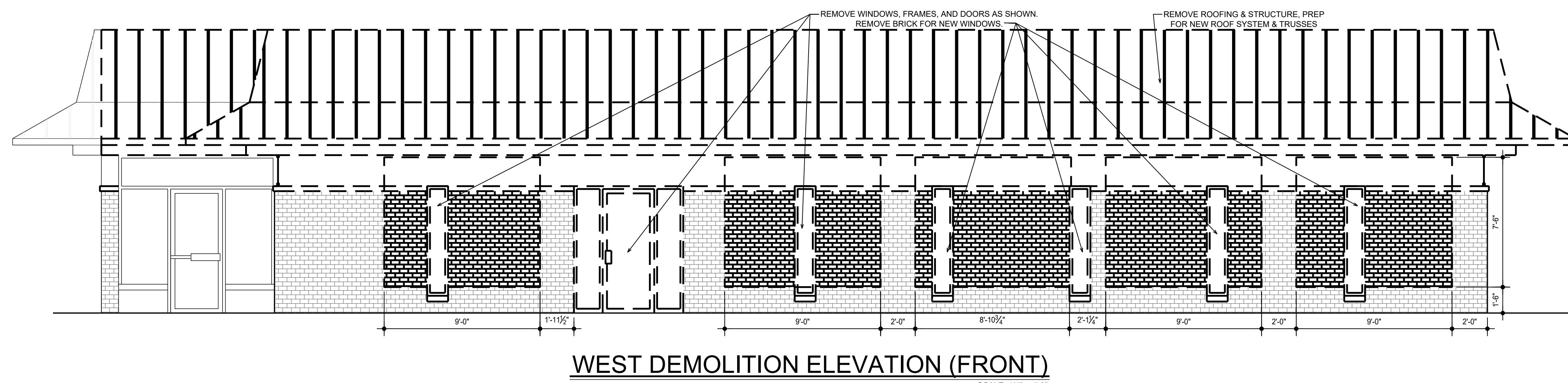
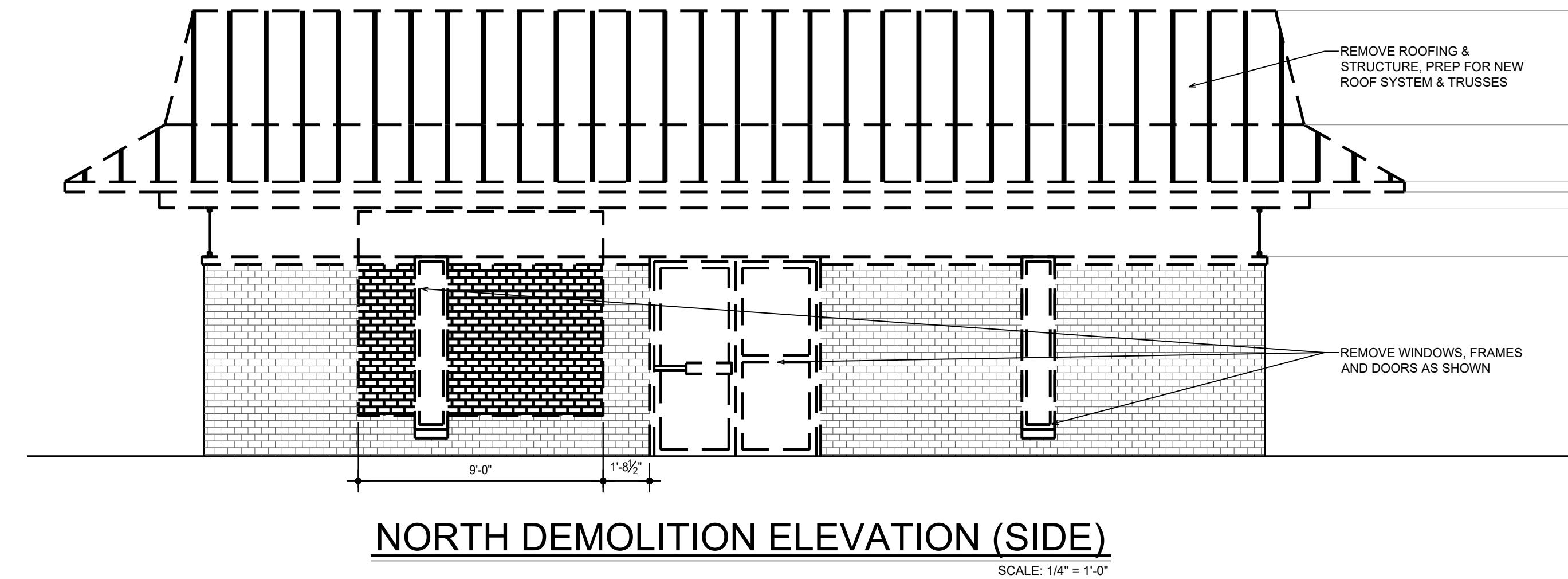


**NOT FOR CONSTRUCTION**



**NCS TEAM**  
 One Towne Square  
 Suite 150  
 Southfield, MI 48076  
 Tel: 989-992-6179  
 www.ncs-team.com  
 Josh@NCS-Team.com

**BUILDING RENOVATION**  
 33211 GRAND RIVER AVE  
 FARMINGTON, MI 48336



ISSUED FOR:  
 SITE PLAN APPROVAL  
 11-04-25

SEAL:



SHEET# A-2  
 DATE:  
 JOB#

**NOT FOR CONSTRUCTION**



EFIS PANELS PAINTED PURE WHITE SW 7005  
20'-4"

NEW METAL FLASHED OVERHANG TIED TO BUILDING WITH METAL CABLES

NEW DRYVIT PANELS

NEW SAFETY GLASS WINDOWS IN BLACK FRAMES

NEW STOREFRONT DOORS

EXISTING BRICK TO BE PAINTED

NEW FLASHING

DARKER HATCH IS SHOWING NEW PAINTED BRICK, EXISTING BRICK TO BE PAINTED DOVETAIL SW 7018

NEW BRICK 9-6½"

EXISTING BRICK 7-0½"

±16'-7"

±17'-7"

**NEW NORTH ELEVATION (SIDE)**

SCALE: 1/4" = 1'-0"

## NEW NORTH ELEVATION (SIDE)

SCALE: 1/4" = 1'-0"

Architectural cross-section diagram of a building facade, showing the exterior wall construction, windows, and roof details. The diagram illustrates the following components and dimensions:

- Overall Width:** 20'-4"
- Brickwork:** NEW BRICK 9'-8 1/2" high, with EXISTING BRICK TO BE PAINTED on the left side.
- Windows:** NEW SAFETY GLASS WINDOWS IN BLACK FRAMES are shown in various locations, including a row of four windows on the left storefront and multiple windows along the main facade.
- Doors:** NEW STOREFRONT DOORS are indicated on the left side.
- Roof:** The roof features EFIS PANELS PAINTED PURE WHITE SW 7005, supported by a NEW METAL OVERHANG. NEW FLASHING is used to seal the roof edge.
- Lighting:** NEW WALL MOUNTED LIGHTING is installed along the roofline.
- Brickwork on the Right:** EXISTING BRICK TO BE PAINTED is shown on the far right, with NEW BRICK 7'-0 1/2" high and 9'-0" wide.
- Dimensions:** Vertical dimensions include 11'-0", 16'-7", 2'-0", 8'-0", 17'-7", and 9'-4". Horizontal dimensions include 1'-0", 6'-0", and 7'-7".

Annotations provide specific details for certain elements:

- NEW DRYVIT PANELS are shown on the left side.
- NEW METAL OVERHANG, SUPPORT CABLES AS NEED is indicated for the roof overhang.
- NEW WALL MOUNTED LIGHTING is shown along the roofline.
- DARKER HATCH IS SHOWING NEW PAINTED BRICK, EXISTING BRICK TO BE PAINTED is indicated on the right side.
- NEW LIGHTING 6'-5" is shown on the right side.

## NEW WEST ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"

480 SF OF BUILDING FACADE  
360 SF OF WINDOWS  
75% GLASS ON FACADE  
BETWEEN 2' & 8'

DRYVIT PERCENTAGE ON  
BUILDING  
WHOLE FACADE 1,347 SF  
SQ FT OF DRYVIT 233 SF  
17% OF FACADE IS DRYVIT

# BUILDING RENOVATION

33211 GRAND RIVER AVE  
FARMINGTON, MI 48336

ISSUED FOR:  
SITE PLAN APPROVAL  
11-04-25  
REVISION 1  
12-22-25

SEA :



SHEE

A

DATE: \_\_\_\_\_

JOB#

# NOT FOR CONSTRUCTION

A-3



**NCS TEAM**  
One Towne Square  
Suite 150  
Southfield, MI 48076  
Tel: 989-992-6179  
www.ncs-team.com  
Josh@NCS-Team.com



**BUILDING RENOVATION**  
33211 GRAND RIVER AVE  
FARMINGTON, MI 48336

ISSUED FOR:  
SITE PLAN APPROVAL  
11-04-25



**NOT FOR CONSTRUCTION**



## DDA Design Committee Meeting

7:30 am December 17, 2025

Farmington, MI 48335

### Minutes

**The meeting was called to order at 7:32 AM by Claire Perko.**

#### **1. Attendance**

Present: Claire Perko, Steve Schneemann, Brian Golden, Ken Crutcher, Brett Budnik

Others Present: Jess Westendorf, Jenny Gray, Pat Donnelly (FIA), and Dave Przygoda (DNS Contractors)

#### **2. Approve October 30, 2025 Design Committee Minutes**

##### **Approval of Minutes**

The minutes of the **October 30, 2025** Design Committee meeting were approved unanimously on a motion by Golden, seconded by Schneemann.

#### **3. 33211 Grand River (Farmington Insurance Agency) Review**

The committee conducted a preliminary design review for façade improvements at 33211 Grand River. The applicant team explained that the intent is to modernize the building's north façade without expanding the footprint, replacing dated elements and improving curb appeal to support future tenant recruitment. Committee discussion focused on ordinance alignment and submittal clarity—particularly confirmation of façade material selections, color specifications, and compliance calculations for required window/door coverage within the specified height band. The committee also discussed property-line/sidewalk depiction discrepancies in submitted drawings and noted the importance of documenting easements or explaining conditions where existing constraints affect compliance.

Committee agreed to recommend approval to the Planning Commission, contingent upon the applicant providing clearer documentation (including colors, material percentages, and compliance calculations) consistent with the design intent presented.

#### **4. 33211 Grand River Façade Grant Review**

The committee reviewed the associated façade grant request and discussed the DDA's annual grant allocation and reimbursement structure, including timing considerations relative to the fiscal year and permitting/construction schedule. Committee members noted the project's value as a meaningful exterior improvement, while also acknowledging it as an incremental upgrade compared to broader long-range redevelopment concepts referenced in ongoing planning discussions. The committee agreed to support the application and defer the final award amount to the DDA Board based on overall program capacity and other potential requests.

## **Motions**

A motion was made by Golden and seconded by Crutcher to recommend that the DDA Board approves the façade grant application and leave the determination of the grant dollar amount to the DDA Board. The motion carried unanimously.

## **5. Sign Advisory Review**

### **a. Farmington Jewelers**

The committee reviewed the sign proposal and noted limited information was provided in the materials available at the meeting. The committee's advisory feedback emphasized simplifying the sign content—specifically recommending removal of additional promotional text ("Jewelry Repairs, Custom Designs, we buy gold") in favor of a cleaner presentation focused on the business name and logo, moved to the right side. The committee also requested additional specifications (materials, colors, and whether lighting is internal) to support informed review.

### **b. Famous Hamburgers**

The committee reviewed the proposed signage for Famous Hamburgers, including two sign faces for the corner location. Staff noted the applicant was already being asked to reduce signage to meet ordinance requirements 7-10%. The committee recommended approval of the sign design subject to the ordinance-driven size reduction and with the explicit understanding that the business would be "maxed out" on allowable signage and therefore should not anticipate additional window decals beyond what is permitted under the final calculation.

## **6. Famous Hamburgers Sign Grant Review**

The committee discussed eligibility under the sign grant program parameters discussed during the meeting. The committee recommended approval of the sign design subject to the ordinance-driven size reduction and with the explicit understanding that the business would be "maxed out" on allowable signage and therefore should not anticipate additional window decals beyond what is permitted under the final calculation.

## **Motion**

A motion was made by Perko and seconded by Golden to recommend that the DDA Board approve the Famous Hamburgers sign grant, with the final grant amount to be determined by the DDA Board. The motion carried unanimously.

## **7. Other Business**

Perko noted that the committee will be developing its work plan for the coming year and will discuss the Design Committee's role, priorities, and potential new members at an upcoming meeting. Staff also raised a related citywide collaboration topic: the Corridor Improvement Authority (CIA) expressed interest in receiving design input, and the committee discussed the concept of addressing CIA items following DDA business during meetings, with appropriate separation between agendas and participation from corridor representatives.

#### **8. Adjournment**

The meeting was adjourned at **8:43 AM**.

---

## Sec. 35-104. Central Business District—Nonresidential and Mixed-Use Development Requirements.

The following regulations shall apply to all nonresidential buildings and "mixed use" buildings, which are those that contain nonresidential uses on the first floor and residential above the first floor. Any development or modification to a building in the CBD that requires planning commission approval under Article 13, Site Plan Review, shall be first reviewed by the DDA design committee prior to being placed on the agenda for final site plan approval by the planning commission. The DDA design committee shall review the site plan and building architecture for compliance with the requirements of this section and provide a recommendation to the planning commission.

### A. Area and Bulk Requirements.

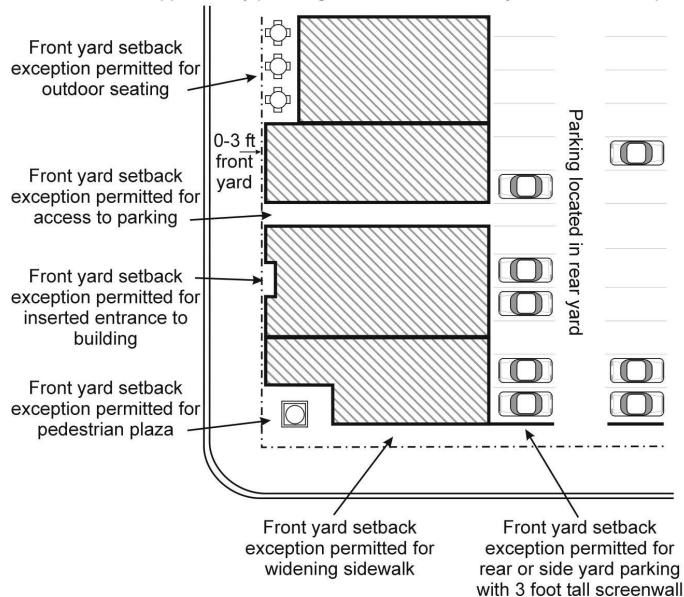
1. *Lot Area and Width.* There is no required minimum lot area or width.
2. *Setback Requirements.* The required nonresidential and mixed-use building setbacks are intended to promote streetscapes that are consistent with the desired character of the CBD and reinforce a pedestrian orientation and built-up streetscape. The setback requirements for areas that abut residential zones are intended to promote development that will maintain light, air, and the potential for privacy for adjacent residential zones.

	Setback
Front (a)	The building shall be built to within 3 feet of the front lot line and cannot be set back a greater distance except as provided for in subsection 3., below.
Side	There shall not be a minimum side yard setback required; provided a side wall of a building that is not a fire rated wall or contains windows shall be set back a minimum of 10 feet from the side lot line.
Rear	There shall be no minimum rear yard setback.
Lot line abutting a residential zone	Where the side or rear lot line adjoins a lot that is zoned single-family residential, two-family residential or multiple-family residential, a minimum 30-foot setback shall be provided.

- a. Projections into setbacks permitted under section 35-39, projections into yards, including cornices, eaves, sills, balconies, bay windows, awnings, signs and other architectural elements, shall also be permitted to project over the public sidewalk with planning commission approval; provided, there shall be a minimum eight-foot vertical clearance between the sidewalk grade and the architectural element that is overhanging the sidewalk.
3. *Front Yard Building Setback Exceptions.* One hundred (100) percent of the length of the ground level street-facing facade of the building must be built to within three (3) feet of the front lot line. The building height along the frontage shall be a minimum of twenty-four (24) feet. Exceptions may be granted by the planning commission when the front yard area, or forecourt, is used for the following purposes listed below.

## Commercial/Mixed use building placement

Building required to be built to within 3 feet of front lot line except as approved by planning commission for front yard setback exceptions



- a. Widening the sidewalk along the frontage of the building.
- b. Providing a public gathering area or plaza that offers seating, landscape enhancements, public information and displays, fountains, or other pedestrian amenities.
- c. Accommodating an inset entranceway to the building.
- d. Providing outdoor seating for the proposed use.
- e. Where necessary to avoid utilities.
- f. The building is used for public or quasi-public/institutional purposes with a plaza or open space area provided in the front yard.
- g. Driveway or pedestrian access to parking at the rear of the building.
- h. Side yard parking along no more than forty (40) percent of the frontage, with a three-foot tall screenwall between the parking and public sidewalk, set back three (3) feet from the front lot line and subject to the requirements of subsection D., below.
- i. Where older residential structures have been converted to a nonresidential or mixed-use and are to be retained.
- j. Sandwich board signs (or A-frame signs), marquee signs and wall signs as permitted in the sign ordinance are the only business signs permitted within the forecourt area.

4. *Building Height.* The height limits are intended to control the overall scale of buildings and to discourage buildings that visually dominate adjacent residential areas.

Building Height Requirement	
Minimum	24 feet and 1 story
Maximum	45 feet and 4 stories

---

- a. For buildings with more than two (2) stories adjacent to a single-family residential zone, the floors above the second story of the building shall be tiered back such that the highest point of the building is set back a distance at least equal to twice the height of the building from the adjacent single family residential lot.
- b. If a development is proposed as a planned unit development (PUD), the planning commission may approve an increase in the maximum building height and number of stories, if the proposed development is for a mixed-use building with retail, or service business on the first floor and residential, or office on the upper floors. The planning commission may require a greater setback from any adjoining single-family residential district in order to minimize the impact of building mass on views and sunlight in the residential district. In determining the amount of additional required setback, the planning commission shall take into account the area and configuration of the adjoining residential parcel or parcels, the size, height, and location of existing residential structures on the adjoining residential parcel or parcels, and any other relevant characteristics of the adjoining residential parcel or parcels.
- c. If a parking structure is proposed as part of the building the planning commission may approve additional total building height and stories to achieve additional usable building floor area equal to the area occupied by the parking deck, subject to the regulations of subsection D., below.
- d. Buildings located at the corner of two (2) intersecting streets may be increased in height to fifty (50) feet.
- e. Refer to section 35-42, exceptions to height limit, for allowable building height projections.

B. *Pedestrian-Oriented Design Requirements.* All sites shall be designed to promote safe and effective pedestrian and transit-oriented circulation on-site, between sites, and between parking and streets. Sites shall comply with pedestrian-oriented design requirements of section 35-45, pedestrian walkways, and Chapter 28, Streets, Sidewalks and Other Public Places, of the City of Farmington Code.

C. *Building Design.*

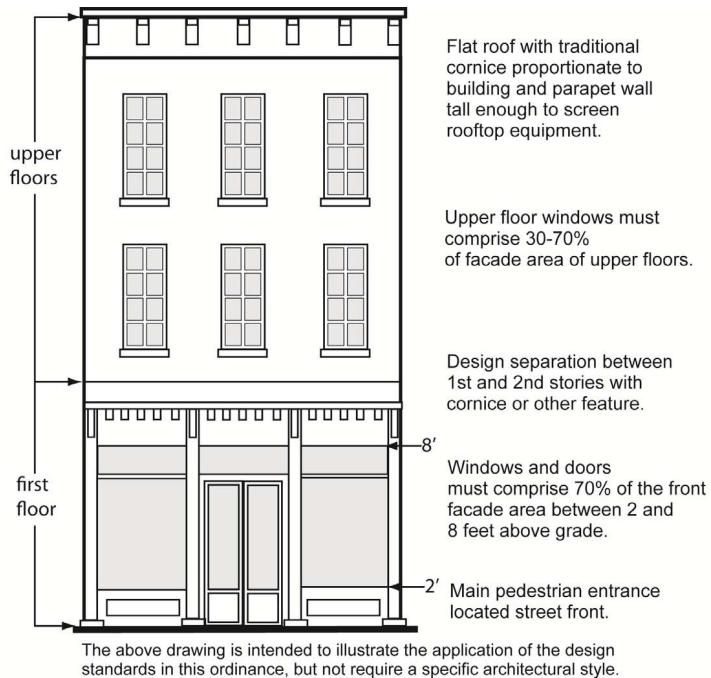
- 1. *Purpose.* The following building design standards ensure that new construction in the CBD reflect a high level of building quality that will endure over time and will incorporate timeless design details. The requirements also ensure that all new construction is consistent because the character of the CBD is not reflected in just one (1) structure, but in all the buildings combined. The regulations herein are intended to ensure proper building form, relationship to the street and compatibility with other buildings. The regulations are not intended to dictate a particular style of architecture, rather to encourage innovative design that is consistent and complementary to the existing built environment.
- 2. *Main Entrance.* All buildings shall have a main entrance that is located on at least one (1) streetfront. Main entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas. The front entranceway shall be inset a minimum of three (3) feet from the front building wall to minimize encroachment on the sidewalk.
- 3. *Roofs.* Roofs shall be required to meet the following:
  - a. Unless otherwise approved by the planning commission, buildings should have flat roof appearance from the street with a cornice that is designed proportionate to the size of the building and length of the wall.

- b. The planning commission may permit a pitched roof if the design of the roof and building are consistent with the character of the CBD and adjacent buildings. Pitched and mansard roofs shall not be permitted with eaves below a height of twenty-four (24) feet. All roof edges shall be accentuated in a manner proportionate to the size of the building and length of the wall.
- c. Flat roofs shall be enclosed by parapets.
- d. All rooftop-mounted equipment shall be screened from view on all sides of the building.
- e. Parapets and other screening treatment shall use high-quality building materials and shall blend with the design of the building in terms of color, materials, scale and height.

4. **Awnings.** Awnings in the CBD may project over the public sidewalk; provided they shall be:

- a. Positioned immediately above the ground floor window area of the facade.
- b. Provide a minimum eight-foot clearance from the sidewalk.
- c. Constructed of a durable, weather-proof material such as canvas or steel.
- d. Have a straight shed that projects from the building at a straight angle with open sides.
- e. Signage is in conformance with the city sign code.

5. **Required Window Area and Exterior Finishes.** While creativity in building design is encouraged, buildings in the CBD must adhere to the following:



a. **Windows.**

(1) Facades facing a public street or sidewalk shall include windows that equal seventy (70) percent of the wall area measured between two (2) feet and eight (8) feet above grade. The bottom of any window may not be more than four (4) feet above grade.

---

- (2) Required window areas shall consist of clear glass windows, clear glass doors and clear glass panels, and may not be covered or blocked with the back of shelving units.
- (3) Required window areas shall be either windows that allow views into retail space, working areas or lobbies, pedestrian entrances, or display windows set into the wall.
- (4) Windows and doors above the first floor shall comprise between thirty (30) percent and seventy (70) percent of the total wall area of all upper floors.
- (5) The number, shape, size, and spacing of the windows shall be compatible with the established rhythm of adjoining or nearby buildings in the downtown.

b. *Exterior Finish Materials.* The building wall (exclusive of any windows or doors) of any facade visible from public view shall consist of the following:

- (1) The wall shall be constructed of at least seventy-five (75) percent modular brick or stone. Panel brick and tilt-up brick textured paneling shall not be permitted on the front facade.
- (2) Up to twenty-five (25) percent of the remaining wall area may include wood siding, fiber cement siding, exterior insulation finish systems (EFIS), stucco (cementious finish), precast masonry, metal or molded polyurethane trim.
- (3) Exterior walls that may be concealed by future building development on adjacent sites may be constructed of lower-cost materials that are consistent with the building facade, including modular brick or stone, panel brick, tilt-up brick textured paneling, wood siding, fiber cement siding, exterior insulation finish systems (EFIS), stucco (cementious finish), precast masonry, metal or molded polyurethane trim.
- (4) The planning commission may permit other high-quality exterior finish materials comparable to those required above. The planning commission shall consider the standards of subsection 35-104.C.10., Modifications, and a recommendation of the DDA design committee that the amount, design, and type of materials proposed are consistent with the intended character of the CBD.
- (5) Buildings that have upper stories shall be designed to create a distinct and separated ground floor area through the use of accents such as a cornice, change in material or textures, or an awning or canopy between the first and second stories.

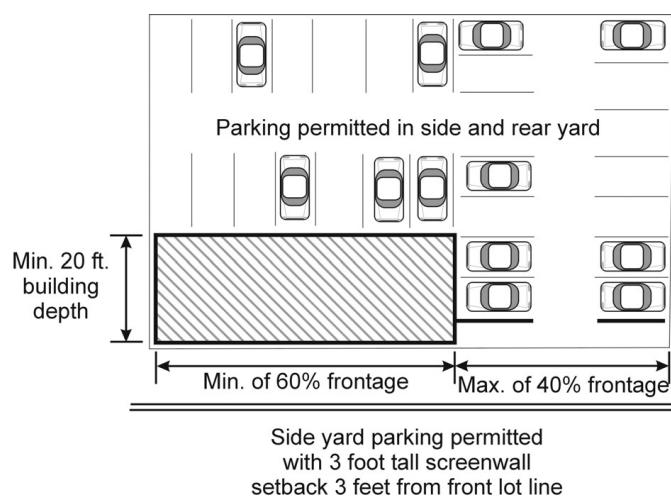
6. *Corner Buildings.* Buildings situated at a corner shall possess a level of architectural design that incorporates accents and details that accentuate its prominent location. This can be accomplished through height projections incorporated into a design feature such as additional height, a building peak, tower, or similar accent with the highest point located at the intersecting corner. Alternatively, a pedestrian plaza may be provided at the corner of the intersecting streets. A main entrance must be on a street-facing wall and either at the corner or within twenty-five (25) feet of the corner.

7. *Overhead Doors.* Overhead doors are not encouraged in the CBD. When necessary for loading, unloading, and other service needs they shall be located where it will receive the least visibility to the public or neighboring residential uses, and have the least impact on traffic operations. Overhead doors for loading areas shall be closed when not in use for loading operations.

8. *Converted Dwellings.* Where buildings that were originally constructed for single-family residential purposes have been converted to nonresidential uses, the building design requirements of this subsection may be modified by the city where consistent with the historic character of the building. Such modifications may include allowing the use of siding in lieu of masonry materials and residential fenestration (windows) in lieu of the requirement for storefront windows on the first floor.

9. *Modifications.* The planning commission may approve deviations to the building design standards of this subsection 35-104.C., following the recommendation of the DDA design review committee, in order to achieve the objectives of this subsection through the use of creativity and flexibility in development and design. Each deviation shall require a finding that the design standard sought to be deviated from would, if no deviation was permitted, prohibit an enhancement that would be in the public interest. A front elevation drawing of the proposed building shall be provided superimposed on a color drawing or photograph of the entire block showing the relation of the proposed building design to other buildings along the block, which shall be utilized to evaluate the proposed building design based upon all of the following criteria:

- Innovations in architectural design may be permitted, provided the building design shall be in keeping with the desired character of the CBD, as articulated in the city Master Plan and the Downtown Plan, and the proposed building fits within the context of adjacent buildings along the block.



- The building shall be oriented towards the front sidewalk and maintain or enhance the continuity of the pedestrian oriented environment.
- The roof design shall not be out of character with other buildings along the block and shall be within the minimum and maximum height requirements of the district.
- The exterior finish materials shall be of equal or better quality and durability as those permitted above, with the intent to allow for new technologies in building material while maintaining the desired character of the CBD.
- Ground floor windows shall be provided along the front sidewalk to maintain the pedestrian orientation of the streetscape and upper story windows shall not be incompatible with the rhythm and proportions of windows on other buildings along the block.

D. *Parking.* Parking lots shall meet the following requirements:

---

1. Parking is permitted only in side and rear yards. When parking is located in a side yard (behind the front building line) and has frontage on a public right-of-way, no more than forty (40) percent of the total site's frontage shall be occupied by parking. Parking in the side yard shall be screened by a three-foot tall brick screening wall between the sidewalk and the parking lot. The screening wall shall be set back a minimum of three (3) feet and designed and located to ensure a safe, clear vision zone is provided for vehicles and pedestrians.
2. Where off-street parking is proposed, at least sixty (60) percent of the site's frontage shall be occupied by usable building space to a depth of at least twenty (20) feet. Where a parking structure is provided, usable building space shall occupy at least sixty (60) percent of the site's frontage on the first level to a depth of at least twenty (20) feet.
3. Parking lot design shall conform to the requirements of Article 14, Off-Street Parking and Loading Standards and Access Design. Because the regulations of this section are intended to encourage pedestrian/transit friendly design and compact mixed-use development that requires less reliance on automobiles, on-site parking required under Article 14 may be waived under the following conditions:
  - a. The site is located within five hundred (500) feet of other parking facilities intended for public use, such as a municipal parking lot, parking structure or on-street parking that provides adequate parking spaces to serve the proposed use.
  - b. Failure to provide on-site parking shall be deemed to constitute and acknowledgement and acceptance of a benefit (i.e., the relaxation of on-site parking standards) such that, if the city establishes a special assessment district to fund the construction operation and maintenance of public parking that will serve the property, the property owner agrees to become part of such district and further agrees to payment of the assessment in lieu of providing on-site parking. The city may require a written acknowledgement with respect to the benefit provided.

E. *Landscaping.* For buildings that comply with the front build-to requirements of this section, street trees located within the public sidewalk may be used to satisfy the frontage landscaping requirements of Article 15, Landscaping Standards. Where existing street trees along the frontage are in poor condition, the planning commission may require replacement of the trees. Where there are no street trees along the site frontage, or there is a gap of sixty (60) feet or more between existing trees, the planning commission may require the installation of a new tree, with a tree grate that matches the other tree grates used in the downtown.

F. *Access Management.* Refer to Article 14, Off-Street Parking and Loading Standards and Access Design, for access management requirements. In addition to current access management standards, a strong emphasis shall be placed in the CBD to limit driveways on Grand River Avenue and Farmington Road. Whenever possible, existing driveways shall be removed and access provided to the site from rear access or from an intersecting side street.

G. *Lighting.* Refer to section 35-48, exterior lighting, for lighting requirements.

(Ord. No. C-746-2010, § 1, 4-19-10)

Farmington Planning Commission Staff Report	Planning Commission Date: January 12, 2026	Item Number
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Agenda Topic:</b> Public Hearing – Make a Change Wellness, 23629 Liberty Street		
<b>Proposed Motion:</b>		
Move to open the Public Hearing on Make a Change Wellness, 23629 Liberty Street		
Move to close the Public Hearing on Make a Change Wellness, 23629 Liberty Street		
<b>Background:</b>		
Make a Change Wellness is proposing to locate their mental health and social work practice in the building located at 23629 Liberty Street. The social work practice is centered on providing accessible, community-focused mental health and wellness services to children and adolescent teens. Attached to this report is background information about Make a Change Wellness for Commission review.		
This property is zoned Office Service. Medical/dental office use and professional office/service establishments are a special land use in this district, requiring Planning Commission approval. The special land use was noticed to the public in the Oakland Press as required.		
The procedures for a special land use typically require a site plan to be submitted; however, there are no proposed changes to the existing site at this time. Future renovations are planned in 2026. These renovations will be reviewed by the Building Official and if necessary, be brought to the Planning Commission for approval.		
The applicant will present their project to the Commission during this agenda item.		
After the applicant presents their project, OHM will provide their special land use report.		
Finally, the Commission will open the public hearing, and once all comments have been received, close the public hearing.		
<b>Materials:</b> Special Land Use Application Special Land Use Review by OHM		



## Make A Change Wellness, LLC

23629 Liberty St, Farmington, MI 48335

### Special Land Use Application [responses to each question]

- a. The proposed special land use shall be compatible with and in accordance with the general goals, objectives, and policies of the City of Farmington Master Plan.*

The proposed special land use for Make A Change Wellness is fully compatible with, and supports, the general goals, objectives, and policies outlined in the City of Farmington Master Plan. Our social work practice is centered on providing accessible, community-focused mental health and wellness services to children and adolescent teens—an objective that aligns directly with the City's commitment to enhancing quality of life, supporting community well-being, and promoting reinvestment in existing structures.

For the first seven months of operation, no changes will be made to the building. The offices will be utilized as-is, ensuring continuity, minimizing disruption, and maintaining the existing character of the area.

Beginning July–August 2026, Make A Change Wellness will submit a proposal for a comprehensive renovation of the building, including both interior and exterior improvements. These renovations will be designed to elevate the building's appearance, enhance accessibility, and further align the site with the long-term vision of the Master Plan by contributing to neighborhood vitality and reinvestment.

Overall, the proposed use supports Farmington's goals for community health, responsible redevelopment, and thoughtful land use planning.

- b. The special land use shall promote the intent of the zoning district in which the use is proposed.*

The proposed special land use for Make A Change Wellness promotes and supports the intent of the zoning district in which it is located. As a social work and wellness provider, our operations are consistent with the district's purpose of accommodating professional office uses, community-serving services, and low-impact businesses that enhance the surrounding area.

The building will always maintain designated office space on at least one floor for office use and leases—both prior to renovations and after the full interior and exterior renovations scheduled for July–August 2026. Maintaining this dedicated office function ensures that the property continues to meet the zoning district's intent by supporting professional services, preserving business diversity, and contributing to a stable, service-oriented environment.

This long-term commitment to office use reinforces compatibility with the district and supports the City's goals for maintaining a balanced, functional, and community-focused commercial area.

*c. The special land use shall be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the area in which it is proposed.*

The proposed special land use for Make A Change Wellness is fully compatible with the existing and intended character of the surrounding area and will not alter the essential character of the neighborhood. The building has historically functioned as professional office space, and our social work and wellness services align naturally with this established use.

Our operations are low-impact, appointment-based, and professional in nature, which ensures minimal traffic, noise, or disruption to nearby properties. For the first seven months, the building will be utilized as-is, maintaining the current appearance and function without any changes to its exterior or interior layout.

Future renovations planned for July–August 2026 will be designed to enhance the building while preserving its professional character and ensuring it continues to blend seamlessly with the surrounding properties. These improvements will respect the area's existing aesthetic and intended long-term development goals.

Overall, Make A Change Wellness will operate in a manner that supports and maintains the established character of the area, contributing positively to the community without introducing any incompatible elements.

*d. The special land use shall be served adequately by public facilities and services such as traffic operations, police, and fire protection, drainage structures, water and sewer facilities and schools.*

The proposed special land use for Make A Change Wellness will be adequately served by existing public facilities and municipal services. The site is located within an established commercial and professional corridor that is already supported by the City of Farmington's fully developed infrastructure.

Traffic operations in the area are designed to accommodate professional office uses, and our appointment-based service model ensures low traffic volume and minimal impact on existing roadway capacity. Police and fire protection services currently serve the area effectively, and no additional burden is anticipated as a result of this use.

The property is already connected to the City's existing water, sewer, and drainage systems, all of which are sufficient to support the proposed operations without the need for upgrades or modifications. Similarly, the site is within proximity to public schools, but the nature of our services does not increase demand on educational facilities.

Overall, Make A Change Wellness will operate within the capabilities of the public facilities and services already in place, ensuring that no undue strain is placed on city resources.

*e. The proposed special land use shall not involve uses, activities, processes, materials, equipment or conditions of operation that in comparison to the uses permitted in the district, will be detrimental to the natural environment, public health, safety or welfare.*

The proposed special land use for Make A Change Wellness will not involve any uses, activities, materials, or operational conditions that are detrimental to the natural environment, public health, safety, or general welfare. Our services are strictly professional, appointment-based social work and wellness supports, consistent with the low-impact office uses already permitted within the zoning district.

Operations will not include hazardous materials, industrial equipment, or any processes that generate excessive noise, traffic, emissions, or waste. The building will function as a standard professional office environment, maintaining the same level of environmental and public safety compatibility as existing allowable uses in the district.

Furthermore, the planned future renovations (scheduled for July–August 2026) will adhere to all applicable building codes, safety standards, and environmental regulations, ensuring continued protection of both the community and the surrounding environment.

Overall, Make A Change Wellness will operate safely, responsibly, and in full alignment with the district's expectations for low-impact, community-serving professional uses.



# City of Farmington Special Land Use Review

**Date:** January 6, 2026

**To:** Chris Weber, Assistant City Manager  
**cc:** Jennifer Morris, Principal, OHM  
**From:** Kristen Hatfield, Senior Planner, OHM

**Re:** 23629 Liberty St, Farmington, MI 48336

**Subject: Make a Change Wellness, LLC (Special Land Use Review)**

**Location: 23629 Liberty St**

**Parcel ID: 20-23-28-276-011**

**Zoning: OS, Office Services District**

**Applicant(s): Dr. Ali Y. Bazzi**

**Owner(s): Dr. Ali Y. Bazzi**

At the City of Farmington's request, OHM Advisors has performed a review of the above-referenced special land use request and offers the following comments and findings for your consideration. This review is based on a special land use application dated December 10, 2025.

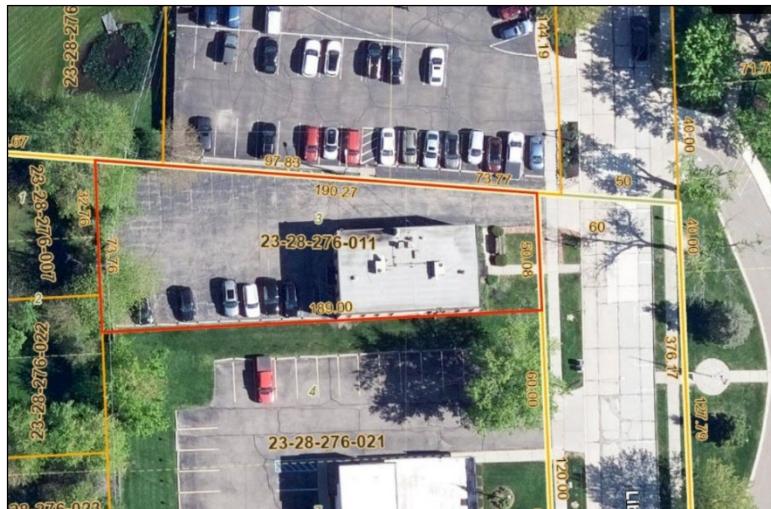
The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to City site plan and ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation. Key review items in this letter are underlined for the benefit of the applicant.

## SITE DESCRIPTION

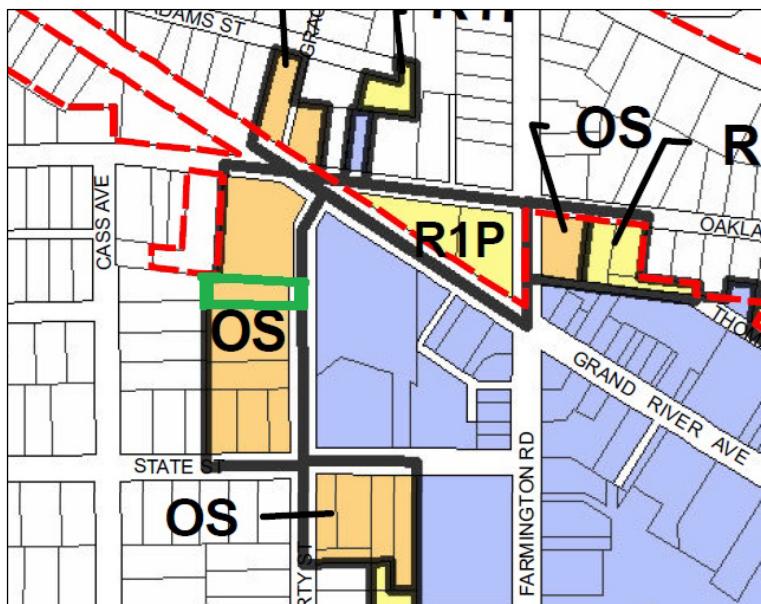
The site consists of one (1) parcel and is located on the west side of Liberty Street, south of Grand River Avenue and north of State Street. Online assessing states that 23629 Liberty Street is approximately 11,717 square feet with a frontage on Liberty Street of 50'. The existing two-story structure is 4,320 SF with multiple tenants with professional offices. Surrounding zoning districts are OS, Office Service to the north, CBD, Central Business District to the east, OS, Office Service to the south and R1, Residential to the west. The special land use application indicates that Dr. Ali Y. Bazzi is the owner of the parcel; however online assessing lists the owner of 23629 Liberty Street as "TDP Holdings, LLC". The applicant must clarify the ownership of the parcel.



## EXHIBIT A: AERIAL VIEW OF SITE



## EXHIBIT B: ZONING MAP



## REVIEW COMMENTS

*Article 12, Special Land Uses* of the City of Farmington's zoning ordinance, provides standards for the Planning Commission to determine the appropriateness of a given special land use. An application for a special land use must be considered against these standards.

### General Standards

Prior to approving a special land use application, the Planning Commission shall require that the following general standards be satisfied. The proposed use or activity shall:

**OHM Advisors®**

1145 GRISWOLD STREET, SUITE 200  
DETROIT, MICHIGAN 48226

T 313.481.1250

OHM-Advisors.com



**1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.**

**Comment:** This special land use request is compatible with the objective of increasing commercial opportunities in the City of Farmington. Meets the standard.

**2. Promote the intent of the zoning district in which the use is proposed.**

**Comment:** The intent of the O, Office and OS, Office Service districts is to encourage office uses of a business and professional nature. The OS, Office Service district in particular serves as a transitional area between residential and commercial districts or as a buffer between residential neighborhoods and arterial roadways. In this case, the subject parcel will provide an office use that is professional in nature while also serving as a transitional area between residential and commercial, and providing a buffer between residential neighborhoods and arterial roadways. Meets the standard.

**3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.**

**Comment:** This property has been used for professional offices in the past, and as such, will not change the essential character of the area in which it is proposed. Meets the standard.

**4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.**

**Comment:** This property is served adequately by public facilities and services. Meets the standard.

**5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.**

**Comment:** We find no indication that this special land use would have a negative impact on the above items through the excessive production of traffic, noise, etc. Meets the standard.

Finally, we note that a site plan meeting the requirements of *Article 13, Site Plan Review* of the City of Farmington's zoning ordinance is typically included with an application for a special land use request. As indicated on the special land use application dated December 10, 2025, the applicant intends to make exterior renovations within the next twelve (12) months. We recommend that the Planning Commission condition validity of the special land use approval upon receipt of a site plan for the parcel within twelve (12) months of approval of the special land use request, if the Planning Commission opts to approve the request.

## RECOMMENDATION

Planning recommends approval of the special land use application subject to the following conditions:

- Site Plan Submittal Requirements (§35-165).** The applicant must clarify the ownership of the parcel.
- Special Land Use Application Procedure (§35-153).** The applicant must submit a site plan for the parcel within twelve (12) months from the date of approval of the special land use request.

If you have any questions, please don't hesitate to contact me at (810) 215-0993.

Thank you,

**OHM Advisors®**

1145 GRISWOLD STREET, SUITE 200  
DETROIT, MICHIGAN 48226

T 313.481.1250

OHM-Advisors.com



*Kristen Hatfield*

Kristen Hatfield, AICP  
Senior Planner

Farmington Planning Commission Staff Report	Meeting Date: January 12, 2026	Reference Number
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Agenda Item:</b> Special Land Use Review for 23629 Liberty Street, Make a Change Wellness		
<b>Requested Action</b>		
Move to Approve the Special Land Use for 23629 Liberty Street, Make a Change Wellness subject to Review and Approval of the Final Interior and Exterior Plans by the Building Official, because:		
1. The proposed use will be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan because_____.		
2. The proposed use will promote the intent of the zoning district in which the use is proposed, because_____.		
3. The proposed use will be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed, because_____.		
4. The proposed use will be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools, because all of these facilities are existing.		
5. The proposed use will not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance, because_____.		
Subject to bringing any site deficiencies up to current standards, as identified by the building official, and subject to review and approval of the Final Interior and Exterior Plans by the Building Official, when any changes to the building are proposed.		
Or		
Move to Deny the Special Land Use for 23629 Liberty Street, Make a Change Wellness subject to Review and Approval of the Final Interior and Exterior Plans by the Building Official, because:		
1. The proposed use will not be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan because_____.		
2. The proposed use will not promote the intent of the zoning district in which the use is proposed, because_____.		
3. The proposed use will not be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed, because_____.		
4. The proposed use will not be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and		

sewage facilities and primary and secondary schools, because all of these facilities are existing.

5. The proposed use will involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance, because \_\_\_\_\_.

### **Background**

The Make a Change Wellness Special Land Use will have been introduced during the public hearing and any comments from the public presented. For this agenda item, the Commission will decide whether to approve or deny the request.

Attached to this staff report are the Standards for Approval for a Special Land Use, Sec. 35-152

### **Agenda Review**

Department Head	Finance/Treasurer	City Attorney	City Manager
-----------------	-------------------	---------------	--------------

---

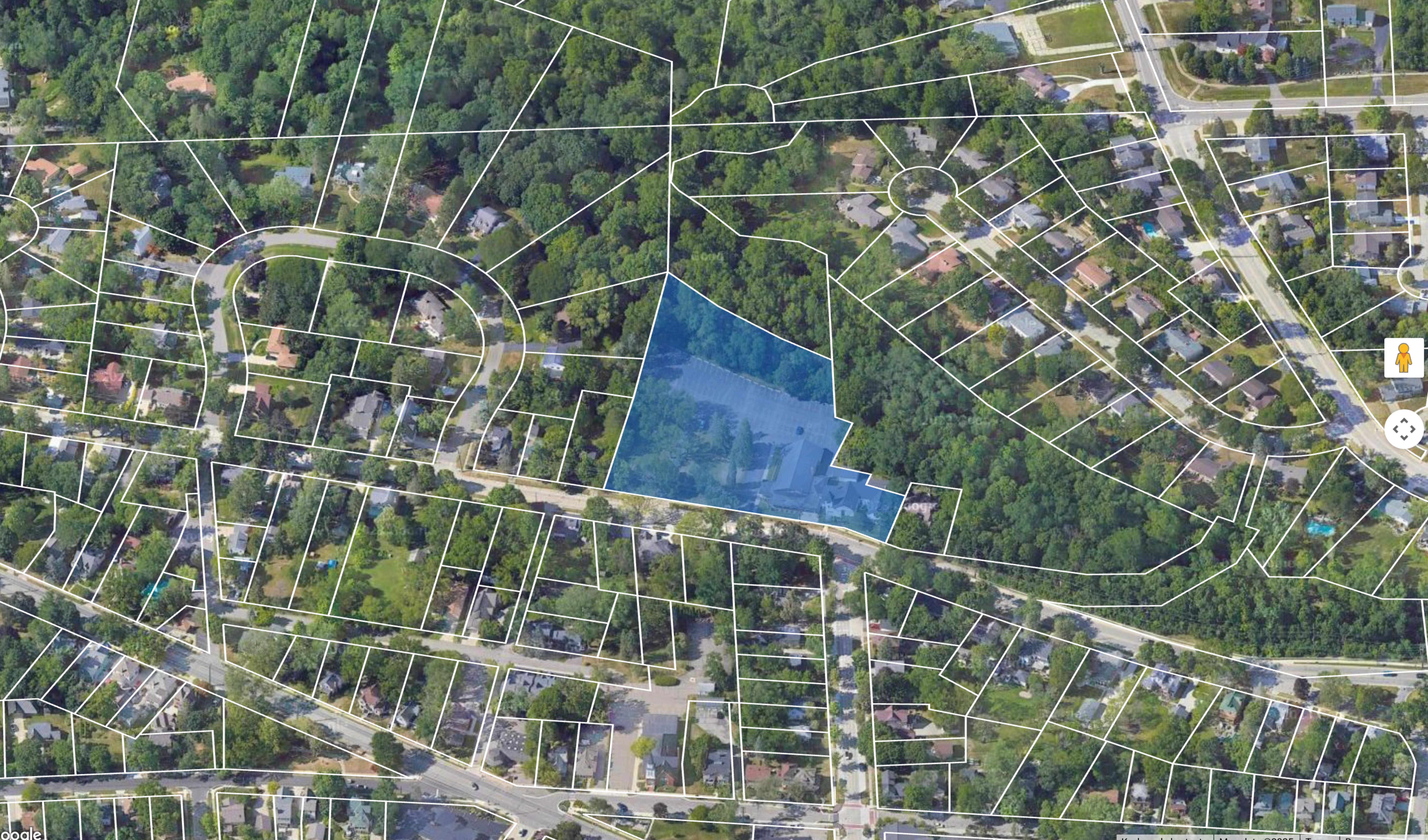
## **Sec. 35-152. Standards for Approval.**

- A. Prior to approving a special land use application the planning commission shall require that the following general standards, in addition to the specific standards noted for individual uses in section 35-158, special land use specific requirements, be satisfied. The proposed use or activity shall:
  - 1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.
  - 2. Promote the intent of the zoning district in which the use is proposed.
  - 3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.
  - 4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.
  - 5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.
- B. Properties for which application for special land use approval is made shall also be subject to site plan review in accordance with the requirements of Article 13, Site Plan Review. Failure to obtain site plan approval will constitute denial of the approved special land use.

(Ord. No. C-746-2010, § 1, 4-19-10)

Farmington Planning Commission Staff Report	Planning Commission Date: January 12, 2025	Reference Number
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Agenda Topic:</b> Site Plan Review - 33400 Shiawassee Road, First Baptist Church of Farmington		
<b>Proposed Motion:</b>		
Move to approve the building façade modifications for 33400 Shiawassee Road, First Baptist Church of Farmington because the proposed modifications meet the requirements of Section 35-53 of the Zoning Ordinance.		
OR		
Move to deny the building façade modifications for 33400 Shiawassee Road, First Baptist Church of Farmington because the proposed modifications do not meet the requirements of Section 35-53 of the Zoning Ordinance, because _____.		
<b>Background:</b>		
The First Baptist Church of Farmington is proposing a modification to the southwest corner of the building, including a small addition to the existing vestibule and a barrier free ramp to improve access to the building and to allow caskets to safely be maneuvered in and out during funerals. This building is located in the Historic District and therefore subject to Historical Commission review and comment. At their December 17, 2025 meeting, the Historical Commission voted unanimously to recommend approval of the plan.		
Site Plan Review is required under Section 35-162 Building renovations, modifications to building facade or other architectural features that do not result in additions to floor area or increased building height. Section 35-53 of the City's Zoning Ordinance sets forth the requirements for nonresidential design requirements. Section 35-53 is attached.		
The applicant, has submitted plans prepared by Wakely Associates, Inc. Architects for the proposed Building Façade Modification and will be at the January 12, 2026 meeting to review the proposed Building Façade Modification with the Commission.		
The plans for the modification have been reviewed by the Building Official for the site elements and no issues have been identified.		
<b>Materials:</b> Conceptual Rendering Site Plan Zoning Ordinance Section 35-53		







# FIRST BAPTIST CHURCH OF FARMINGTON ENTRANCE ADDITION / RENOVATION

ISSUED FOR: BID SET  
DATE: JUNE 27, 2025  
PROJECT NO.: 232004

ARCHITECT:

WAKELY ASSOCIATES, INC./ ARCHITECTS  
30500 VAN DYKE AVE, SUITE 209, WARREN, MI 48093, 586.573.4100

STRUCTURAL ENGINEER:

ANDERSON, ECKSTEIN, & WESTRICK, INC.  
51301 SCHOENHERR RD, SHELBY TOWNSHIP, MI 48315, 586.726.1234

MECHANICAL/ ELECTRICAL ENGINEERS:

UNIFIED BUILDING SYSTEMS ENGINEERING, LLC  
75 N. MAIN ST. SUITE 221, MT. CLEMENS, MI 48043, 248.804.1741

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
A/C & VENT	AIR CONDITIONING & VENTILATION	dB	DECIBEL	JC	JANITORS CLOSET	QT	QUARRY TILE
ABE	ARCHITECT-ENGINEER	DBL ACT DR	DOUBLE ACTING DOOR	JT	JOINT	R	RADIUS
ABSV	ABSTRACTIVE	DECON	DECONTAMINATION	L	ANGLE	R	ROSE
ABSV THRESH	ABSTRACTIVE THRESHOLD	DEG	DEGREE	LAB	LABORATORY	RB	RESILIENT BASE
ACI	AMERICAN CONCRETE INSTITUTE	DEMO	DEMOLISH DEMOLITION	DEPT	DEPARTMENT	RC	ROOF CONDUCTOR
ACOUS INSUL	ACOUSTICAL INSULATION	DET	DETAL	DF	DRINKING FOUNTAIN	RCPTR	RECEPTOR
ACOUS PNL	ACOUSTICAL PANEL	DIAG	DIAGONAL	DIAG	DIAGONAL	RCVG	RECEIVING
ACS DR	ACOUSTIC DOOR	DIAPH	DIAPHRAGM	DIAPH	DIAPHRAGM	REC	RECESS OR RECESSED
ACNL	ACCESS PANEL	DIFF	DIFFUSER	DIFF	DIMENSION	REF	REFERENCE
ACST	ACOUSTIC	DIST	DISTANCE	DIST	DISTANCE	REFRIG	REFRIGERATOR
ACST SLNT	ACOUSTIC SEALANT	DW	DISTILLED WATER	DW	DISTILLED WATER	REG	REGISTER
ADA	AMERICANS W/ DISABILITIES ACT	DWD	DWELL	DW	DWELL	REGNF	REINFORCE OR REINFORCED
ADDL	ADDITION	DWG	DRAWING	DW	DWELL	REV	REVISION
ADDN	ADDITION	DWL	DOWEL	LLH	LONG LEG HORIZONTAL	RF	RADIOGRAPHY & FLUOROSCOPY
ADJ	ADJACENT	DMF	DMPROOFING	LLV	LONG LEG VERTICAL	RFG	ROOFING
ADJS	ADJACENT	DOWN	DOWNTURN	LO	LOWER OPENING	RFO	ROOFING
AGF	ABOVE FINISHED FLOOR	DO	DOOR OPENING OR DATA OUTLET	LPT	LOW PLUGLIGHT	RH	RIGHT HAND
AGGR	AGGREGATE	DR	DOOR	LTWT	LIGHTWEIGHT	RHB	ROOF HOSE BOX
AHU	AIR HANDLING UNIT	DRP	DECAY RETARDANT PLYWOOD	LTG	LIGHTING	RHR	RIGHT HAND REVERSE
ALT	ALTERATIONS	DRW	DECAY RETARDANT WOOD	LVR	LOUVER	RM	ROOM
ALUM	ALUMINUM	DWS	DOWNTURN	MACH	MACHINE	RND	ROUND
ANES	ANESTHESIA, ANESTESIOLOGY	DT	DRAIN TILE	MAG	MAGNET OR MAGNETIC	RO	ROUGH OPENING
ANOD	ANODIZED	DVG	DRAWING	MAR	MASONRY	RR	RAILROAD
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	DWL	DOWEL	MATL	MATERIAL	RS	ROOF SUMP
APC	ACOUSTICAL PANEL CEILING	E	EAST	MAX	MAXIMUM	RSF	RESILIENT SHEET FLOORING
APPROX	APPROXIMATE	EA	EACH	MB	MARKER BOARD	RFT	RESILIENT TILE FLOORING
ARCH	ARCHITECTURAL	EF	END PAGE	MBC	MICROSTRUCTURE CODE	RTNG	RETAINING
ASPH	ASPHALT	EJFS	EXTERIOR INSULATION & FINISH SYSTEM	MCA	MICROSTRUCTURE CHANNEL	RTU	ROOF TOP UNIT
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	EKG	EXTERIOR CARDIOPHARM	MCL	MEDICAL COMPRESSED AIR	RV	ROOF VENTILATOR
ATC	ACOUSTICAL TILE CEILING	EL	ELEVATION	MCP	METAL CEILING (PAN)	RVS	REVERSE
AUTO	AUTOMATIC	ELEC	ELECTRIC OR ELECTRONIC	MED	MEDICAL	S	SOUTH
AVG	AVERAGE	ELEV	ELEVATOR	MEMB	MEMBRANE	S-STEEL	S-SHAPE STEEL MEMBER
B PL	BASE PLATE	EMBED	EMBEDMENT	MEMB RFG	MEMBRANE ROOFING	SAB	SOUND ATTENUATION BLANKET
B/B	BACK TO BACK	EMER	EMERGENCY	MEZ	MEZZANINE	SPRAY APPLIED FIREPROOFING	SPRAY APPLIED FIREPROOFING
BC	BOTTOM CHORD	EMER SHR	EMERGENCY SHOWER/EYE WASH	MFO	MFO MANUFACTURING	SB	SOIL BORING
BD	BOARD	ENCL	ENCLOSURE	MH	MH MANHOLE	SDG	SCHEDULE
BEV	BEVELLED	ENTR	ENTRANCE	MIN	MINIMUM	SE	SECOHEAST
BF	BARRIER FREE	EQ	EQUIPMENT	MISC	MISCELLANEOUS	SECT	SECTION
BF	BOTH FACES	EQUIP	EMERGENCY ROOM	MOD	MODIFIED	SECRET	SECRETARY
BITUM	BITUMINOUS	ELEV	EXISTING TO REMAIN	MOD BIT	MODIFIED BITUMEN	SGFT	STRUCTURAL GLAZED FACING TILE
BL	BUILDING LINE	ETR	EXISTING TO REMAIN	MR	MOISTURE RESISTANT	SH	SHOWER
BUGD	BUILDING DATUM	EW	EACH WAY	MRI	MAGNETIC RESONANCE IMAGING	SHT	SHEET
BULK	BLOCKING	EWC	ELECTRIC WATER COOLER	MRT	MAGNETIC RESONANCE THRESHOLD	SIM	SIMILAR
BLW	BELLOW	EWH	ELECTRIC WATER HEATER	MTC	METAL TOILET COMPARTMENT	SLDG	SLIDING WINDOW
BM	BEAM	EWS	EYE WASH STATION	MTD	MOUNTED	SLNT	SHORT LEG VERTICAL
BOS	BOTTOM OF STEEL	EX	EXISTING	MTL	METALIC OR METAL	SM	SHEET METAL
BOT	BOTTOM	EXC	EXCAVATE	MTL FAB	METAL FABRICATIONS	SP	SHAFT PARTITION
BR	BEDROOM	EXH	EXHAUST	MULL	MULLION	SPCLR	SPRINKLER
BRKT	BRACKET	EXTR	EXTRUDED	N	NORTH	SQ	SQUARE
BS	BOTH SIDES			N2	NITROGEN	SSK	SERVICE SINK
BSMT	BASEMENT			N20	NITROUS OXIDE	STA	STAINLESS STEEL
BT	BENT			NARC	NARCOTICS	STAG	STAGGERED
BTWN	BETWEEN			NATL	NATIONAL	STC	SOUND TRANSMISSION CLASS
BULLN	BULLETIN			NC	NOISE CRITERIA	STD	STANDARD
BUR	BUILT-UP ROOFING			NE	NEAR EAST	STIF	STIFFENER
C	CHANNEL	FD	FACE TO FACE	NEA	NEAR EAST	STL	STEEL
C TO C	CENTER TO CENTER	FE	FLOOR DRAIN	NIC	NATIONAL FIRE PROTECTION ASSOCIATION	STOR	STORAGE
CA	COMPRESSED AIR	FEC	FIRE EXTINGUISHER	NOT IN CONTACT	NOCT	STRUCT	STRUCTURAL
CAB	CABINET	FH	FLAT HEAD	NL	NIGHT LIGHT	STRUCT	STRUCTURAL STEEL
CANTL	CANTILEVER	FIR	FIRE RACK/ REEL	NO	NUMBER OR NUMBERS	STRUCT	SURFACE
CATH	CATHETERIZE CATHETER	FIP	FINISH OR FINISHED	NOV	NOVEMBER	SURF	SUSPENDED OR SUSPENSION
CB	CATCH-BASIN	FIXT	FOAMED-IN-PLACE	NS	NOURISHMENT	SV	SHEET VINYL
CEM	CEMENT	FLASH	FLASHING	NSF	NURSE STATION	SWD-FR	SWEEPING WOOD-FIRE RETARDANT
CER	CERAMIC	FLG	FLANGE	NW	NORTHWEST	SYM	SYMMETRICAL
CFCI	CONTRACTOR FOR FURNISHED CONTRACTOR INSTALLED	FLR	FLOOR	O2	OXYGEN	T	TREAD
CFGI	CONTRACTOR FOR FURNISHED OWNER INSTALLED	FOC	FACTORY-INSTALLED	O0	OUT TO OUT	T & G	TOUGUE & GROOVE
CFMF	COLD-FORMED METAL FRAMING	FOC	FACE OF COLUMN	OBS	OBSCURE GLASS	T & R	TREAD & RISER
CG	CORNER GUARD	FR	FIRE RATED	OBSC GL	OBSCURE GLASS	TA	TOILET ACCESSORIES
CH	CORNER HOOK	FRP	FIRE-RATED PLYWOOD	OBW	OBSEVATION WINDOW	TBD	TO BE DETERMINED
CH-BD	CH-BOARD	FRPPG	FIREPROOFING	OC	ON CENTER	TEL	TELEPHONE
CHKD	CHECKED	FRW	FIRE-RESISTED WOOD	OD	OUTSIDE DIAMETER	TEMP	TEMPERATURE
CI	CAST IRON	FT	FOOT OR FEET	OF/CI	OWNER/FURNISHED/ CONTRACTOR INSTALLED	TER	TERMOZO
CR	CIRCLE CIRCULAR CIRCULATION	FTG	FOOTING	OFF/CI	OWNER/FURNISHED/ OWNER INSTALLED	THD	THREAD
CJ	CONTROL JOINT	FURN	FURNITURE	OFF/OI	OWNER/FURNISHED/ OWNER INSTALLED	THK	THICK OR THICKNESS
CLG	CEILING	g	GRAM	OFF/OI	OWNER/FURNISHED/ CONTRACTOR INSTALLED	THRESH	THRESHOLD
CLIN	CLINICAL	GA	GAUGE	OFF/OI	OWNER/FURNISHED/ OWNER INSTALLED	TK BD	TOEBOARD
CLO	CLOSET	GAU	GAUZE	OFF/OI	OWNER/FURNISHED/ OWNER INSTALLED	TOI	TOE CONCRETE (ELEVATION)
CMU	CONCRETE MASONRY UNIT	GLV	GLAZED	OFF/OI	OWNER/FURNISHED/ OWNER INSTALLED	TOIL RM	TOILET ROOM
CNV	CONVEYOR	GLW	GLAZED CURTAINWALL	OFF/OI	OWNER/FURNISHED/ OWNER INSTALLED	TOP	TOP OF RAIL (ELEVATION)
CO	CLEANOUT	GDR	GUARDRAIL	OFF/OI	OWNER/FURNISHED/ OWNER INSTALLED	TOP	TOP OF STEEL (ELEVATION)
CO2	CARBON DIOXIDE	GEN	GENERAL	OFF/OI	OWNER/FURNISHED/ OWNER INSTALLED	TOP	TOP OF STEEL (ELEVATION)
COL	COLLAR	GFCI	GROUNDED FAULT CIRCUIT INTERRUPTER	OPNG	OPENING	TRANS	TRANSOM
COMO	COMPOSITION	GFR	GLASS-FIBER REINFORCED PLSTC	OPP	OPPOSITE	TV	TELEVISION
CONC	CONCRETE	GHT	GLAZED HOLLOW TILE	ORIG	ORIGINAL	TYPL	TYICAL
CONF	CONFERENCE	GI	GALVANIZED IRON	ORN	ORNAMENTAL	VAC	VACUUM
CONN	CONN	GL	GLASS, GLAZING	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION	VENT	VENTILATION OR VENTILATING
CONSTR	CONSTRUCTION	GR	GRADE	Oz	OUNCE	VEST	VESTIBULE
CONSTR JT	CONSTRUCTION JOINT	GR BM	GRADE BEAM	PACU	POST ANESTHESIA UNIT	VIF	VERIFY IN FIELD
CONT	CONTINUATION, CONTINUE, CONTINOUS	GRAD	GRADIENT	PB	PUSH BUTTON	VIT	VITREOUS
CONTR	CONTRACTOR	GRL	GRILLE	PEND	PENDANT	VOL	VOLUME
CPRS	COMPRESSIBLE, COMPRESSED	GRTG	GRATING	PERF	PERFORATED	VTR	VENT THROUGH ROOF
CPS	CARPET (SHEET)	GYO	GYPSUM	PERM	PERMANENT	VWC	VINYL WALL COVERING
CPI	CARPET (WALL BASE)	H	HIGH	PI	PI	WEST	WIDE FLANGE SHAPES
CPIW	CARPET (WALL BASE)	HB	HIGH BIB	PEN	PERMANENT METAL FORM	W	WIDE OR WIDTH
CR	CARD RULER	HD	HEAVY DUTY	PNL	PERMANENT SECTION	W	
CR	CHAIR RAIL	HDW	HARDWARE	PL	PROPERTY LINE	W	
CRCMF	CIRCUMFERENCE	HEX	HEXAGON	PL GL	PLATE GLASS	UL	UNIVERSITERS LABORATORIES
CRIT	Critical	HN	HOLLOW METAL	PLAM	PLASTIC LAMINATE	UNO	UNLESS NOTED
CS	COUNTER	HNDRL	HANDL	PLAS	PLASTER	UR	UNRUL
CSK	COUNTER SINK	HOSR	HORIZONTAL	PLUG	PLUG	U/S	UNDERSIDE
CS	CLINIC SERVICE SINK	HPT	HOSPITAL	PLTC	PLASTIC LAMINATE TOILET COMPARTMENT	VAC	VACUUM
CT	CERAMIC TILE	HR	HIGH POINT	PLYD	PLYWOOD	VENT	VENTILATION OR VENTILATING
CTB	COMPUTED TOMOGRAPHY	HSS	HOUSE KEEPING	PNEU	PERMANENT METAL FORM	VEST	VESTIBULE
CTR	CERAMIC TILE BASE	HT	HOLLOW STRUCTURAL SECTIONS	PNL	PERMANENT SECTION	VIF	VERIFY IN FIELD
CTR	CENTER CENTRAL	HTG	HEATING	PORC	PORCELAIN	VIT	VITREOUS
CTRL	CENTERED	HVAC	HEAD-TO-HEAD VENTILATION AIR CONDITIONING				

NEW WORK KEY NOTES - FLOOR PLAN:  
(APPLIES TO ALL ROOMS)

⑩ NEW INDOOR WHEELCHAIR PLATFORM LIFT BY ASCENSION OR EQUAL, 3156 E. FORT LOWELL RD, TUCSON, AZ 85716 MODEL - CLARITY ENCLOSED WHEELCHAIR LIFT, VERTICAL TRAVEL DISTANCE: 34" TO 168", CAPACITY -750 LBS., LIFT FOOTPRINT - 48" X 48", COORDINATE AND VERIFY INSTALLATION WITH MANUFACTURER. REFER TO ARRIVING ON SITE. INCLUDE ADDITIONAL FOUNDATION OR THICKENED SLAB WORK AS REQUIRED FOR NEW LIFT.

⑪ NEW FABRICATED STEEL GUARD AND HANDRAIL FACTORY PRIMED AND FINISHED. USE APPROVED EPOXY ANCHORS FOR INSTALLATION INTO CONCRETE SLABS.

⑫ EXISTING LOWER ENTRY FLOOR AREA. ELEVATE TO MATCH EXISTING HIGHER INTERIOR CONCRETE SLAB PER DETAILS. NEW FLOOR TO BE POURED ON PLAZA ELEVATION. MATCH EXISTING HIGHER INTERIOR FLOOR HEIGHT, +/- 14" ABOVE EXTERIOR FINISH GRADE. VERIFY DIMENSION IN FIELD.

⑬ EXISTING STAIR AREA. INFILL TO MATCH EXISTING HIGHER INTERIOR CONCRETE SLAB PER DETAILS. NEW FINISH FLOOR ELEVATION AND PLAZA ELEVATION TO MATCH EXISTING HIGHER INTERIOR FLOOR HEIGHT, +/- 14" ABOVE EXTERIOR FINISH GRADE. VERIFY DIMENSION IN FIELD.

⑭ INSTALL NEW EXTERIOR ALUMINUM STOREFRONT ENTRY DOOR/WINDOW SYSTEM COMPLETE.

⑮ PROVIDE NEW 12'-0" X 7'-0" OPENING IN EXISTING EXTERIOR WALL. PROVIDE NEW LINTERLASH SHOWN. TOOTH-IN EXISTING MASONRY AS REQUIRED. REWORK AND RELOCATED EXISTING EXTERIOR HOSE BIB. REFER TO MECHANICAL DRAWINGS.

⑯ PATCH EXISTING MASONRY WALL AS REQUIRED AFTER EXISTING WALL CABINET HEATER IS REMOVED. PRIME AND PAINT ENTIRE SPACE.

⑰ ALTERNATE 1: NEW STEEL CANOPY WITH TRANSLUCENT PANEL ROOF.

⑱ NEW 4" CONCRETE HOUSEKEEPING PAD FOR NEW FURNACE. (SEE MECHANICAL PLANS)

⑲ EXISTING 3" STL. TUBE COLUMN AND MASONRY ENCLOSURE TO REMAIN.

⑳ NEW FABRICATED STEEL HANDRAIL FACTORY PRIMED AND FINISHED. USE APPROVED EPOXY ANCHORS FOR INSTALLATION INTO CONCRETE SLABS.

㉑ EXISTING IT CABINET TO REMAIN. PROTECT DURING CONSTRUCTION. REMOVE Plywood BACKING FASTENED TO EXISTING MASONRY WALL AS REQUIRED FOR NEW DOOR AND FRAME INSTALLATION.

㉒ NEW FURNACE INSTALLATION. SEE MECHANICAL DRAWINGS.

㉓ 4" Poured CONCRETE PLAZA SLAB. PROVIDE REINFORCING AS SHOWN ON DRAWINGS. SAWCUT CONTROL JOINTS EVENLY SPACED.

㉔ INSTALL 12" THICK Poured THICKENED CONCRETE PAD WITH W2.9xW2.9 WWF IN THE TOP 3/4 OF THE SLAB OVER VAPOR BARRIER. DRILL AND EPOXY SET #6 12" LONG BARS AT 12" O.C. INTO EXISTING 4" CONCRETE SLAB PRIOR TO POURING NEW THICKENED SLAB.

㉕ ADD (6) ARBORVITAE SHRUBS AROUND NEW CONDENSING UNIT FOR SCREEN. PLANT FAR ENOUGH AWAY FOR PROPER VENTILATION

## DEMOLITION KEY NOTES - FLOOR PLAN:

△ REMOVE EXISTING LANDSCAPE BED AND LANDSCAPING COMPLETE.

△ REMOVE EXISTING LANDSCAPE, STRIP EXISTING GRASS AREA AND REMOVE TOP SOIL. PREPARE AREA FOR BASEMENT EXCAVATION.

△ REMOVE EXISTING WINDOW AND STONE SURROUND COMPLETE. INFILL EXISTING OPENING AS DEPICTED IN DRAWINGS.

△ REMOVE PORTION OF EXISTING EXTERIOR WALL FOR NEW OPENING AS DEPICTED IN DRAWINGS.

△ REMOVE EXISTING FLOOR COVERING AND BASE COMPLETE.

△ REMOVE EXISTING METAL STAIR AND RAILING COMPLETE.

△ REMOVE EXISTING LAY-IN CEILING AND GRID COMPLETE. PREPARE FOR NEW LAY-IN CEILING.

△ REMOVE EXISTING CONCRETE SIDEWALK FOR NEW WORK. VERIFY EXACT DIMENSIONS IN FIELD.

△ REMOVE EXISTING WOOD ENTRY DOOR SYSTEM COMPLETE INCLUDING HARDWARE.

△ REMOVE EXISTING WALL CABINET HEATER. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.

△ REMOVE EXISTING EXTERIOR HOSE BIB. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.

△ REMOVE EXISTING RISERS FOR NEW WORK. REFER TO ARCHITECTURAL DRAWINGS.

△ REMOVE EXISTING HANDRAIL COMPLETE.

△ REMOVE PORTION OF EXISTING 12" CONCRETE MASONRY WALL FOR NEW DOOR OPENING. TOOTH-IN NEW MASONRY BULL-NOSED JAMBS.

△ EXISTING OVERHANG TO REMAIN. STRIP BACK EXISTING BUILT UP ROOF, METAL FASCIA AND COPING COMPLETE IN PREPARATION FOR NEW CONSTRUCTION. TEMP IN EXISTING ROOF AS REQUIRED TO KEEP EXISTING SPACE WATERTIGHT.

△ REMOVE EXISTING OVERHANG COMPLETE FOR NEW CONSTRUCTION. STRIP BACK EXISTING BUILT UP ROOF, METAL FASCIA AND COPING COMPLETE. CUT 2x's BACK SO IT'S FLUSH WITH FACE OF BUILDING. TEMP IN EXISTING ROOF AS REQUIRED TO KEEP EXISTING SPACE WATERTIGHT.

△ REMOVE EXISTING STONE SURROUND COMPLETE. PREPARE FOR NEW BRICK INSTALLATION. TOOTH IN NEW BRICK AS SHOWN OR DRAWINGS.

△ REMOVE EXISTING MASONRY AND SHORE AS REQUIRED FOR NEW WORK.

△ REMOVE EXISTING 12"x12" CEILING TILE SYSTEM.

△ REMOVE EXISTING SOFFIT MATERIAL AS REQUIRED FOR NEW WORK.

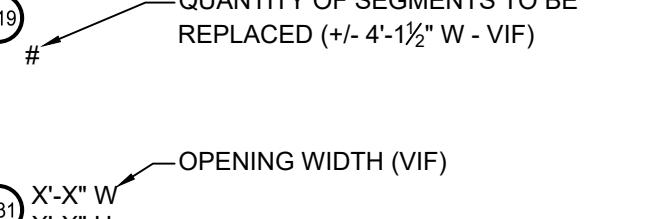
△ REMOVE PORTION OF EXISTING SOFFIT BACK TO EXISTING 2x10 FOR NEW WORK. STRIP BACK EXISTING BUILT UP ROOF, METAL FASCIA AND COPING COMPLETE. TEMP IN EXISTING ROOF AS REQUIRED TO KEEP EXISTING SPACE WATERTIGHT.

△ REMOVE PORTION OF EXISTING CONCRETE SLAB AS REQUIRED FOR NEW THICKENED SLAB PER MANUFACTURES REQUIREMENTS.

NEW WORK PLAN - GENERAL NOTES:  
(APPLIES TO ALL ROOMS)

- ALL DIMENSIONS TO EXISTING ELEMENTS TO BE CONSIDERED +/- (V.I.F.)
- PATCH, PRER. & PAINT ALL AREAS DISTURBED BY CONSTRUCTION.
- REMOVE, SALVAGE, & REINSTALL ALL EXIST SIGNAGE ON EXIST DOORS TO BE REPLACED (VIF).
- PREP & PAINT EXISTING CONSTRUCTION TO MATCH EXISTING AT ALL ADDED DECKS, MECH & ELEC FIXTURES (I.E. SURFACE MOUNTED LIGHTS, EXIT LIGHTING, ELEC PANELS, ETC.)
- REMOVE & REPLACE EXISTING ACOUSTIC CEILING TILES, GRILLES, REGISTERS, AND DIFFUSERS AS REQUIRED FOR NEW WORK - SEE MEC & ELEC DWGS.
- ALL NEW COUNTERTOPS OF ALL NEW PLASTIC LAMINATE COUNTERTOP TO HAVE A RADIUS.
- SEE PLANS FOR LOCATION TO MATCH EXISTING (VIF) IN AREAS OF NEW WORK.
- IN AREAS TO RECEIVE NEW FLOORING, CONTRACTOR TO PROTECT EXISTING TECHNOLOGY EQUIPMENT TO REMAIN (E.G. PROJECTORS, DIGITAL DISPLAYS, SOUND SYSTEM AMPLIFIERS, WIRELESS ACCESS POINTS, ETC.) IN EACH ROOM AFFECTED - BY OTHERS.
- NOVEMBER 2025. CONTRACTOR TO TEMPORARILY SUPPORT & PROTECT EXISTING TECHNOLOGY EQUIPMENT TO REMAIN AS REQUIRED FOR NEW WORK IN EACH ROOM AFFECTED - BY OTHERS.
- REMOVE & RELOCATE (1) EXIST LIGHT FIXTURE PER VUV AS REQUIRED FOR NEW WORK - SEE MEC & ELEC DWGS.
- EXIST FLOORING OVER EXIST CLEAN OUT / MONUMENT COVERS TO BE REMOVED AS NOTED FOR REST OF ROOM. NEW LVT TO BE TRIMMED AROUND EXIST CLEAN OUT / MONUMENT COVER & APPLIED TO CLEAN OUT / MONUMENT COVER TO MATCH EXIST CONDITION.

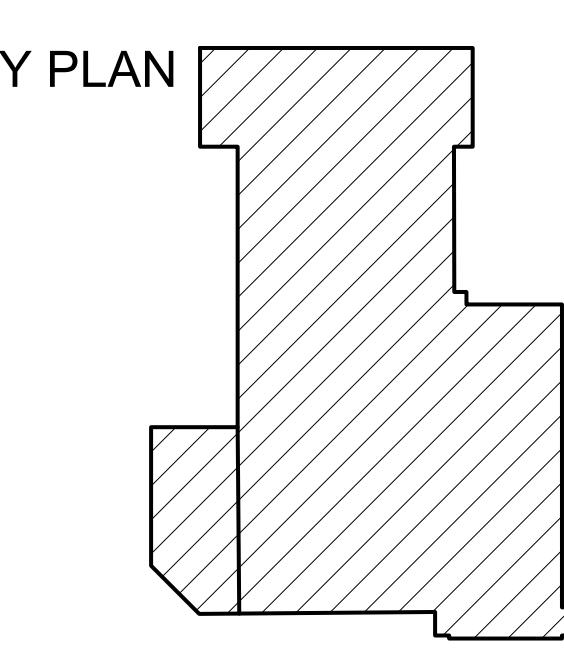
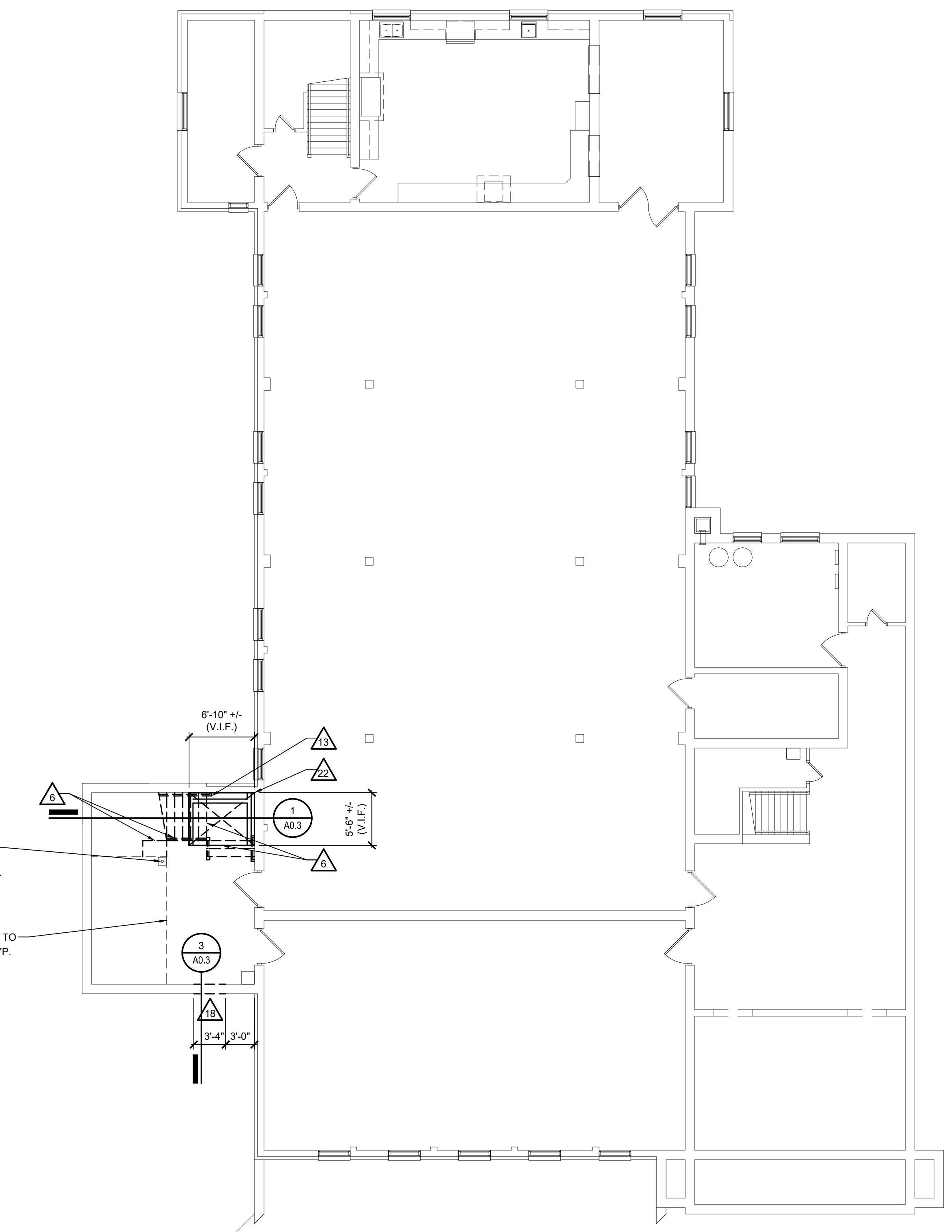
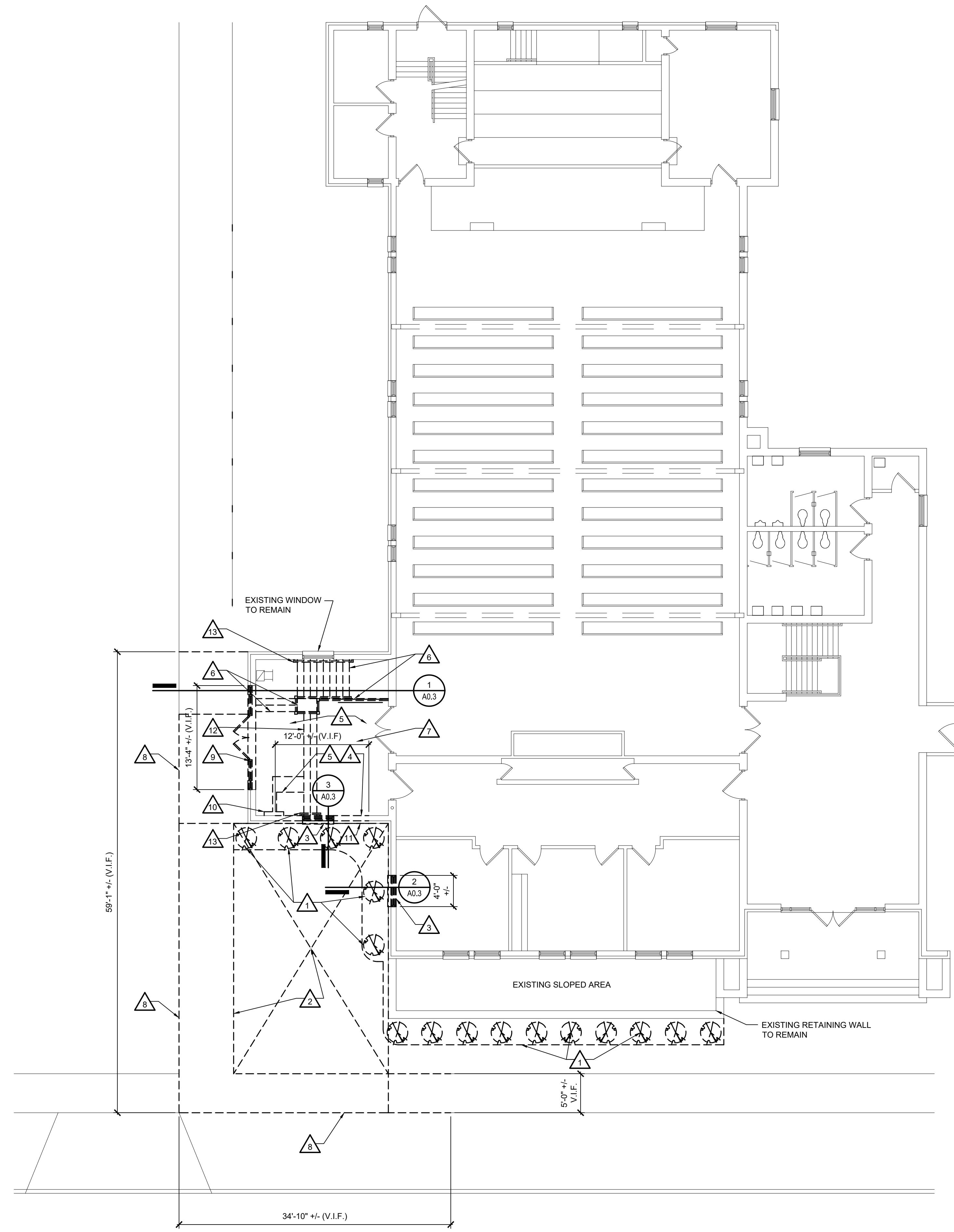
## KEY NOTES LEGEND:

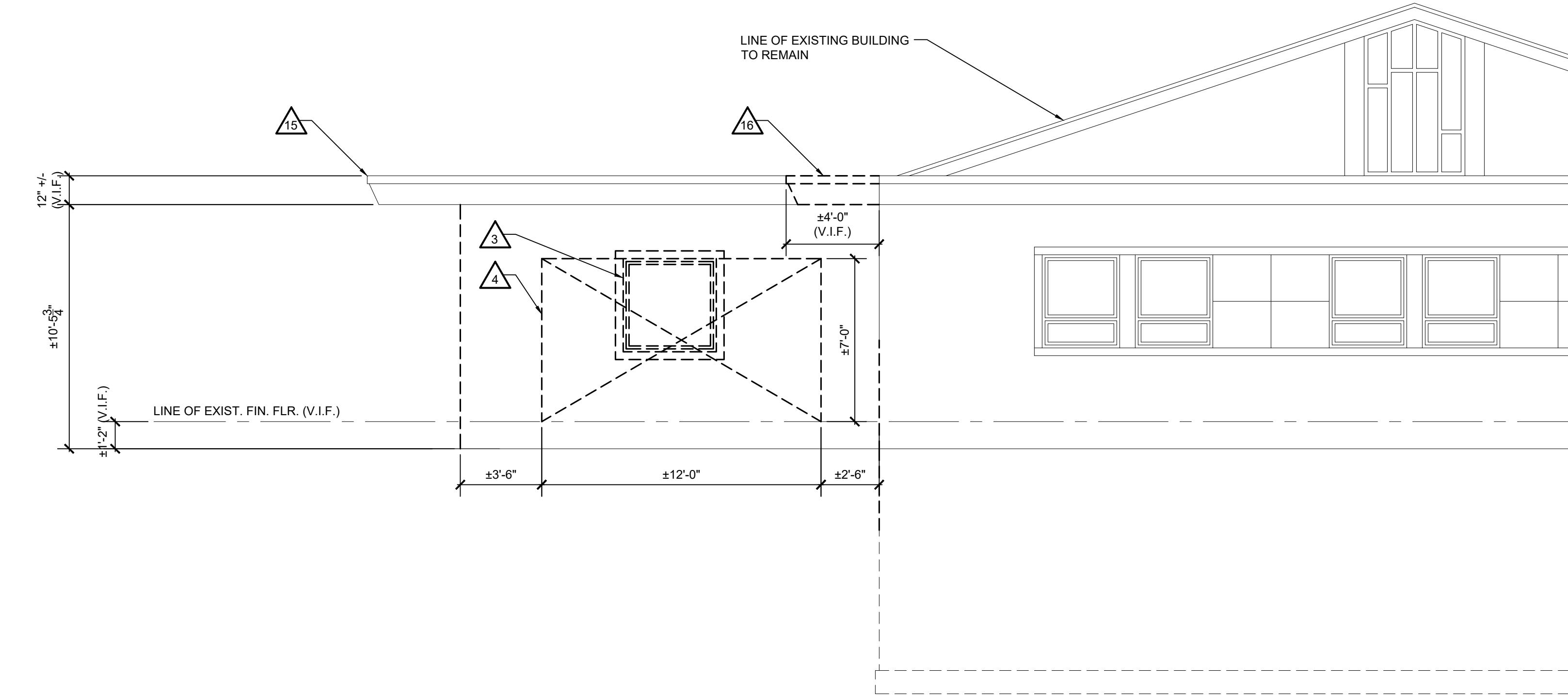


FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335

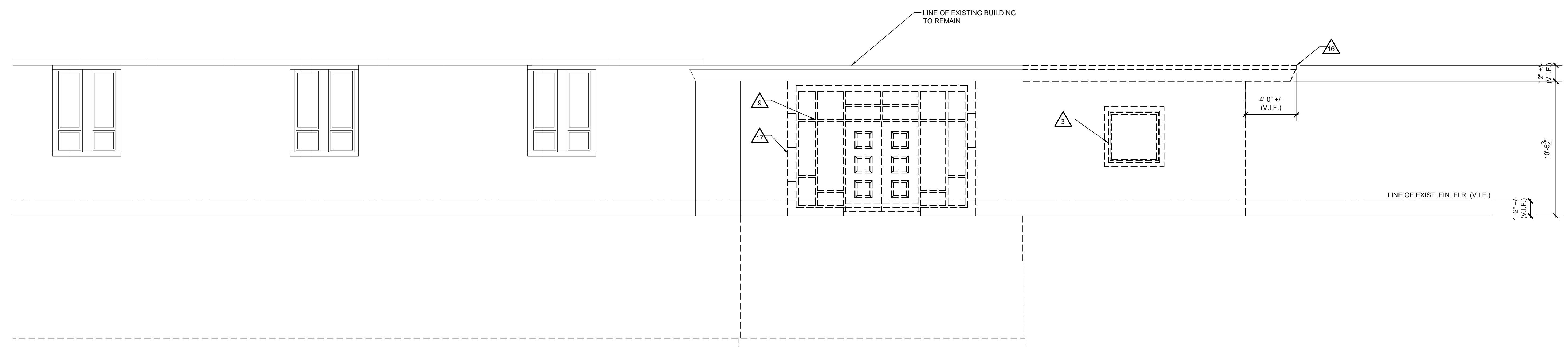
DEMOLITION PLANS

PRELIMINARY	<input type="checkbox"/>
DESIGN DEVELOPMENT	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
FINAL RECORD	<input type="checkbox"/>
DRAWN BY	DCW/JMW
CHECKED BY	DCW/BS
REVISIONS	
DATE:	JUNE 27, 2025
SHEET NO.	
JOB NO.	A0.1
232004	





2 PARTIAL DEMOLITION SOUTH ELEVATION  
A0.2 SCALE: 1/4" = 1'-0"



1 PARTIAL DEMOLITION WEST ELEVATION  
A0.2 SCALE: 1/4" = 1'-0"

FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335

PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD   
DRAWN BY DCW/JMW  
CHECKED BY DCW/BJS  
REVISIONS

DATE: JUNE 27, 2025  
SHEET NO.

A0.2

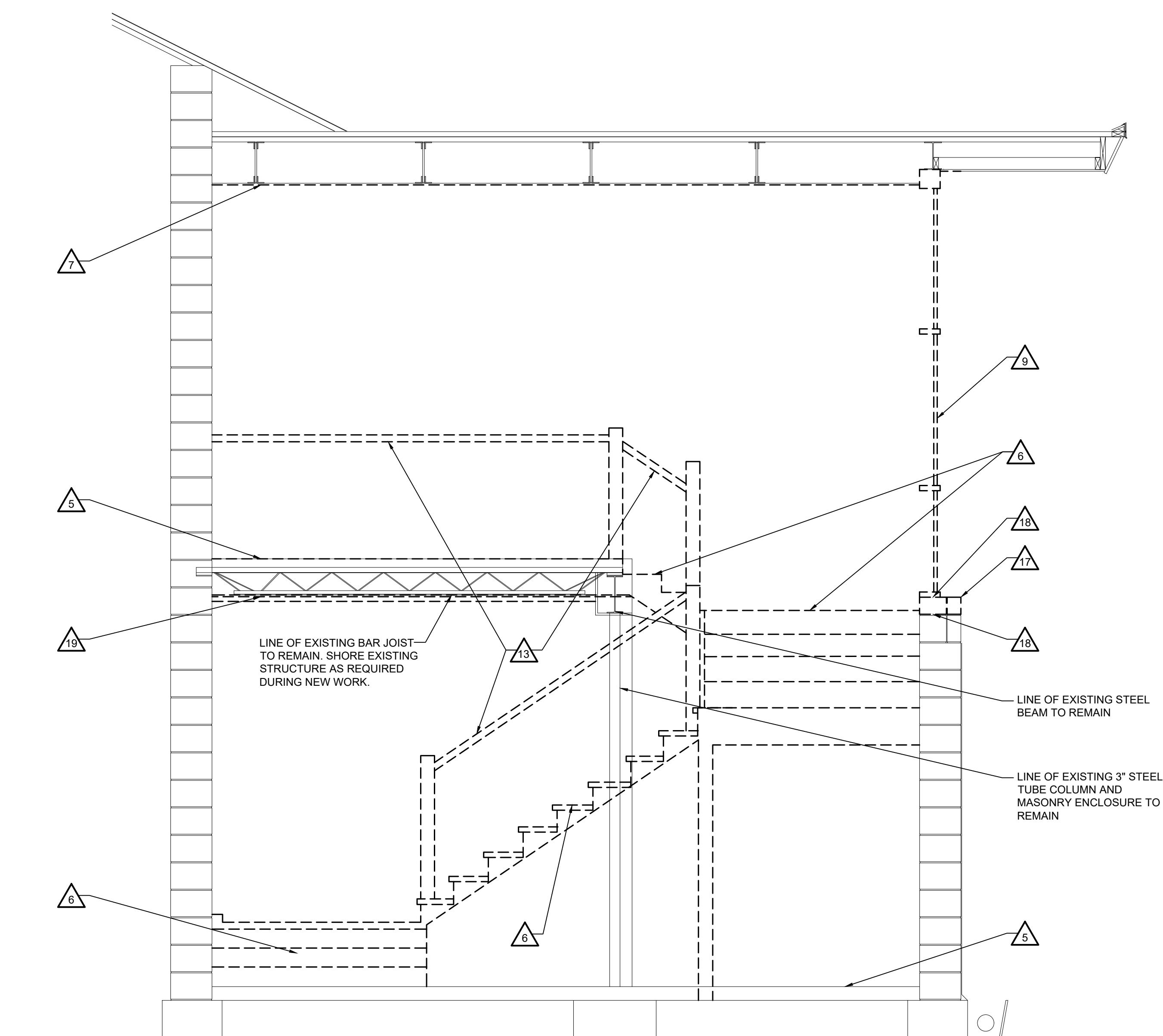
JOB NO. 232004

FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335

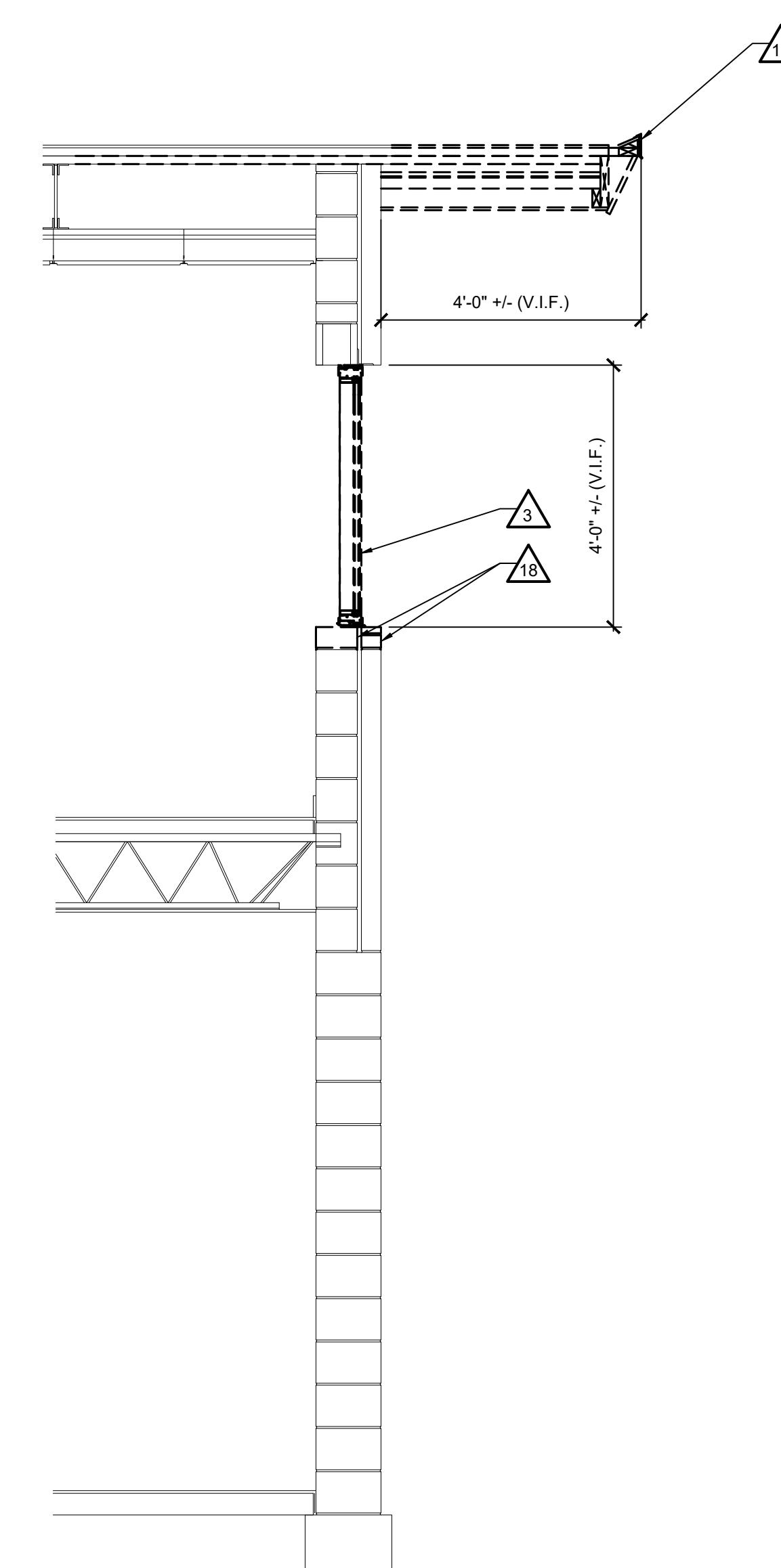
DATE: JUNE 27, 2025

SHEET NO.

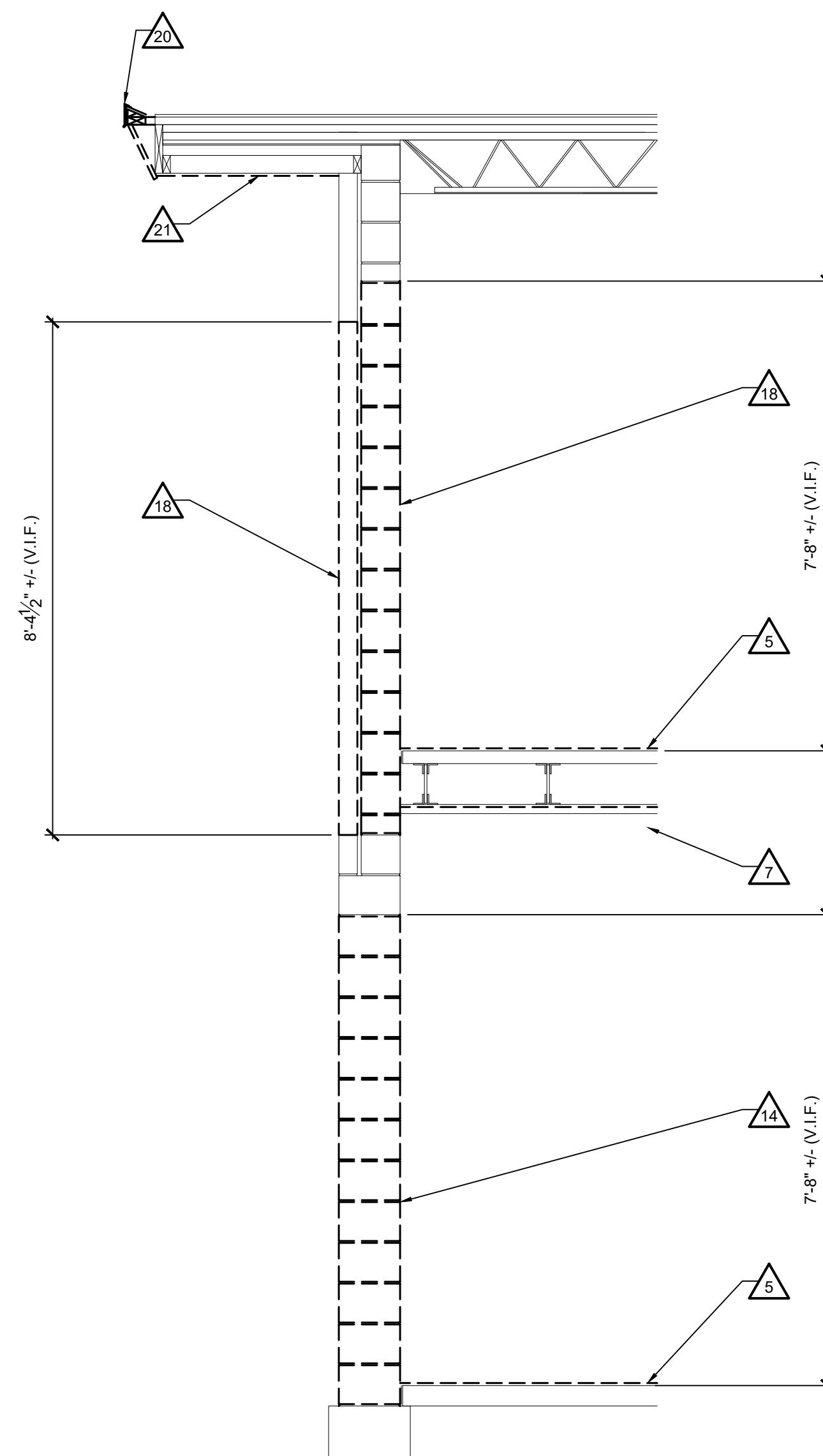
A0.3

JOB NO.  
232004

1 DEMOLITION WALL SECTION  
A0.3 SCALE: 1/2" = 1'-0"



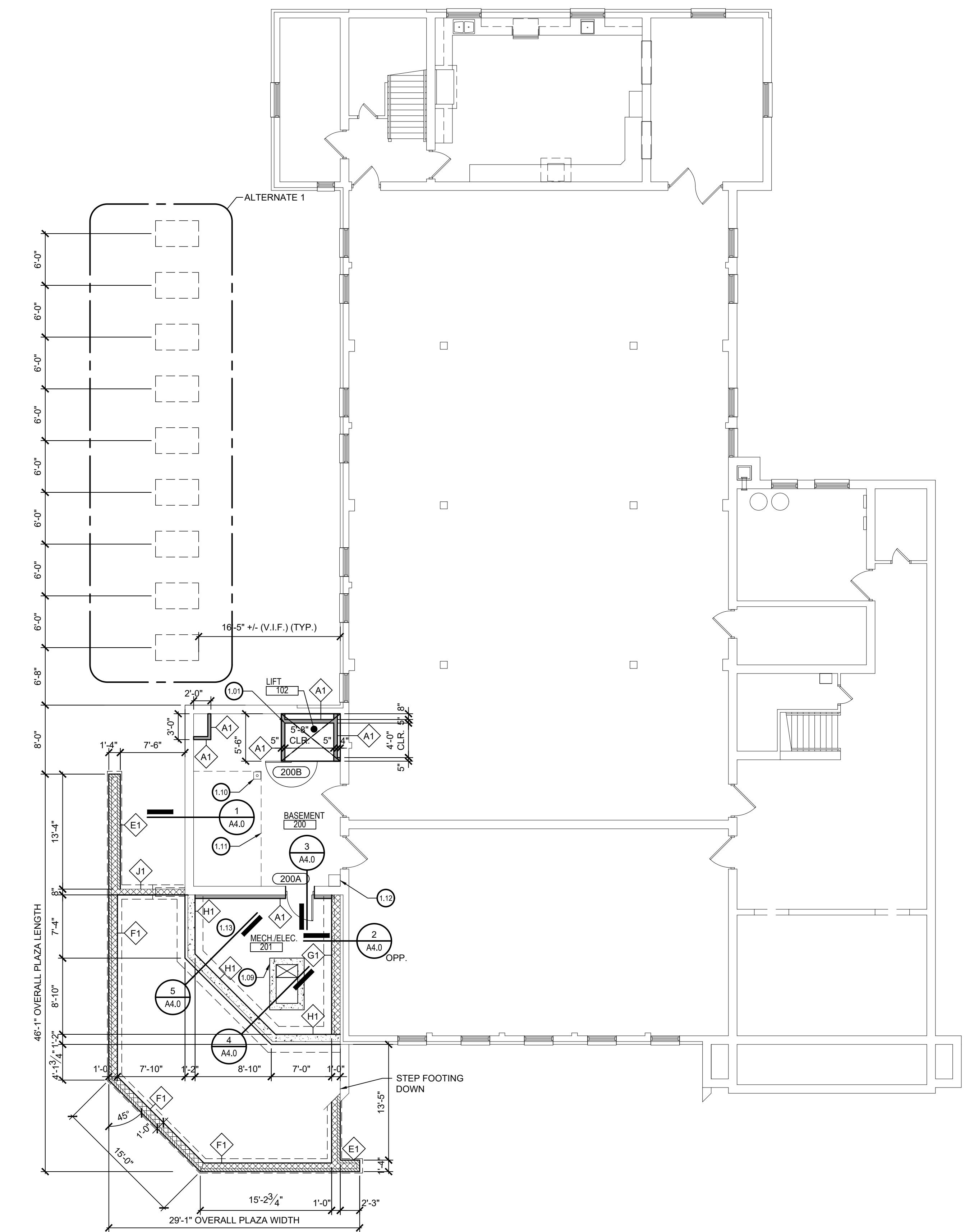
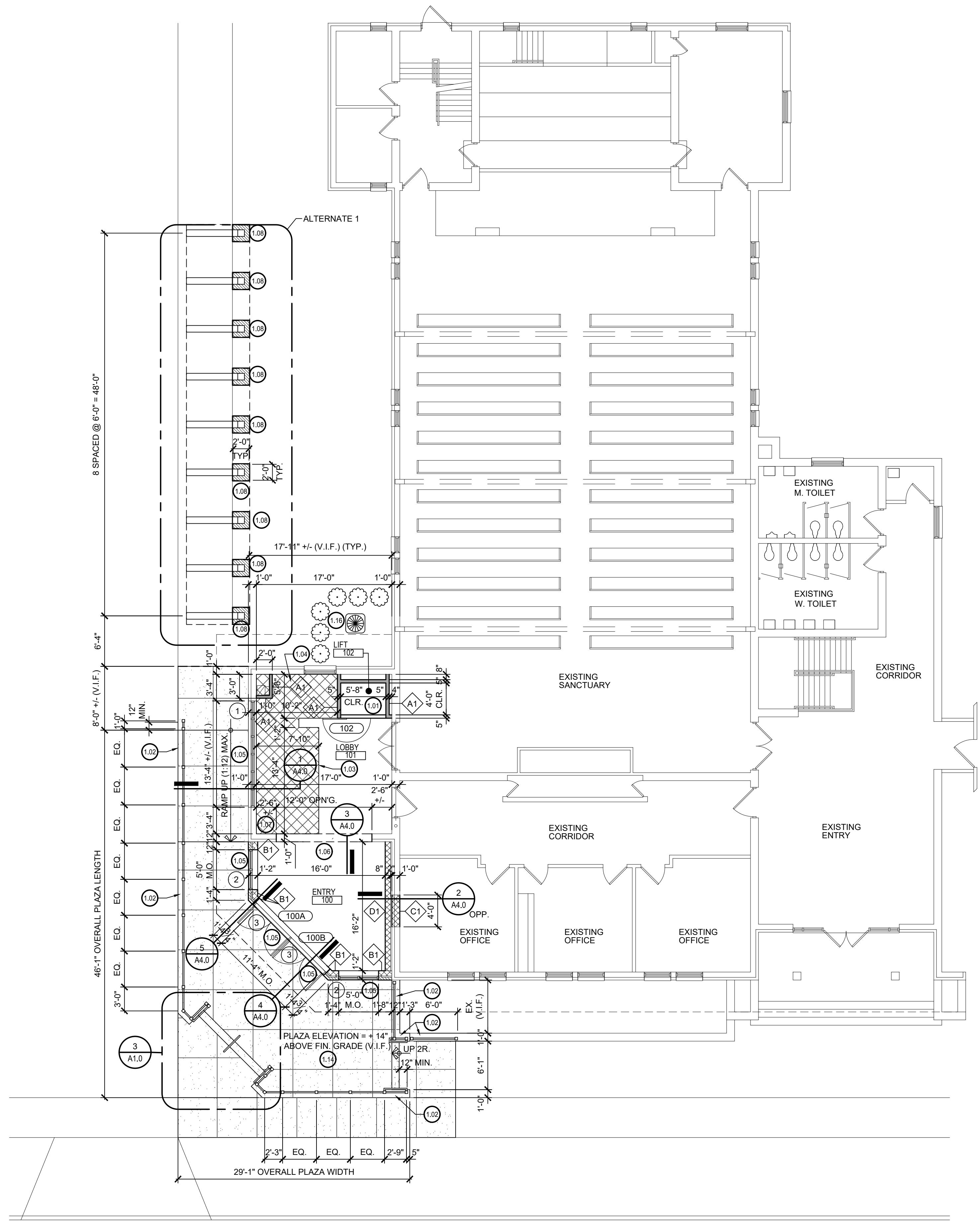
2 DEMOLITION WALL SECTION  
A0.3 SCALE: 1/2" = 1'-0"



3 DEMOLITION WALL SECTION  
A0.3 SCALE: 1/2" = 1'-0"

PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD   
DRAWN BY DCW/JMW  
CHECKED BY DCW/B  
REVISIONS

30500 VAN DYKE AVENUE  
SUITE 200  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
www.WakelyAIA.com



**N**  **2** **NEW WORK - MAIN LEVEL PLAN**  
A1.0 **SCALE: 1/8" = 1'-0"**

## WALL LEGEN

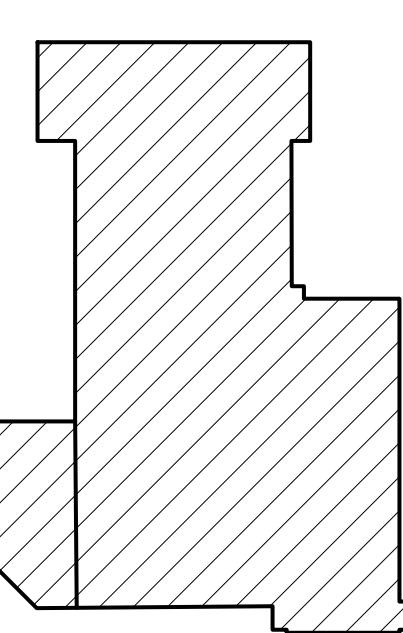
**NOTES:**

-   3  $\frac{5}{8}$ " HEAVY GAUGE CFMF @ 16" O.C. W/  $\frac{5}{8}$ " TYPE 'X' GYP. BRD. EACH SIDE WHERE APPLICABLE
-   CAVITY WALL - 8" CONCRETE BLOCK ON 2" RIGID POLYSTYRENE INSULATION OVER 4" BRICK VENEER
-   8" CONCRETE BLOCK W/ 2" AIRSPACE BETWEEN EXISTING WALL
-   8" CONCRETE BLOCK ON OVER 4" BRICK VENEER
-   4" BRICK VENEER ON 8" CONCRETE BLOCK OVER 4" BRICK VENEER (4" CONCRETE BLOCK WITH DAMP PROOFING WHERE BURIED.)
-   4" BRICK VENEER ON 8" CONCRETE BLOCK WITH DAMP PROOFING WHERE BURIED.
-   12" CONCRETE BLOCK
-   14" POURED CONCRETE WALL
-   8" CONCRETE BLOCK WITH DAMP PROOFING WHERE BURIED.

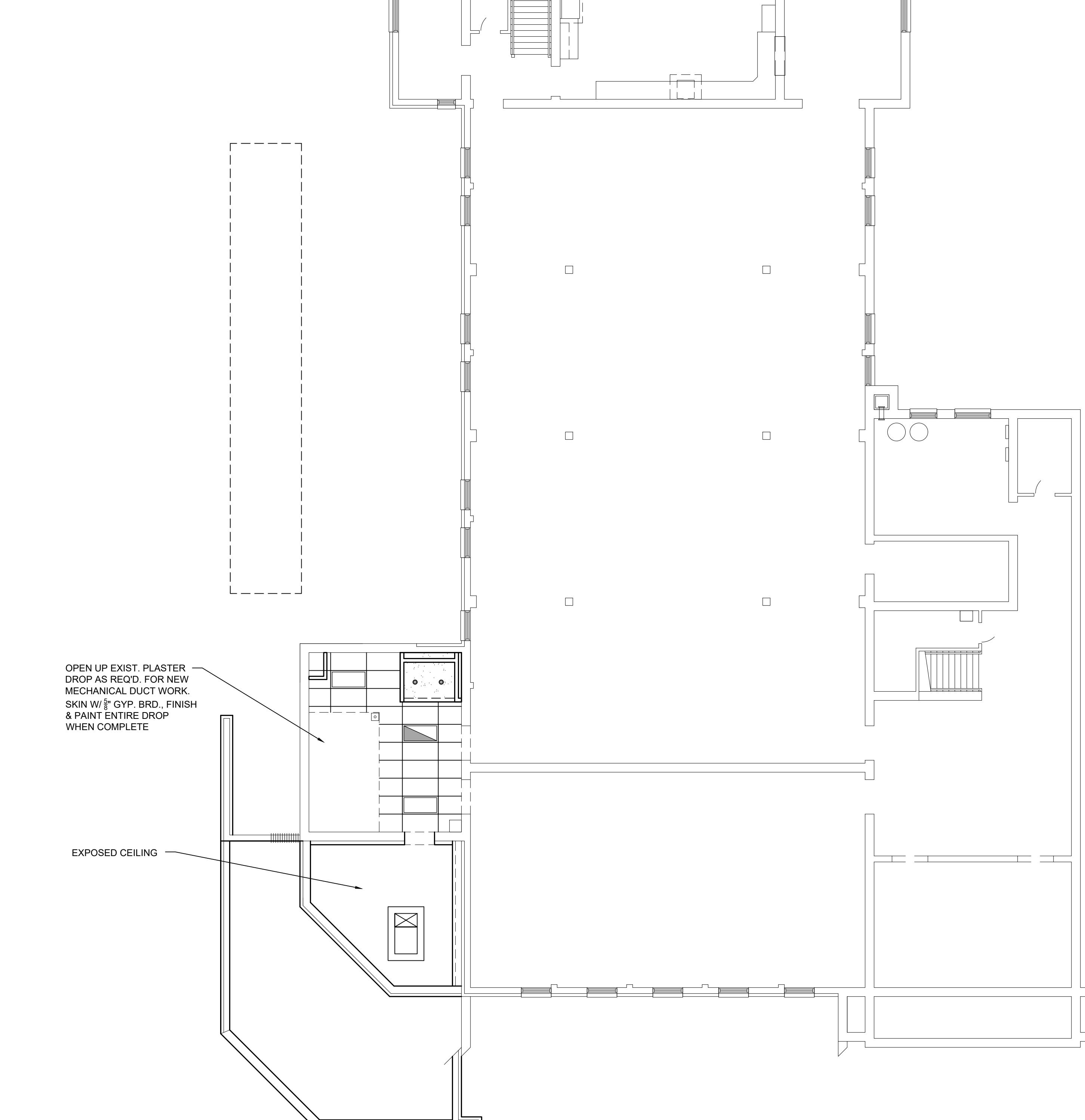
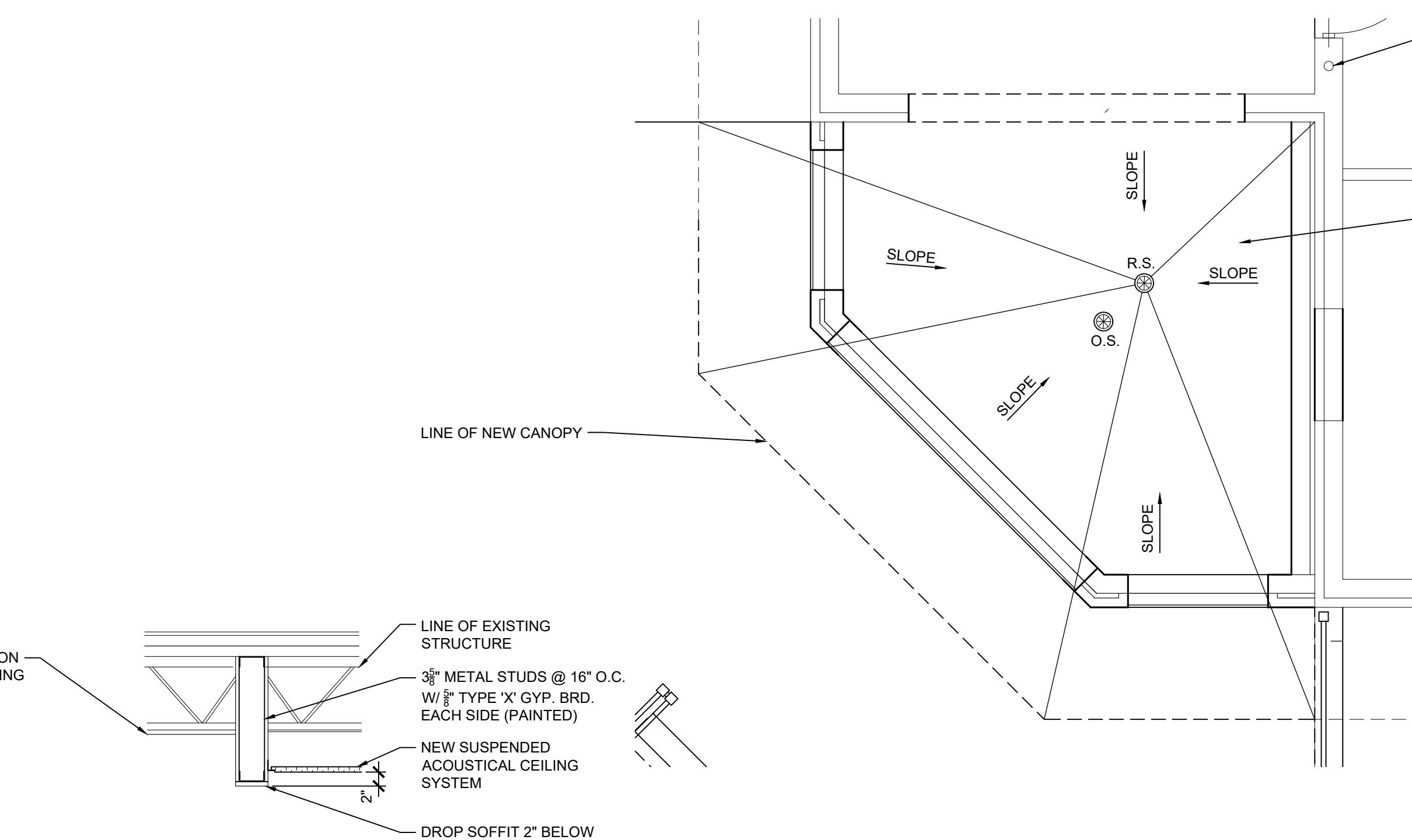
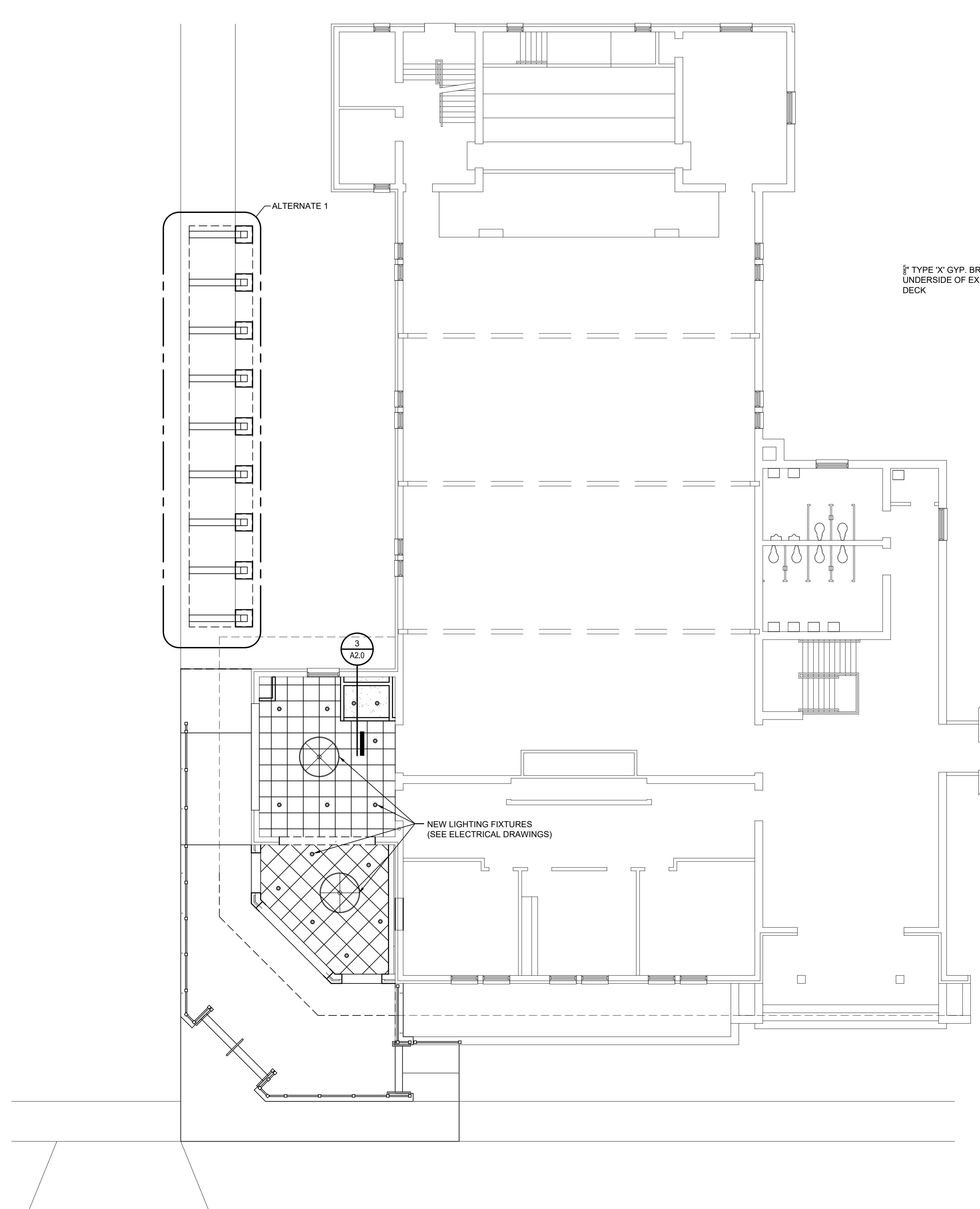
**N**  1 NEW WORK - BASEMENT PLAN  
A1.0 SCALE: 1/8" = 1'-0"

A1.0 SCALE: 1/8" = 1'-0"

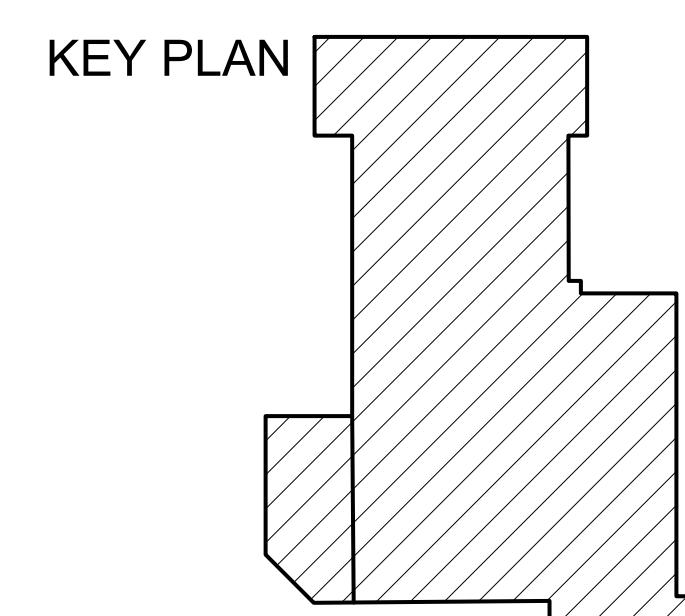
## KEY PLAN

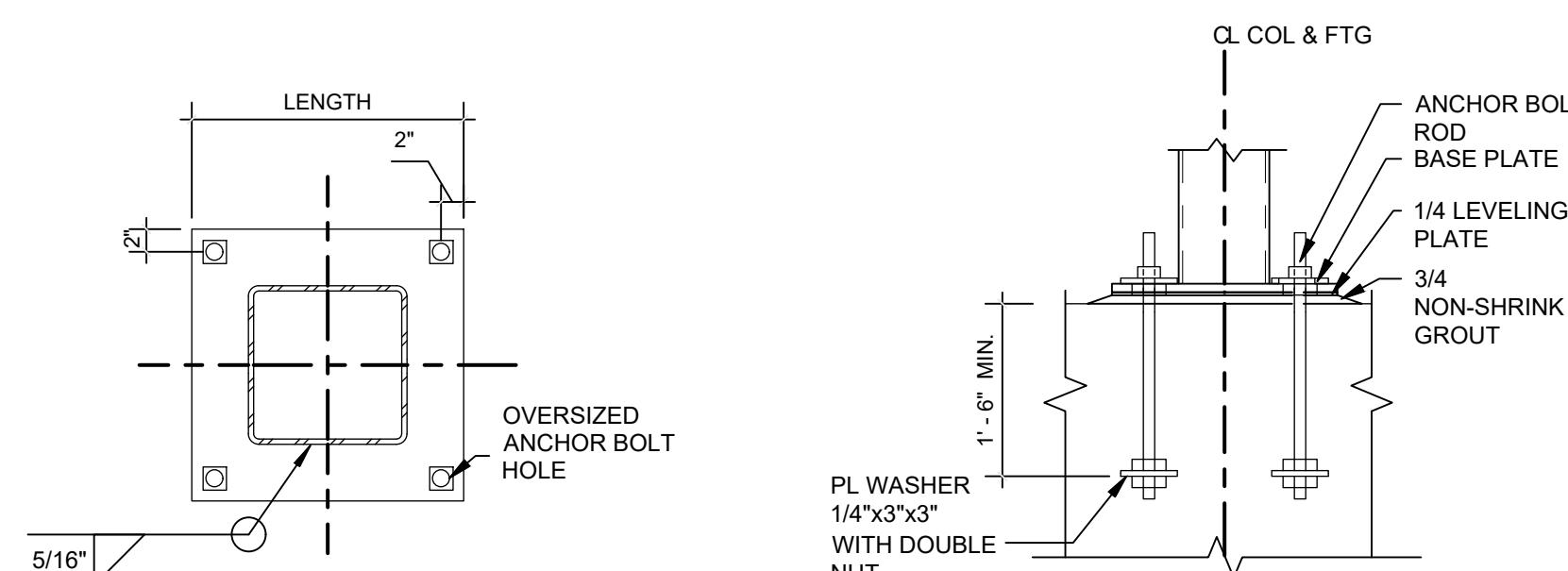


DATE: JUNE 27, 2025
SHEET NO.
A1.0
JOB NO.
232004



REFLECTED CEILING PLAN - BASEMENT LEVEL  
2 A2.0  
SCALE: 1/8" = 1'-0"



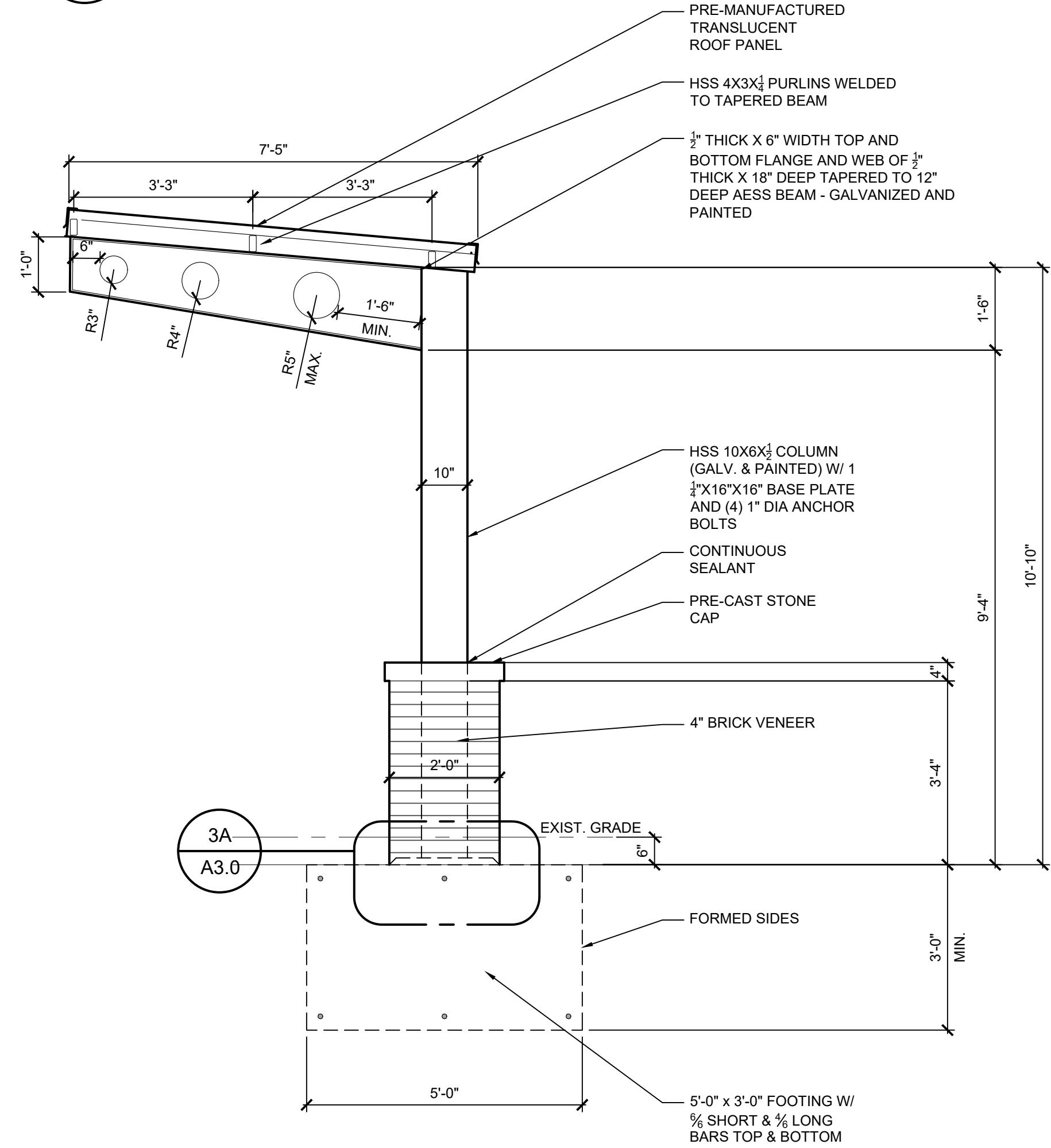


PLA

## ELEVATIO

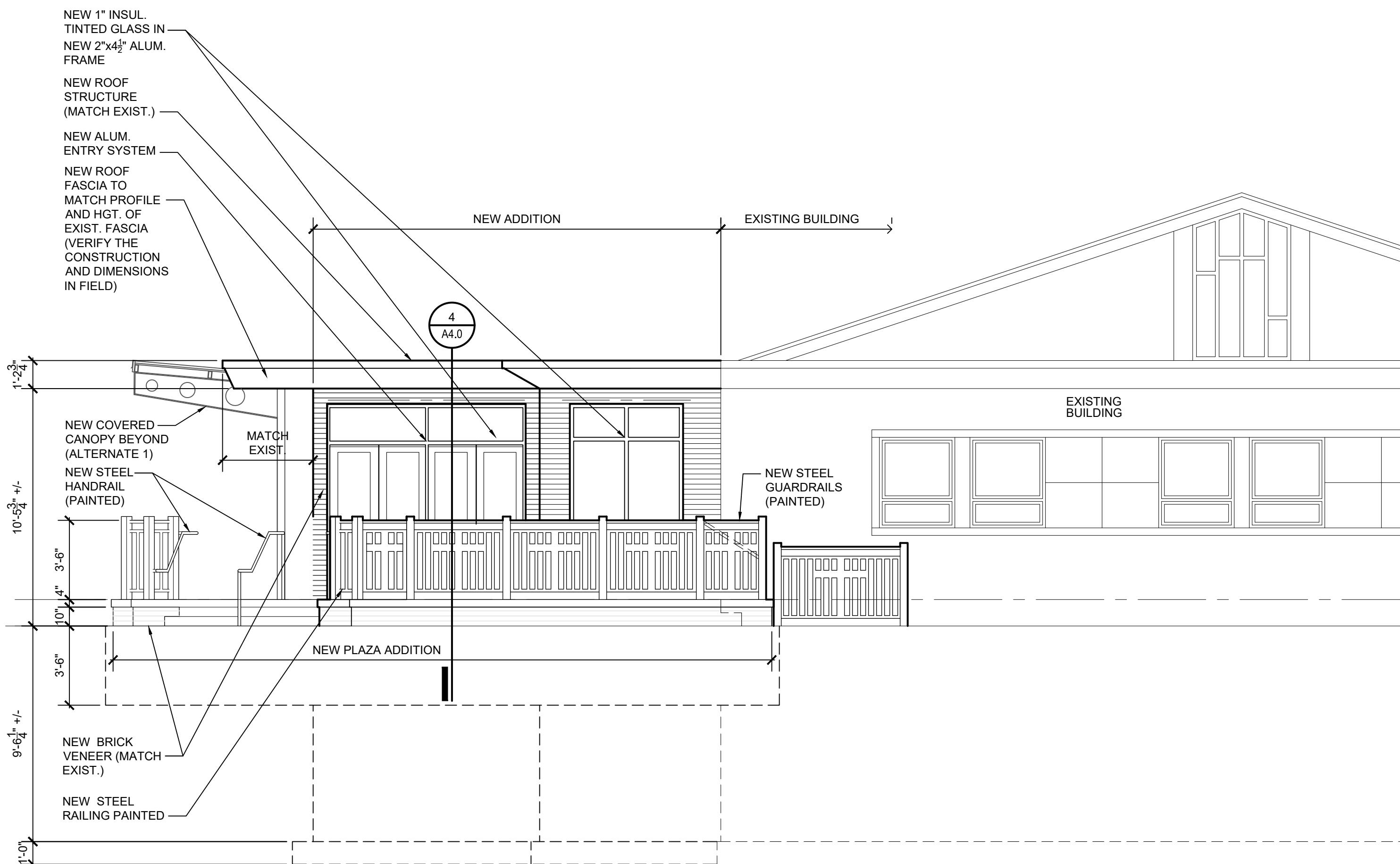
3A ALT. 1 CANOPY ELEVATION  
A3.0 SCALE 1/16" = 1'0"

A3.0 SCALE: 1/4" = 1'-0"



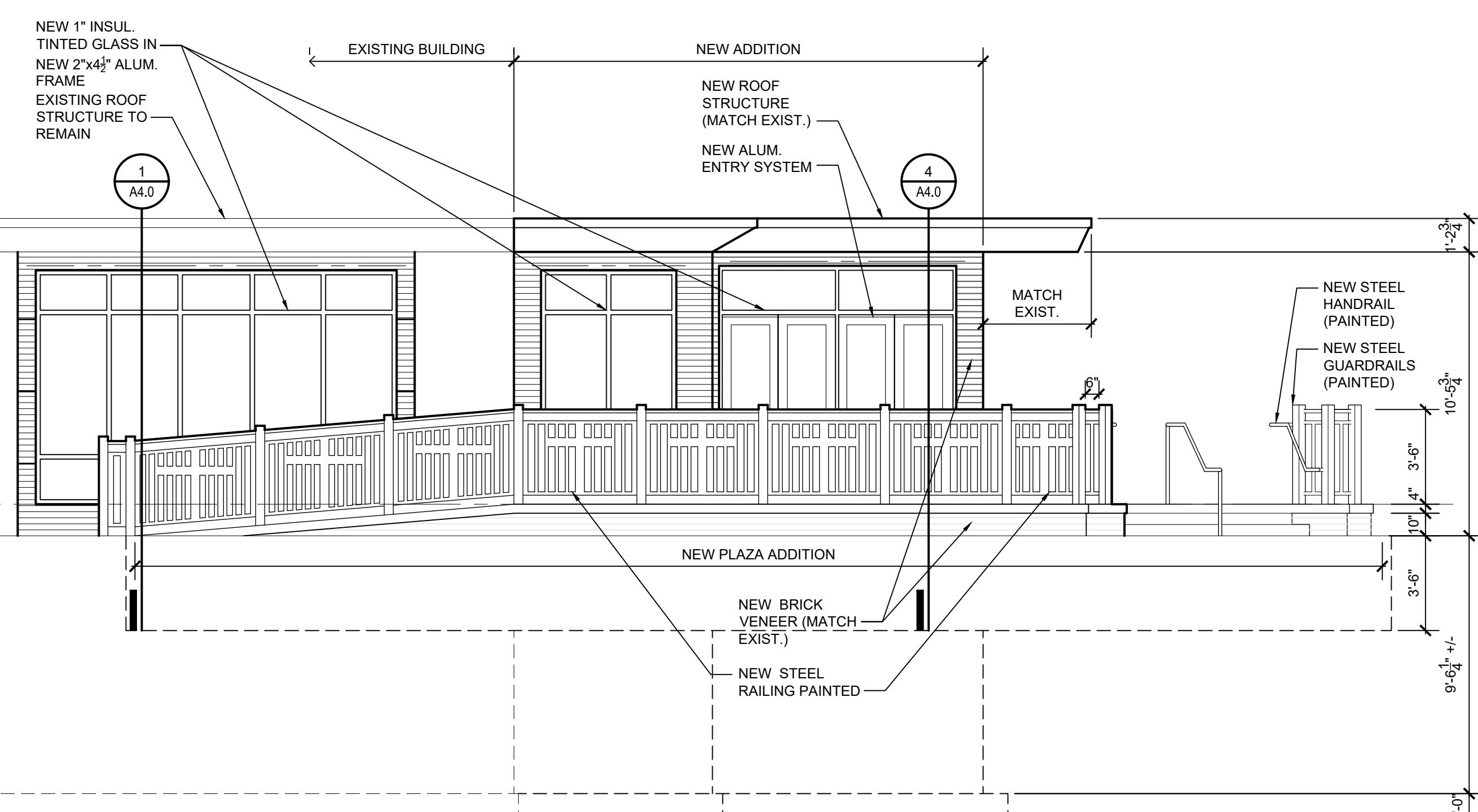
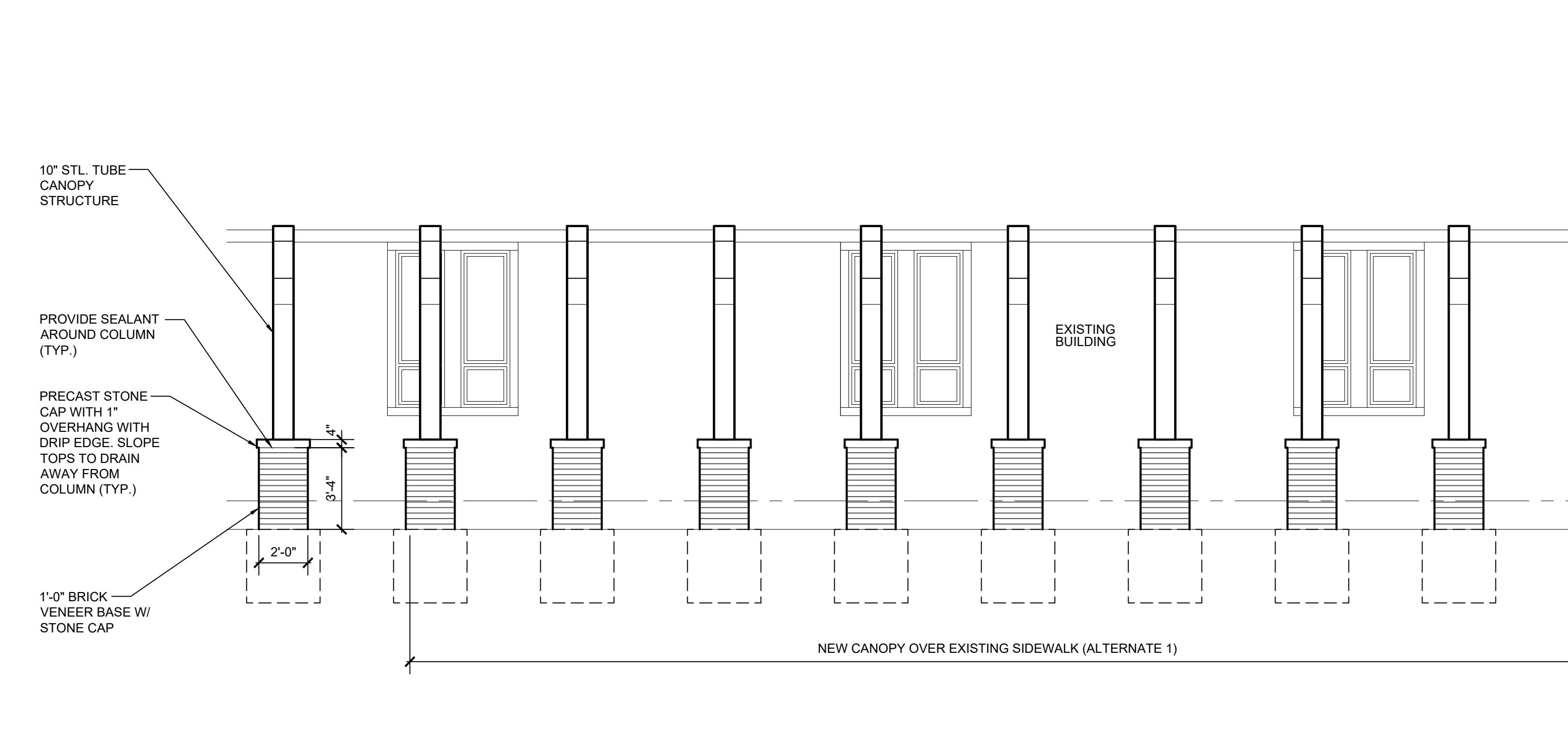
3 ALT. 1 CANOPY ELEVATION

A3.0 SCALE: 1/4" = 1'-0"



2 PARTIAL SOUTH ELEVATION

A3.0





**PARTIAL WEST ELEVATION**

1

A3.0

SCALE: 1/4" = 1'-0"

SCORE: 1/4 - 1-0



FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335DOOR, FINISH, AND SIGNAGE  
SCHEDULESPRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD DRAWN BY DCW/JMW  
CHECKED BY DCW/B/S  
REVISIONSDATE: JUNE 27, 2025  
SHEET NO.A9.1  
JOB NO. 232004

ROOM FINISH SCHEDULE											
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS	
				NORTH	SOUTH	WEST	EAST	MAT'L	HGT.		
100	ENTRY	LVT	4RB	ETR	PT	PT	PT	ACT	9'-0"	1,2,3,4	
101	LOBBY	LVT	4RB	PT	PT	PT	PT	ACT	8'-8"	1,2,3,4	
102	LIFT SHAFT	EC	-	PT	PT	PT	PT	GB	VARIABLES	1,2,4,5,6	
200	BASEMENT	LVT	4RB	PT	PT	PT	PT	ACT	9'-0"	1,2,3,4	
201	MECH/ELEC.	LVT	4RB	PT	PT	PT	PT	ES	10'-0"	1,2	

ABBREVIATIONS											
ACT	ACOUSTICAL CEILING TILE AND GRID	PT	PAINT								
CMU	CONCRETE MASONRY UNITS	GL	GLASS								
CT	CERAMIC TILE	DP	DEMOUNTABLE PARTITION								
ETR	EXISTING TO REMAIN	LW	LINEAL WOOD								
EP	EPOXY PAINT	ES	EXPOSED STRUCTURE								
GB	GYPSUM BOARD	WOC	WALK-OFF CARPET								
AS	ACOUSTICAL SPRAY ON DECK	RB	4" RESILIENT COVE BASE								
CPT	CARPET	EPT	EPOXY PAINT								
LVT	LUXURY VINYL TILE	EC	EXPOSED CONCRETE								

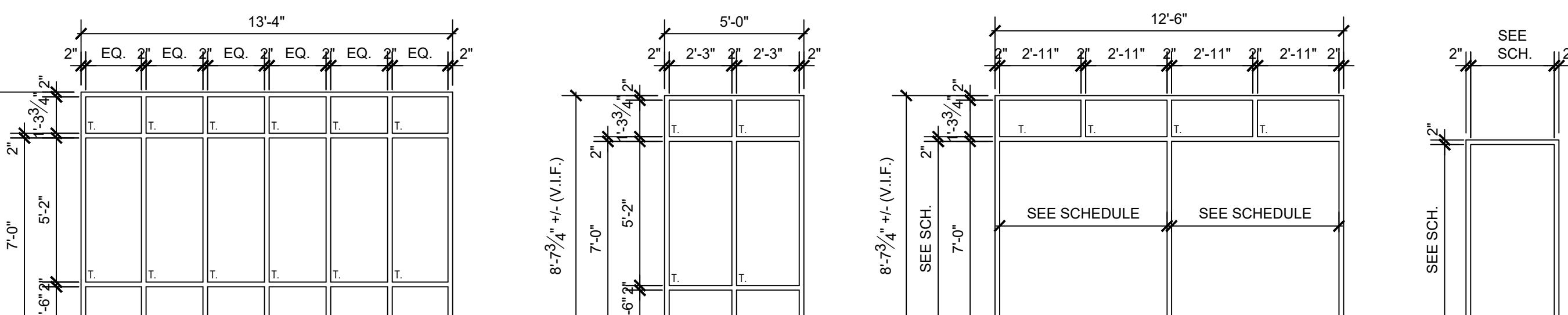
REMARKS - ROOM SCHEDULE											
1	VERIFY ALL FINISH CEILING HEIGHTS IN FIELD. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES PRIOR TO INSTALLATION.										
2	CAULK FLOORING AS IT MEETS DISSIMILAR MATERIALS										
3	PATCH AND REPAINT ALL EXISTING WALLS AS REQUIRED.										
4	PROVIDE AND INSTALL ALL REQUIRED FLOOR TRANSITIONS, PIECES, AND THRESHOLDS										
5	INSTALL GYP. BRD. TIGHT TO UNDERSIDE OF EXISTING DECK. IN LIFT SHAFT.										
6	PROVIDE LVT AND 4RB FOR INSIDE OF WHEELCHAIR LIFT.										

DOOR SCHEDULE											
DOOR OPENING			DOOR			FRAME			THRESHOLD		
NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	U.L. LABEL	REMARKS	
100A	2'-3"-0"	7'-0"	G	AL	PFN	3	AL	PFN	AL	-	1,3
100B	2'-3"-0"	7'-0"	G	AL	PFN	3	AL	PFN	AL	-	1,3
102	3'-0"	7'-0"	-	AL	PFN	-	AL	PFN	-	-	2
200A	3'-0"	6'-10"	F	HM	PT	4	HM	PT	-	-	3
200B	3'-0"	7'-0"	-	AL	PFN	-	AL	PFN	-	-	2

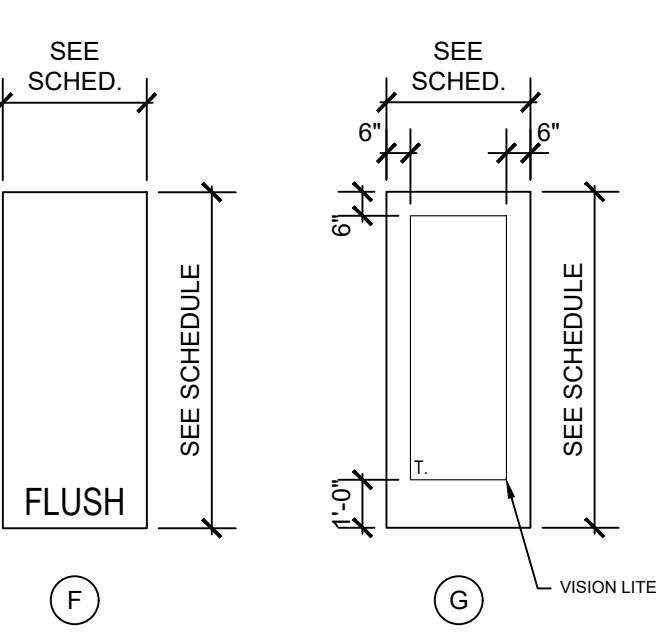
REMARKS - DOOR SCHEDULE											
1	PROVIDE 1" INSULATED LAM. LOW E GLASS (TEMPERED) IN ALL EXTERIOR DOOR/WINDOW OPENINGS										
2	ALUMINUM DOOR ASSEMBLY SUPPLIED THROUGH WHEELCHAIR LIFT MANUFACTURER.										
3	PROVIDE ALL REQUIRED HARDWARE FOR DOOR OPENING, INCLUDING BUT NOT LIMITED TO CONTINUOUS HINGES, PANIC DEVICES, CYLINDERS, CORES, KICK PLATES AND CLOSERS.										

ABBREVIATIONS											
AL	ALUMINUM										
HM	HOLLOW METAL										
PFN	PRE-FINISHED										
PT	PAINT										
MAR	MARBLE										
ST	STAIN										
WD	WOOD										
T.	TEMPERED										

## FRAME ELEVATIONS:



## DOOR ELEVATIONS:

DATE: JUNE 27, 2025  
SHEET NO.A9.1  
JOB NO. 232004

## STRUCTURAL GENERAL NOTES:

## SPECIAL INSPECTION NOTES

1. SPECIAL STRUCTURAL INSPECTIONS SHALL COMPLY WITH CHAPTER 17 OF THE MICHIGAN BUILDING CODE.
2. SPECIAL STRUCTURAL INSPECTION IS REQUIRED IN ADDITION TO ANY INSPECTIONS REQUIRED BY THE LOCAL BUILDING DEPARTMENT OR GOVERNING OFFICIAL.
3. SPECIAL STRUCTURAL INSPECTIONS SHALL BE PERFORMED ON, BUT ARE NOT LIMITED TO, THE FOLLOWING ITEMS:
4. STRUCTURAL WELDING: PER SECTION 1705.2.1.
- A. ALL WELDING INSPECTIONS SHALL BE COMPLETED BY AN AWS CERTIFIED INSPECTOR.
- B. ALL WELDS SHALL BE VISUALLY INSPECTED. 100% OF ALL GROOVE WELDS SHALL RECEIVE RADIOGRAPHIC OR ULTRASONIC TESTING. MAGNETIC PARTICLE TEST 20% OF ALL FILLET WELDS.
- C. NON-DESTRUCTIVE TESTING OF ALL COMPLETE PENETRATION WELDS.
- D. VERIFICATION OF CURRENT WELDER'S CERTIFICATION
- E. WELD INSPECTION OF SHOP FABRICATIONS.
5. HIGH STRENGTH BOLTING: PER SECTION 1705.2.1
- A. VERIFICATION OF SNUG TIGHT OR SLIP-CRITICAL INSTALLATION AS PER PLANS.
- B. VERIFICATION IN PLANS WHERE/IF A325-X BOLTS ARE REQUIRED.
6. CONCRETE: PER SECTION 1705.3
- A. DURING THE TAKING OF TEST SPECIMENS.
- B. DURING THE PLACEMENT OF REINFORCED CONCRETE.
- C. POSITION OF ALL REINFORCING STEEL, ANCHOR BOLTS, AND EMBED PLATES PRIOR TO AND DURING THE PLACEMENT OF THE CONCRETE.
- D. ERECTION OF PRECAST CONCRETE MEMBERS.
7. STRUCTURAL MASONRY: PER SECTION 1705.4
- A. SPECIAL INSPECTION SHALL BE PERFORMED ON ALL STRUCTURAL MASONRY IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 530.1.
- B. DURING THE PREPARATION OF PRISMS.
- C. DURING THE PLACEMENT OF MASONRY UNITS.
- D. DURING THE ERECTION OF REINFORCING STEEL AND STEEL EMBEDS.
- E. IMMEDIATELY PRIOR TO THE CLOSING OF ALL CLEANOUTS.
- F. ALL CELLS TO BE GROUTED SHALL BE INSPECTED PRIOR TO GROUT PLACEMENT TO INSURE THE GROUT CELLS ARE FREE OF EXCESS MORTAR AND CONSTRUCTION DEBRIS.
8. EXPANSION, EPOXY AND ADHESIVE ANCHORS
- A. DURING THE PLACEMENT OF ALL ANCHORS.
- B. ALL ANCHORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND APPLICABLE IBC REPORTS.
9. SOILS: PER SECTION 1705.6
- A. VERIFICATION OF ADEQUATE DESIGN BEARING CAPACITY.
- B. DURING THE PLACEMENT OF COMPACTED FILL MATERIALS.
- C. TESTING OF COMPACTED FILL MATERIALS.
10. DUTIES AND RESPONSIBILITIES OF THE SPECIAL STRUCTURAL INSPECTOR.

A. THE SPECIAL STRUCTURAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS.

B. THE SPECIAL STRUCTURAL INSPECTOR SHALL REPORT TO THE CONTRACTOR UPON ARRIVING ON SITE TO DETERMINE WHETHER ANY DESIGN TEAM COMMUNICATIONS TO THE CONTRACTOR AFFECT THIS WORK TO BE REVIEWED. THE SPECIAL STRUCTURAL INSPECTOR SHALL LEAVE A COPY OF EACH OF HIS REPORTS WITH THE CONTRACTOR UPON LEAVING SITE WITHIN 24 HOURS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.

C. THE SPECIAL STRUCTURAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER OR ARCHITECT OF RECORD, AND OTHER DESIGNATED PERSONS DURING THE ERECTION OF THE STRUCTURE. THE SPECIAL STRUCTURAL INSPECTOR IS NOT AUTHORIZED TO APPROVE ANY CHANGES TO THE CONTRACT DOCUMENTS. ANY VARIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND ENGINEER/ARCHITECT OF RECORD.

E. THE CONTRACTOR SHALL PROVIDE SAFE ACCESS TO ALL ITEMS REQUIRING SPECIAL STRUCTURAL INSPECTION. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, LADDERS, SCAFFOLDING, AND MAN LIFTS.

F. THE SPECIAL STRUCTURAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.

## REINFORCED CONCRETE AND FOUNDATION NOTES

1. CONCRETE CONSTRUCTION SHALL COMPLY WITH ACI 301-16 - SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI 318-14 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY, AND ACI 302.1R-15 - GUIDE TO CONCRETE FLOOR AND SLAB CONSTRUCTION.
2. REINFORCING STEEL SHALL DETAILED, FABRICATED AND PLACED IN COMPLIANCE WITH ACI 315-99 - DETAILS AND DETAILING OF CONCRETE REINFORCEMENT, AND THE CRSI - MANUAL OF STANDARD PRACTICE (28TH EDITION). SUBMIT REINFORCING STEEL SHOP DRAWINGS FOR THE ENGINEER'S REVIEW. SUBMITTAL SHALL INCLUDE TWO (2) BLACKLINES (MINIMUM).
3. CONCRETE USED IN SLAB ON GROUND SHALL BE NORMAL WEIGHT CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CEMENT SHALL COMPLY WITH ASTM C150, TYPE I. MINIMUM CEMENT CONTENT SHALL BE 611 POUNDS PER CUBIC YARD.
4. CONCRETE USED IN BUILDING FOUNDATIONS, AND ALL OTHER CONCRETE UNLESS NOTED OTHERWISE, SHALL BE NORMAL WEIGHT CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CEMENT SHALL COMPLY WITH ASTM C150, TYPE I. MINIMUM CEMENT CONTENT SHALL BE 517 POUNDS PER CUBIC YARD.
5. SUBMIT CONCRETE MIX DESIGNS FOR EACH CONCRETE MIX FOR THE ENGINEER'S REVIEW. SUBMITTAL SHALL INCLUDE, AT A MINIMUM, MIX PROPORTIONS, CEMENT TYPE AND SOURCE, AGGREGATE AS COMPATIBILITY TEST RESULTS, ADMIXTURE CATALOG INFORMATION, CYLINDER STRENGTH TEST RESULTS ON SPECIMENS FOR IDENTICAL MIX DESIGN, OR OTHER PROOF OF STRENGTH PER ACI 301.
6. CONCRETE AGGREGATES SHALL COMPLY WITH ASTM C33 AND SHALL BE FREE OF CLAY, LOAM, LUMPS OR OTHER DELETERIOUS SUBSTANCES.
7. REINFORCING SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 OR ASTM A616 (GRADE 60) AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60 KSI.
8. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, BE FURNISHED IN FLAT SHEETS, AND HAVE MINIMUM SIDE AND END LAP OF 8 INCHES.
9. FIBER REINFORCING IN SLAB ON GROUND SHALL BE TUF-STRAND SF, AS MANUFACTURED BY 'EUCOLID CHEMICAL', OR APPROVED SUBSTITUTE, UNLESS OTHERWISE NOTED. DOSAGE SHALL BE 1.5 LBS PER CUBIC YARD.
10. EXTERIOR CONCRETE, PERIMETER FOUNDATIONS AND INTERIOR CONCRETE SUBJECT TO FREEZE/THAW CYCLES SHALL BE AIR ENTRAINED WITH 6% AVERAGE AIR CONTENT WITH A 1% TOLERANCE. AIR ENTRAINMENT SHALL COMPLY WITH ASTM C260.
11. REINFORCING SHALL HAVE EITHER TENSION EMBEDMENT OR TENSION CLASS "B" LAP SPLICE UNLESS OTHERWISE NOTED.
12. PROVIDE HORIZONTAL BENT BARS AT CORNERS AND INTERSECTIONS OF CONCRETE WALLS, TRENCH FOOTINGS AND STRIP FOOTINGS USING THE SAME SIZE AND SPACING AS FOR THE HORIZONTAL REINFORCING DETAILED UNLESS OTHERWISE NOTED.
13. PROVIDE SMOOTH FORMED FINISH ON EXPOSED CONCRETE WALLS AND FOUNDATIONS.
14. PROVIDE 3/4" X 3/4" BEVELED EDGES AT CORNERS OF EXPOSED CONCRETE MEMBERS, UNLESS NOTED OTHERWISE.
15. CONSTRUCTION JOINTS SHALL HAVE A FORMED KEY CENTERED ON MEMBER. WHERE THE SIZE OF KEY IS NOT SHOWN ON THE DRAWINGS, THE KEY SHALL BE ONE FOURTH OF THE CROSS SECTION MEMBER AND MINIMUM 1 1/2 INCHES INTO THE FIRST POUR OF CONCRETE.
16. DO NOT PROCEED WITH DETAILING, FABRICATION, OR CONSTRUCTION OF ANY WORK CONNECTED WITH OR DEPENDENT ON EQUIPMENT FURNISHED BY OWNER OR OTHER CONTRACTORS UNTIL DIMENSIONS AND DETAILS ARE VERIFIED WITH CERTIFIED OR APPROVED EQUIPMENT DRAWINGS.
17. BEFORE PLACING CONCRETE, REFER TO OTHER TRADE DRAWINGS AND COORDINATE THE LOCATION AND SIZE OF ITEMS SUCH AS OPENINGS, SLEEVES, EQUIPMENT PADS, PIPING, CONDUIT, DRAINS, DEPRESSED FLOORS, DOOR HOLLOWDOWNS IN GATE WALLS, EMBEDDED ITEMS, ETC.
18. DRILL-IN ANCHOR BOLTS SHALL BE HVA ADHESIVE ANCHORING SYSTEM AS MANUFACTURED BY HILTI. ANCHOR BOLTS SHALL BE 304 STAINLESS STEEL.
19. NON-SHRINK GROUT SHALL BE SURE GRIP HIGH PERFORMANCE GROUT, OR APPROVED EQUAL, AS MANUFACTURED BY DAYTON SUPERIOR CORPORATION.
20. CONCRETE CONSTRUCTION SHALL INCLUDE PROVISIONS FOR COLD WEATHER CONCRETING, IN COMPLIANCE WITH ACI 308R-10 - GUIDE TO COLD WEATHER CONCRETING, AND PROVISIONS FOR HOT WEATHER CONCRETING, IN COMPLIANCE WITH ACI 308R-10 - GUIDE TO HOT WEATHER CONCRETING.
21. CONCRETE FORMS SHALL REMAIN IN PLACE A MIN. OF 48 HOURS OR UNTIL THE CONCRETE HAS ATTAINED 75 PERCENT OF ITS DESIGN STRENGTH.
22. CONCRETE SHALL ATTAIN ITS 28 DAY DESIGN STRENGTH BEFORE COMMENCING WITH BACK FILLING OPERATIONS.
23. CONTROL OR CONSTRUCTION JOINTS, REQUIRED BY THE CONTRACTOR, IN ADDITION TO THE JOINTS SHOWN ON THE DRAWINGS, SHALL BE SUBJECT TO THE REVIEW OF THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A PLAN OF THE PROPOSED JOINTING BEFORE PROCEEDING WITH THE AFFECTED WORK.
24. PLACE TWO ADDITIONAL #5 BARS AROUND ALL OPENINGS LARGER THAN ONE FOOT SQUARE OR DIAMETER. EXTEND BARS A MINIMUM 24 INCHES BEYOND OPENINGS, UNLESS OTHERWISE NOTED.
25. SIDES OF FOUNDATIONS SHALL BE FORMED.
26. CYCLIC LOAD TESTS ON CONCRETE, UNDISTURBED GRANULAR SOIL, FREE OF ORGANIC MATERIALS, AND A GATE WALL, PLACE BACKFILL IN LAYERS, NOT MORE THAN 6 INCHES IN DEPTH, AND COMPUTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD (ASTM D1557) AND VERIFIED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. PLACE BACKFILL ALTERNATING EACH FACE OF WALLS TO BALANCE PRESSURE TO WALLS.
27. FOUNDATIONS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, FREE OF VEGETATION AND ORGANIC MATERIALS, WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF, VERIFIED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN.
28. SAMPLES FOR STRENGTH TESTS OF EACH CLASS OF CONCRETE PLACED EACH DAY SHALL BE TAKEN BY A QUALIFIED TESTING AGENCY NOT LESS THAN ONCE PER DAY, NOR LESS THAN ONCE FOR EACH 100 CUBIC YARDS OF CONCRETE. SAMPLE CONCRETE IN ACCORDANCE WITH ASTM C172. PERFORM THE FOLLOWING TESTS IN ACCORDANCE WITH THE INDICATED STANDARD:

A. SLUMP - ASTM C143

B. AIR CONTENT - ASTM C172

C. COMPRESSIVE STRENGTH - ASTM C39 (WITH 1 CYLINDER AT 7 DAYS, 2 CYLINDERS AT 28 DAYS AND 1 CYLINDER HELD IN RESERVE)

## STRUCTURAL GENERAL NOTES:

## STRUCTURAL STEEL NOTES

1. DESIGN, DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING PUBLICATIONS EXCEPT AS SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS:
- A. AISC STEEL CONSTRUCTION MANUAL (14TH EDITION) INCLUDING:
  - 1) AISC 360-10 - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN
  - 2) AISC 349-09 - SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS (RCSC)
  - 3) AISC 303-10 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES
- B. AWS D1.1-15 - STRUCTURAL WELDING CODE - STEEL
2. WIDE FLANGE SHAPES SHALL BE ASTM A992, Fy = 50,000 PSI.
3. MISCELLANEOUS SHAPES AND PLATE SHALL BE ASTM A36, Fy = 36,000 PSI.
4. HSS STEEL SHALL BE ASTM A500, GRADE B, Fy = 46,000 PSI.
5. ANCHOR BOLTS SHALL BE ASTM F1554, GRADE 55, Fy = 55,000 PSI.
6. COMPOSITE SHEAR STUDS SHALL BE NELSON "FLUXED SHEAR CONNECTOR STUDS" OR APPROVED SUBSTITUTE AND WELDED AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
7. SHEAR STUDS SHALL BE EQUALLY SPACED ALONG THE LENGTH OF THE BEAM UNLESS NOTED OTHERWISE.
8. STEEL ELEVATIONS SHALL BE AS INDICATED ON PLANS AND DETAILS.
9. PRIOR TO FABRICATION THE FABRICATOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SHALL CONSIST OF TWO SETS OF BLACKLINE DRAWINGS (MIN).
10. INSTALL ASTM A325 BOLTS IN ACCORDANCE WITH THE SPECIFICATION FOR STRUCTURAL JOINTS, USING ONE HARDENED WASHER UNDER THE TURNED ELEMENT, AND AN IMPACT WRENCH TO ACHIEVE FIRM CONTACT BETWEEN CONNECTED PLIES AND A SNUG TIGHT CONDITION.
11. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS. PERFORM ALL WELDING BY THE ELECTRIC ARC METHOD IN ACCORDANCE WITH THE AWS D1.1 STRUCTURAL WELDING CODE.
12. PERFORM WELDING WITH SPECIFIED ELECTRODES AND QUALIFIED WELDERS, WELDING OPERATORS, AND TACKERS AS APPROPRIATE, PER SPECIFIED REFERENCE STANDARDS. PROVIDE NECESSARY JIGS AND HOLDING DEVICES FOR SHOP WELDING. CONTROL WELDING SEQUENCE TO MINIMIZE RESIDUAL STRESSES AND MEMBER DISTORTION.
13. MAKE BOLTED CONNECTIONS WITH 3/4 INCH DIAMETER ASTM A325N BEARING TYPE BOLTS (WITH THREADS ASSUMED IN THE SHEAR PLANE) UNLESS OTHERWISE NOTED.
14. CONNECTIONS SHALL BE A MINIMUM OF TWO 3/4 INCH DIAMETER ASTM A325N BOLTS OR A WELD DEVELOPING A MINIMUM OF 10 KIPS.
15. SUBMIT DRAWINGS AND CALCULATIONS OF TYPICAL CONNECTION DETAILS FOR APPROVAL PRIOR TO PROCEEDING WITH DETAILING.
16. DESIGN BEAM CONNECTIONS FOR MINIMUM ONE-HALF OF THE TOTAL ALLOWABLE UNIFORM LOAD PER AISC BEAM LOAD TABLES, UNLESS NOTED OTHERWISE. CONNECTIONS FOR COMPOSITE BEAMS SHALL BE DESIGNED FOR END REACTIONS NOTED ON THE DRAWINGS OR A MINIMUM TWO-THIRDS OF THE TOTAL ALLOWABLE UNIFORM LOAD PER AISC BEAM LOAD TABLES, WHICHEVER IS GREATER.
17. PROVIDE ADEQUATE LATERAL BRACING AND VERTICAL SUPPORT FOR THE SAFE ERECTION AND ALIGNMENT OF THE STRUCTURAL STEEL.
18. FURNISH MEMBERS OF PROPER LENGTH AND ASSEMBLE WITHOUT EXCESSIVE USE OF FILLERS. FIELD VERIFY DIMENSIONS BEFORE FABRICATION WHEN CONNECTING TO EXISTING STRUCTURE. JOIN AND ASSEMBLE MEMBERS WITHOUT SHARP PROJECTIONS, SERRATED EDGES, SHARP EDGES OR SHARP CORNERS AT JOINTS. COPE, BLOCK, MITER AND GRIND EDGES WITH CARE. FURNISH MEMBERS FREE FROM TWISTS, BENDS, DISTORTIONS AND OPEN JOINTS.
19. GROUT PADS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN SEVEN DAYS.
20. ANCHOR BOLTS AND SETTING PLANS SHALL BE FURNISHED BY THE STRUCTURAL STEEL FABRICATOR AND SET BY THE FOUNDATION CONTRACTOR.
21. ALL WELDED CONNECTIONS SHALL BE VISUALLY INSPECTED, WITH 15% MEASURED AT RANDOM. VISUALLY INSPECT THAT ALL WELDED CONNECTIONS ARE PROPERLY FABRICATED, WITH PROPER COMPONENTS, AND THE JOINT IS DRAWN INTO CONTACT.
22. ELEVATIONS ARE REFERENCED FROM FINISH FLOOR ELEVATION = 100'-0". ACTUAL FINISH FLOOR ELEVATION 936.19 = 100'-0".
23. COUPLER NUTS MAY BE PROVIDED AT ANCHOR BOLTS SO THAT ANCHOR BOLTS CAN BE INSTALLED IN TWO PIECES TO MAXIMIZE VERTICAL CLEARANCE FOR COLUMN ERECTION.
24. THE USE OF A GAS-CUTTING TORCH IN THE FIELD FOR CUTTING HOLES OR FOR CORRECTING FABRICATION ERRORS WILL NOT BE PERMITTED ON STRUCTURAL FRAMING MEMBERS EXCEPT WITH THE WRITTEN APPROVAL OF THE ENGINEER FOR EACH SPECIFIC CONDITION.
25. ALL STRUCTURAL STEEL SHALL BE SHOP PAINTED WITH AN APPROVED CORROSION RESISTANT PRIMER SUCH AS "TNEMEC PRIMER 10-90" OR APPROVED EQUIVALENT. ALL STEEL SHALL BE PAINTED IN STRICT ACCORDANCE WITH THE AISC SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS. PRIOR TO PAINTING, ALL STEEL, SURFACES SHALL BE PREPARED IN ACCORDANCE WITH SSPC-SP3. REMOVE LOOSE RUST, LOOSE MILL SCALE AND SPATTER SLAG OR FLUX DEPOSITS. ALL PAINTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO THEIR USE.
26. SHOP PRIME AND PAINT STRUCTURAL STEEL. FIELD TOUCH-UP FINISH COAT AFTER ERECTION.
27. STEEL ABOVE THE ROOF AND OUTSIDE THE BUILDING ENVELOPE (EXPOSED TO WEATHER) SHALL BE CLEANED PER SSPC-SP6 AND HOT DIP GALVANIZED.
28. REFERENCE ARCHITECTURAL DRAWINGS FOR MISCELLANEOUS SHAPES AND PLATES NOT SHOWN ON THE STRUCTURAL DRAWINGS. THESE ITEMS SHALL BE SHOP WELDED TO THE STRUCTURAL FRAMING TO MINIMIZE FUEL WELDING.
29. ROOF OPENINGS SHALL BE FRAMED WITH L4X3X14 LLV, UNLESS NOTED OTHERWISE. VERIFY SIZE AND LOCATION OF ALL OPENINGS WITH THE TRADES INVOLVED.
30. RUNWAY BEAMS AND BRIDGE BEAM SHALL MEET OR EXCEED THE REQUIREMENTS FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL. ADDITIONALLY, THE RUNWAY BEAMS SHALL BE ERECTED SUFFICIENTLY SQUARE, PARALLEL AND LEVEL TO PERMIT TRAVERSING OF THE BRIDGE BEAM WITHOUT BINDING OF THE END TRUCK WHEELS OR FRAME ALONG THE RUNWAY LENGTH. THE CONTRACTOR SHALL TEST THE CRANE THROUGH ITS FULL RANGE OF TRAVEL UNDER MAXIMUM LOAD.
31. PROVIDE HOLES IN THE BEAM TOP FLANGE AS REQUIRED TO MOUNT THE BEAM TO THE END TRUCKS.

## METAL DECK NOTES

1. METAL ROOF DECK SHALL BE 20 GAGE, G60 GALVANIZED, TYPE 1.5B AS MANUFACTURED BY VULCRAFT, OR APPROVED SUBSTITUTE, UNLESS OTHERWISE NOTED.
2. PERMANENT METAL FORM AT SECOND FLOOR SHALL BE 20 GAGE, G60 GALVANIZED, TYPE 1.5C AS MANUFACTURED BY VULCRAFT, OR APPROVED SUBSTITUTE, UNLESS OTHERWISE NOTED.
3. METAL DECK SHALL BE CONTINUOUS OVER A MINIMUM OF THREE SPANS.
4. METAL DECK SHALL BE FASTENED TO PERIMETER EDGE ANGLES WITH PNEUMATIC OR POWDER ACTUATED FASTENERS. MATCH SIDE LAP AND BEARING FASTENER SPACING. PROVIDE 20 GAGE, G60 GALVANIZED BENT PLATES AT LONGITUDINAL EDGES AS REQUIRED TO MAKE CONNECTION.
5. METAL DECK FUNCTIONS AS A HORIZONTAL DIAPHRAGM. FASTENER LAYOUT SHALL BE 367 WITH A MINIMUM OF 2 SIDE LAP FASTENER AT INTERIOR LOCATIONS AND 5 SIDE FASTENERS TO EDGE ANGLES AND EDGE CHANNELS.
6. PROVIDE 20 GAGE GALVANIZED RIDGE AND VALLEY PLATES FASTEN RIDGE AND VALLEY PLATES TO THE TOP SURFACE OF THE METAL ROOF DECK LAP END JOINTS NOT LESS THAN 3 INCHES.
7. FASTEN ROOF SUN PANS TO ROOF DECK WITH NO. 10 SELFTAPPING SCREWS AT 6 INCH CENTERS AROUND PERIMETER OF PAN.

8. DO NOT PROCEED WITH DETAILING, FABRICATION, OR CONSTRUCTION OF ANY WORK CONNECTED WITH OR DEPENDENT ON EQUIPMENT FURNISHED BY OWNER OR OTHER CONTRACTORS UNTIL DIMENSIONS AND DETAILS ARE VERIFIED WITH CERTIFIED OR APPROVED EQUIPMENT DRAWINGS.

9. BEFORE PLACING CONCRETE, REFER TO OTHER TRADE DRAWINGS AND COORDINATE THE LOCATION AND SIZE OF ITEMS SUCH AS OPENINGS, SLEEVES, EQUIPMENT PADS, PIPING, CONDUIT, DRAINS, DEPRESSED FLOORS, DOOR HOLLOWDOWNS IN GATE WALLS, EMBEDDED ITEMS, ETC.

10. DRILL-IN ANCHOR BOLTS SHALL BE HVA ADHESIVE ANCHORING SYSTEM AS MANUFACTURED BY HILTI. ANCHOR BOLTS SHALL BE 304 STAINLESS STEEL.

11. NON-SHRINK GROUT SHALL BE SURE GRIP HIGH PERFORMANCE GROUT, OR APPROVED EQUAL, AS MANUFACTURED BY DAYTON SUPERIOR CORPORATION.

12. CONCRETE CONSTRUCTION SHALL INCLUDE PROVISIONS FOR COLD WEATHER CONCRETING, IN COMPLIANCE WITH ACI 308R-10 - GUIDE TO COLD WEATHER CONCRETING, AND PROVISIONS FOR HOT WEATHER CONCRETING, IN COMPLIANCE WITH ACI 308R-10 - GUIDE TO HOT WEATHER CONCRETING.

13. CONCRETE FORMS SHALL REMAIN IN PLACE A MIN. OF 48 HOURS OR UNTIL THE CONCRETE HAS ATTAINED 75 PERCENT OF ITS DESIGN STRENGTH.

14. CONCRETE SHALL ATTAIN ITS 28 DAY DESIGN STRENGTH BEFORE COMMENCING WITH BACK FILLING OPERATIONS.

15. CONTROL OR CONSTRUCTION JOINTS, REQUIRED BY THE CONTRACTOR, IN ADDITION TO THE JOINTS SHOWN ON THE DRAWINGS, SHALL BE SUBJECT TO THE REVIEW OF THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A PLAN OF THE PROPOSED JOINTING BEFORE PROCEEDING WITH THE AFFECTED WORK.

16. PLACE TWO ADDITIONAL #5 BARS AROUND ALL OPENINGS LARGER THAN ONE FOOT SQUARE OR DIAMETER. EXTEND BARS A MINIMUM 24 INCHES BEYOND OPENINGS, UNLESS OTHERWISE NOTED.

17. SIDES OF FOUNDATIONS SHALL BE FORMED.

18. CYCLIC LOAD TESTS ON CONCRETE, UNDISTURBED GRANULAR SOIL, FREE OF ORGANIC MATERIALS, AND A GATE WALL, PLACE BACKFILL IN LAYERS, NOT MORE THAN 6 INCHES IN DEPTH, AND COMPUTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD (ASTM D1557) AND VERIFIED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. PLACE BACKFILL ALTERNATING EACH FACE OF WALLS TO BALANCE PRESSURE TO WALLS.

19. FOUNDATIONS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, FREE OF VEGETATION AND ORGANIC MATERIALS, WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF, VERIFIED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN.

20. SAMPLES FOR STRENGTH TESTS OF EACH CLASS OF CONCRETE PLACED EACH DAY SHALL BE TAKEN BY A QUALIFIED TESTING AGENCY NOT LESS THAN ONCE PER DAY, NOR LESS THAN ONCE FOR EACH 100 CUBIC YARDS OF CONCRETE. SAMPLE CONCRETE IN ACCORDANCE WITH ASTM C172. PERFORM THE FOLLOWING TESTS IN ACCORDANCE WITH THE INDICATED STANDARD:

A. SLUMP - ASTM C143

B. AIR CONTENT - ASTM C172

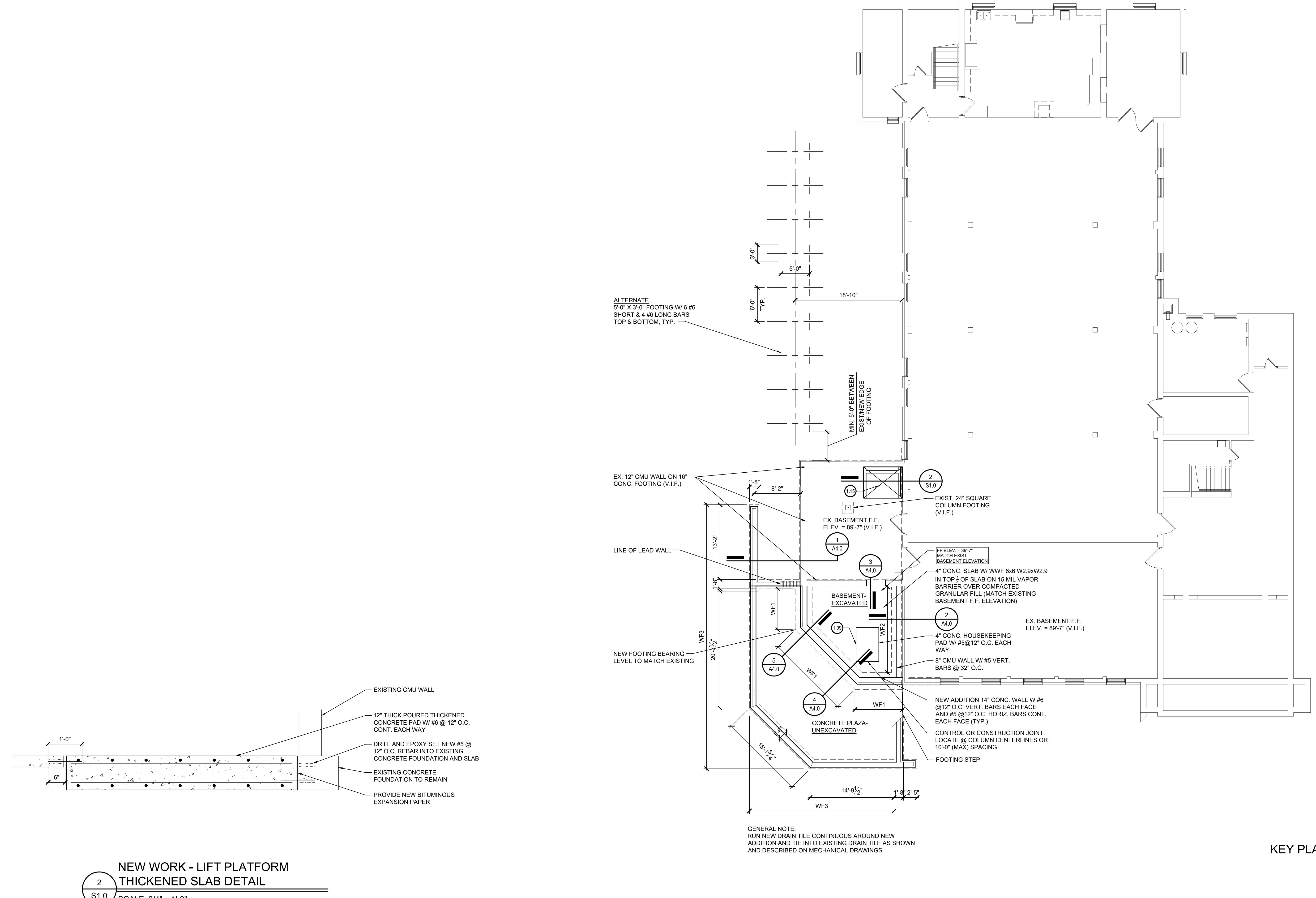
C. COMPRESSIVE STRENGTH - ASTM C39 (WITH 1 CYLINDER AT 7 DAYS, 2 CYLINDERS AT 28 DAYS AND 1 CYLINDER HELD IN RESERVE)

21. DRILL-IN ANCHOR BOLTS SHALL BE HVA ADHESIVE ANCHORING SYSTEM AS MANUFACTURED BY HILTI. ANCHOR BOLTS SHALL BE 304 STAINLESS STEEL.

FIRST BAPTIST CHURCH OF FARMINGTON  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335NEW WORK FOUNDATION  
PLAN AND NOTES

PRELIMINARY   
 DESIGN DEVELOPMENT   
 CONSTRUCTION   
 FINAL RECORD

DRAWN BY DCW/JMW  
 CHECKED BY DCW/B  
 REVISIONS

DATE: JUNE 27, 2025  
SHEET NO.JOB NO. 232004  
S1.0

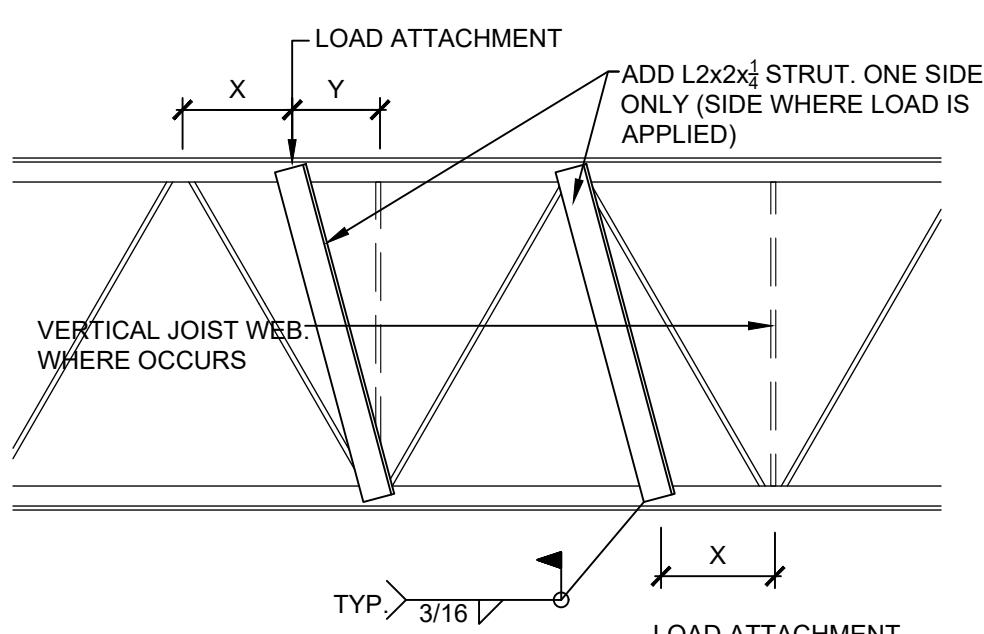
NEW WORK - BASEMENT AND RAMP  
PLATFORM FOUNDATION PLAN

N

1

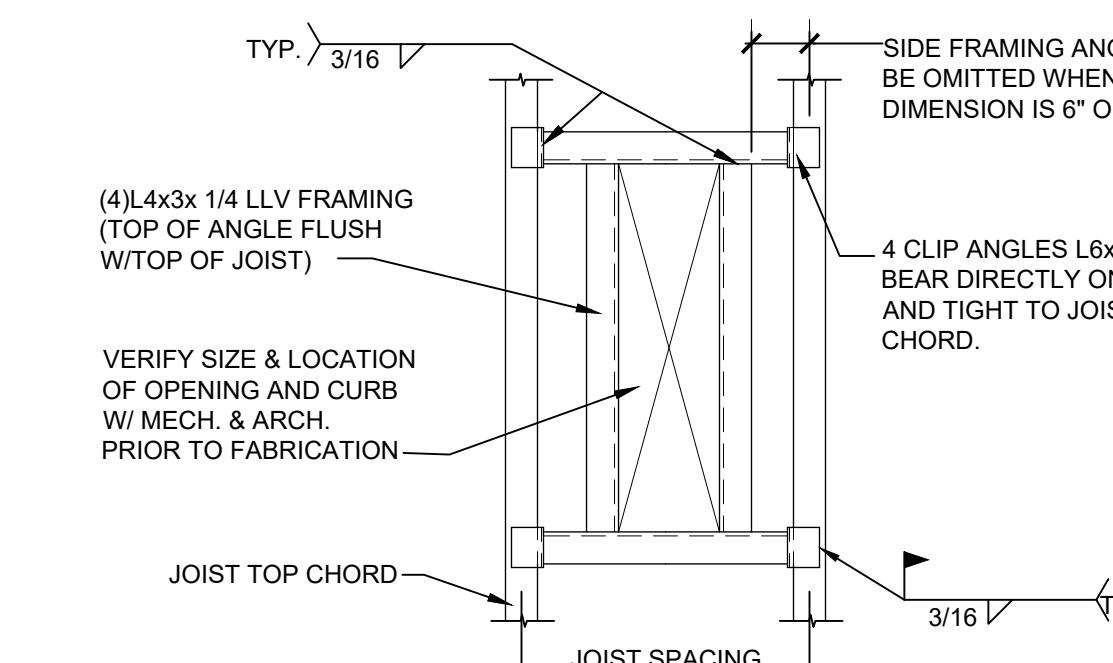
S1.0

SCALE: 1/8" = 1'-0"



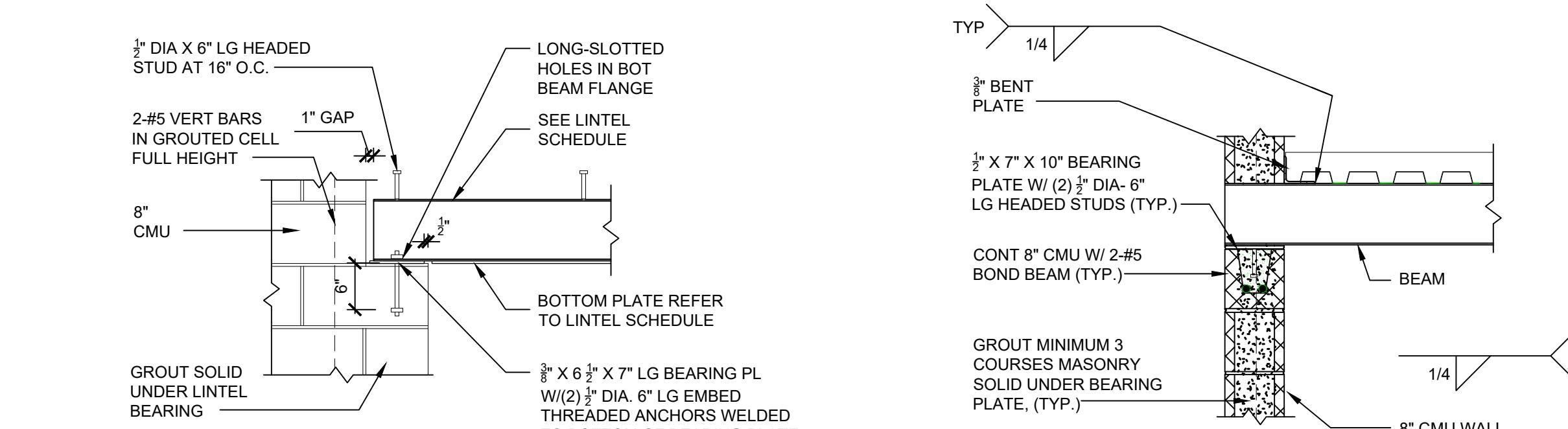
NOTE:  
1. ALL ADDITIONAL SUPPLEMENTAL STRUT MUST BE INSTALLED IN STEEL JOISTS AT ALL CONCENTRATED LOADS IN EXCESS OF 50 LBS. UNLESS THE LOAD ATTACHMENT IS AT A PANEL POINT OF THE JOISTS.  
2. AN ADDITIONAL STRUT IS NOT REQUIRED IF 'X' OR 'Y' IS LESS THAN OR EQUAL TO 6".  
3. CONCENTRATED LOADS GREATER THAN 250 LBS. WHICH ARE NOT SPECIFIED ON THE PLANS, ARE NOT PERMITTED WITHOUT REVIEW BY THE PROFESSIONAL - OF - RECORD.

**TYP. JOIST REINF. DETAIL**  
S1.1 SCALE: NTS



NOTE:  
LOCATE CLIP ANGLES AT TOP CHORD PANEL POINTS OR PROVIDE 2 ANGLES FROM BRG. POINT OF FRAME TO BOT. REINFORCEMENT DETAIL.

**TYP. CURB FRAMING DETAIL**  
S1.1 SCALE: NTS

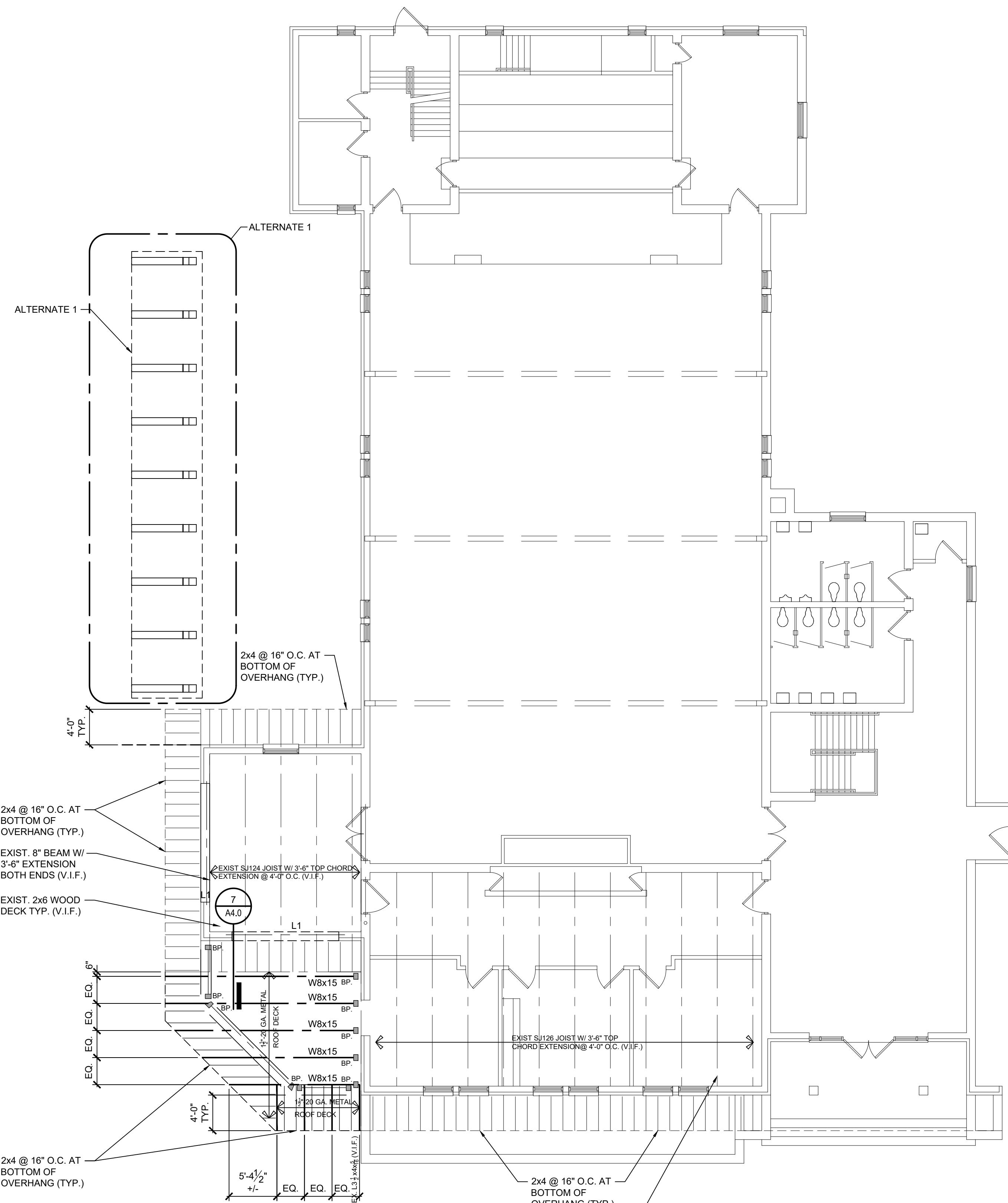


**TYP. STEEL LINTEL BEARING DETAIL**  
S1.1 SCALE: NTS

LINTEL SCHEDULE				
MARK	LINTEL	BRICK ANGLE	BEARING	REMARKS
L1	W8X15 W 3/8" X 14" PLATE	-	8" MIN.	-
L2	8" DEEP MASONRY LINTEL W 2 #5 BOT BARS	-	8" MIN.	-

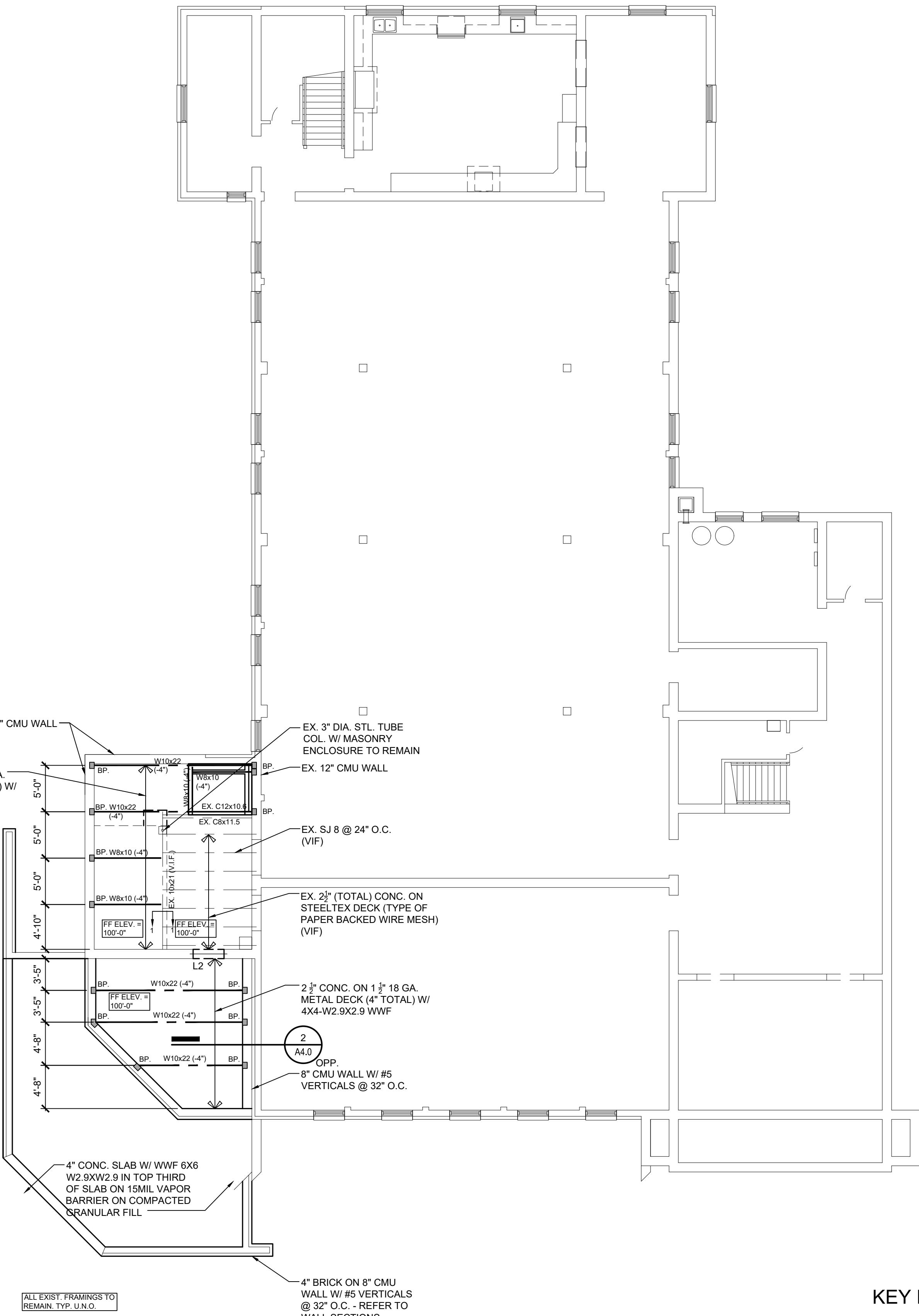
NOTES:  
1. REFER TO MASONRY NOTES ON SHEET 30500 FOR ADD'L REQUIREMENTS.  
2. PROVIDE 2 #5 BENT STUDS @ 16" O.C. AT TOP FLANGE OF STEEL LINTELS.  
3. ALL STEEL LINTELS SHALL BE GALVANIZED.

**TYP. STEEL BEAM BEARING ON CMU WALL DETAIL**  
S1.1 SCALE: NTS



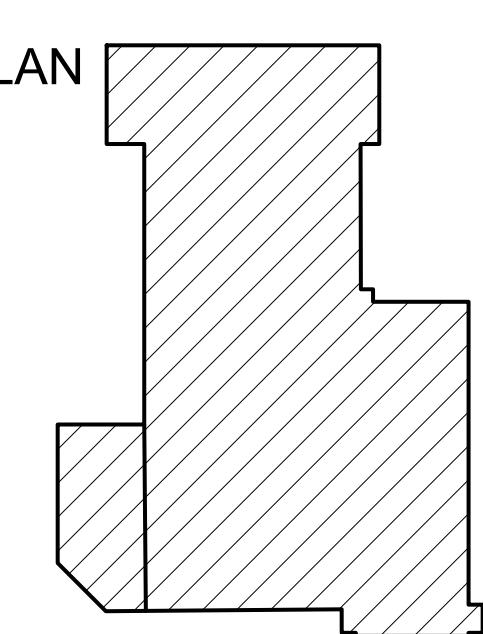
**NEW WORK - ROOF FRAMING PLAN**  
S-1.1 SCALE: 1/8" = 1'-0"

NOTE:  
1. ALL MEMBERS ARE EQUALLY SPACED UNLESS OTHERWISE  
2. ALL ROOF DECK IS 1 1/2" WIDE RIB, 20 GAGE GALVANIZED AND CONTINUOUS OVER A MINIMUM OF THREE SPANS  
3. REFER TO SHEET 30500 FOR ADDITIONAL NOTES ON MASONRY/BOND BEAM AND TYP. WALL REQUIREMENTS. CMU WALLS SHALL BE REINFORCED IN #5 VERT. BARS @ 32 O.C. U.N. O.  
4. PROVIDE L3X3@ PERIMETER DECK ANGLE (TYP.)  
5. PROVIDE L3X3@ (LY) FOR ALL SPANS OF OPENING FRAMING, U.N. O.  
6. SEE ARCH FOR T.O.S. ELEVATIONS  
7. BP = 1/2" X 1/2" BEARING PLATE W 1/2" STUD X6 EMBED.



**NEW WORK - FLOOR FRAMING PLAN**  
S-1.1 SCALE: 1/8" = 1'-0"

NOTE:  
1. ALL MEMBERS ARE EQUALLY SPACED UNLESS OTHERWISE  
2. REFER TO SHEET 30500 FOR ADDITIONAL NOTES ON SHEET 30500 FOR MASONRY/BOND BEAM AND TYP. WALL REQUIREMENTS. CMU WALLS SHALL BE REINFORCED W/ #5 VERT. BARS @ 32 O.C. U.N. O.  
3. PROVIDE L3X3@ PERIMETER DECK ANGLE (TYP.)  
4. SEE ARCH FOR T.O.S. ELEVATIONS  
5. BP = 1/2" X 1/2" BEARING PLATE W 1/2" STUD X6 EMBED.



**KEY PLAN**

**FIRST BAPTIST CHURCH OF FARMINGTON**  
33400 SHIAWASSEE ST., FARMINGTON, MI 48335

STRUCTURAL FRAMING PLANS

PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD

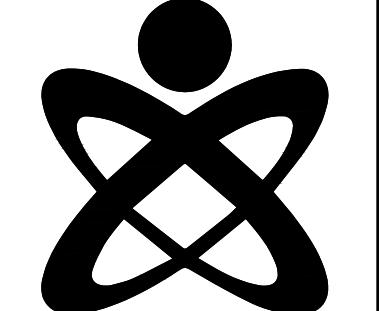
DRAWN BY DCW/JMW  
CHECKED BY DCW/BWS

REVISIONS

DATE: JUNE 27, 2025  
SHEET NO.

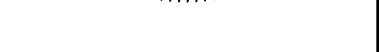
S1.1

JOB NO. 232004



UNIFIED BUILDING  
SYSTEMS ENGINEERING

BY: UBS  
MT. CLEMENS, MI 48043  
UBS PROJECT 007.24.14



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

## MECHANICAL ABBREVIATIONS

ABBREV.	DESCRIPTION
AAV	AUTOMATIC AIR VENT / AIR ADMITTANCE VALVE
AD	ACCESS DOOR
AE	AIR EXTRACTOR
AFF	ABOVE FINISHED FLOOR
APD	AIR PRESSURE DROP
ASR	AUTOMATIC SPRINKLER RISER
BFP	BACKFLOW PREVENTER
BHP	Brake Horsepower
BOD	BOTTOM OF DUCT
BTU	BRITISH THERMAL UNIT
BTUH	BRITISH THERMAL UNITS PER HOUR
BWV	BACKWATER VALVE
CAP	CAPACITY
CAV	CONSTANT AIR VOLUME
CFH	CUBIC FEET PER HOUR
CFM	CUBIC FEET PER MINUTE
CIRC	CIRCULATING
CLG	COOLING
CO	CLEAN OUT
CONT	CONTINUATION OR CONTINUED
CONV	CONVECTOR
CUH	CABINET UNIT HEATER
CV	CONTROL VALVE
DB	DRY BULB TEMPERATURE
DEG	DEGREES
DDC	DIRECT DIGITAL CONTROL
DN	DOWN
DTC	DRAIN TILE CONNECTION
DWH	DOMESTIC WATER HEATER
(E)	EXISTING
EA/EXH	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EDB	ENTERING DRY BULB TEMPERATURE
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EL	ELEVATION
ELECT	ELECTRICAL
EMS	ENERGY MANAGEMENT SYSTEM
ESP	EXTERNAL STATIC PRESSURE
EWB	ENTERING WET BULB TEMPERATURE
EWC	ELECTRIC WATER COOLER
'F	DEGREES FAHRENHEIT
FA	FACE AREA (COIL) / FREE AREA (LOUVER)
FC	FLEXIBLE CONNECTION
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FHR	FIRE HOSE RACK
FHV	FIRE HOSE VALVE
FLA	FULL LOAD AMPS
FLR	FLOOR
FPM	FEET PER MINUTE
FFD	FUNNEL FLOOR DRAIN
FFE	FINISHED FLOOR ELEVATION
FS	FLOOR SINK
FT	FEET
FURN	FURNISHED
FV	FACE VELOCITY
FVC	FIRE VALVE CABINET
GAL	GALLON
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HB	HOSE BIBB
HO	HUB OUTLET
HP	HORSEPOWER
HR	HOUR
HTG	HEATING
HYD	HYDRANT
Hz	HERTZ
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCHES
INST	INSTALLED
INV	INVERT
ISP	INTERNAL STATIC PRESSURE
IW	INDIRECT WASTE
KW	KILOWATT
LAT	LEAVING AIR TEMPERATURE
LAV	LAVATORY
LBS/HR	POUNDS PER HOUR
LDB	LEAVING DRY BULB TEMPERATURE
LRA	LOCKED ROTOR AMPS
LWB	LEAVING WET BULB TEMPERATURE
MAV	MANUAL AIR VENT
MAX	MAXIMUM
MBH	1000 BRITISH THERMAL UNITS PER HOUR
MCA	MINIMUM CIRCUIT AMPACITY
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MOD	MOTOR OPERATED DAMPER (AUTOMATIC)
MOP	MAXIMUM OVER-CURRENT PROTECTION
N.C.	NOISE CRITERIA
NIC	NOT IN CONTRACT
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NOM	NOMINAL
OA	OUTSIDE AIR
OBD	OPPOSED BLADE DAMPER
OC	ON CENTER / CENTER TO CENTER
OD	OUTSIDE DIAMETER
OED	OPEN ENDED DUCT
ORS	OVERFLOW ROOF SUMP
OS&Y	OUTSIDE SCREW AND YOKE
PD	PRESSURE DROP (FEET OF WATER)
PRV	PRESSURE REDUCING VALVE
PSA	POUNDS PER SQUARE INCH - ABSOLUTE
PSIG	POUNDS PER SQUARE INCH - GAUGE
PT	PRESSURE / TEMPERATURE PORT
RA	RETURN AIR
RH	RELATIVE HUMIDITY
REQD	REQUIRED
RELA	RELIEF AIR
RPM	REVOLUTIONS PER MINUTE
RPZ	REDUCED PRESSURE ZONE
RS	ROOF SUMP
SA	SUPPLY AIR
SH	SHOWER
SP	STATIC PRESSURE
SqFt / SF	SQUARE FOOT/SQUARE FEET
SS	SERVICE SINK
TC	TEMPERATURE CONTROL
T&P	TEMPERATURE AND PRESSURE
TSP	TOTAL STATIC PRESSURE
TYP	TYPICAL
UG	UNDERGROUND
UH	UNIT HEATER
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VD	VOLUME DAMPER (MANUALLY ADJUSTABLE)
VTR	VENT THRU ROOF
W	WASTE
W&V	WASTE AND VENT
WB	WET BULB TEMPERATURE
WC	WATER CLOSET
WG	WATER GAUGE
WH	WALL HYDRANT

## MECHANICAL ABBREVIATIONS

ABBREV.	DESCRIPTION
UR	URINAL
VD	VOLUME DAMPER (MANUALLY ADJUSTABLE)
VTR	VENT THRU ROOF
W&V	WASTE AND VENT
WB	WET BULB TEMPERATURE
WC	WATER CLOSET
WG	WATER GAUGE
WH	WALL HYDRANT

## MECHANICAL ABBREVIATIONS

ABBREV.	DESCRIPTION
UR	URINAL
VD	VOLUME DAMPER (MANUALLY ADJUSTABLE)
VTR	VENT THRU ROOF
W&V	WASTE AND VENT
WB	WET BULB TEMPERATURE
WC	WATER CLOSET
WG	WATER GAUGE
WH	WALL HYDRANT

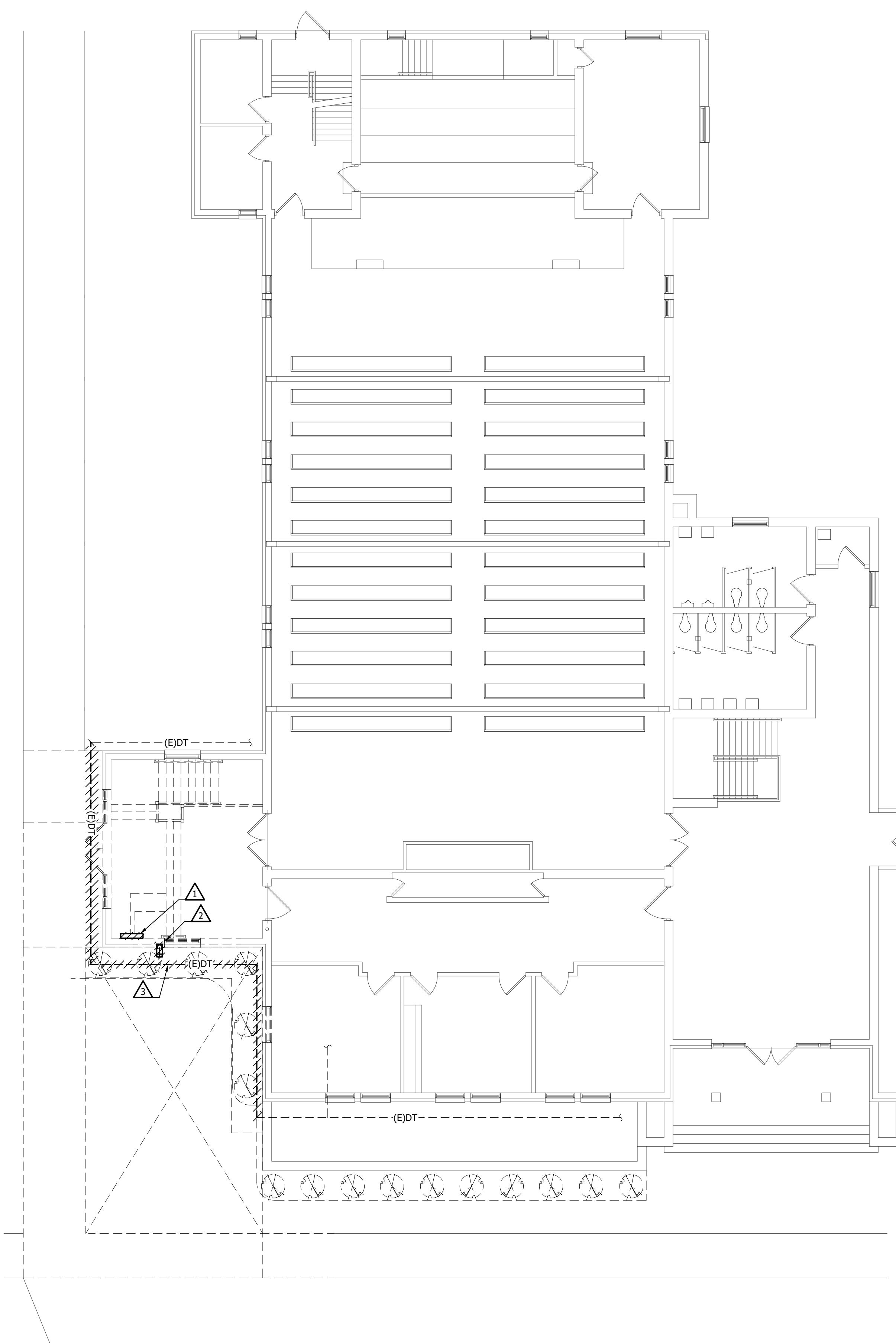
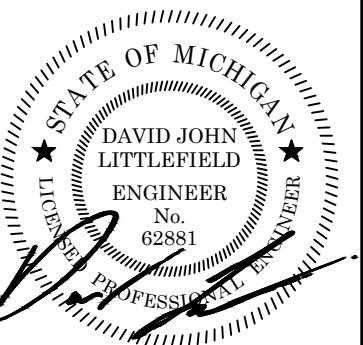
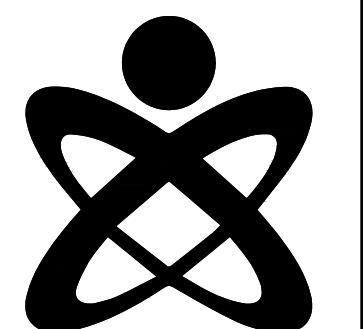
## MECHANICAL SYMBOLS

ABBREV.	DESCRIPTION
RECT	RECTANGULAR TAKE-OFF (SINGLE LINE)
RECTD	RECTANGULAR TAKE-OFF (DOUBLE LINE)
ROUN	ROUND TAKE-OFF (SINGLE LINE)
ROUND	ROUND TAKE-OFF (DOUBLE LINE)
SPIN	SPIN-IN FITTING (WITH VOLUME DAMPER)
ELBOW	ELBOW (WITH TURNING VANES)
RAD	RADIUS RECTANGULAR ELBOW
RADL	RADIUS ROUND ELBOW
REC	RECTANGULAR ELBOW UP
ROUNL	ROUND ELBOW UP
REC	RECTANGULAR ELBOW DOWN
ROUNL	ROUND ELBOW DOWN
CONC	CONCENTRIC TRANSITION (DOUBLE LINE)
CONC	CONCENTRIC TRANSITION (SINGLE LINE)
EC	ECENTRIC TRANSITION (DOUBLE LINE)
EC	ECENTRIC TRANSITION (SINGLE LINE)
FLX	FLXIBLE CONNECTION
PIPE	PIPE ELBOW UP
PIPE	PIPE ELBOW DOWN
PIPE	PIPE TEE DOWN
PIPE	PIPE UNION
PIPE	PIPE STRAINER
PIPE	PIPE CONCENTRIC REDUCER
PIPE	PIPE ECENTRIC REDUCER
PIPE	PIPE EXPANSION JOINT
PIPE	PIPE FLEXIBLE CONNECTION
PIPE	PIPE ANCHOR
PIPE	PIPE GUIDE
PIPE	PIPE CAP OR PLUG
PIPE	PIPE ISOLATION VALVE
PIPE	PIPE CIRCULATING PUMP
PIPE	PIPE GLOBE VALVE
PIPE	PIPE BUTTERFLY VALVE
PIPE	PIPE ANGLE VALVE
PIPE	PIPE CHECK VALVE (SWING)
PIPE	PIPE CHECK VALVE (SPRING)
PIPE	PIPE PLUG VALVE
PIPE	PIPE NEEDLE VALVE
PIPE	PIPE OUTSIDE SCREW AND YOKE VALVE (OS&Y)
PIPE	PIPE PRESSURE REGULATING VALVE
PIPE	PIPE SOLENOID VALVE
PIPE	PIPE CONTROL VALVE (2-WAY / 3-WAY)
PIPE	PIPE CENTRIFUGAL FAN
PIPE	PIPE AUTOMATIC GAS SHUT-OFF VALVE
PIPE	PIPE TRAP (PLAN VIEW)
PIPE	PIPE FLOOR DRAIN / FUNNEL FLOOR DRAIN (PLAN VIEW)
PIPE	PIPE FLOOR DRAIN / FUNNEL FLOOR DRAIN (ELEVATION)
PIPE	PIPE ROOF SUMP
PIPE	PIPE CLEAN OUT (IN FLOOR)
PIPE	PIPE CLEAN OUT (IN LINE)
PIPE	PIPE CLEAN OUT (WALL)
PIPE	PIPE BACKFLOW PREVENTER
PIPE	PIPE WATER METER ASSEMBLY
PIPE	PIPE HOSE BIBB, WALL HYDRANT
PIPE	PIPE DIRECTION OF PIPE PITCH
PIPE	PIPE SPRINKLER HEAD (UPRIGHT)
PIPE	PIPE SPRINKLER HEAD (SIDEWALL)
PIPE	PIPE FLOW SWITCH
PIPE	PIPE SIAMESE CONNECTION (YARD)
PIPE	PIPE SIAMESE CONNECTION (WALL MOUNTED)
PIPE	PIPE FIRE HYDRANT
PIPE	PIPE FLOW MEASURING DEVICE
PIPE	PIPE BALANCING VALVE
PIPE	PIPE COMBINATION FLOW MEASURING AND BALANCING DEVICE
PIPE	PIPE AUTOMATIC AIR VALVE
PIPE	PIPE MANUAL AIR VALVE
MOTOR	MOTORIZED DAMPER
SMOKE	SMOKE DETECTOR
CO2	CO2 SENSOR
TEMP	TEMPERATUR OR TEMPERATURE SENSOR
HUMI	HUMIDISTAT OR HUMIDITY SENSOR
RETR	RETURN OR EXHAUST / SUPPLY AIR FLOW

## PIPE LEGEND

ABBREV.	DESCRIPTION
CA	COMPRESSED AIR PIPING
CD	CONDENSATE DRAIN PIPING
DT	DRAIN TILE
F	FIRE PROTECTION PIPING
FOR	FUEL OIL RETURN PIPING
FOS	FUEL OIL SUPPLY PIPING
G	NATURAL GAS PIPING
BCW	BOOSTED-DOMESTIC COLD WATER PIPING
BHW	BOOSTED-DOMESTIC HOT WATER PIPING
CW	DOMESTIC COLD WATER PIPING
NPCW	NON POTABLE COLD WATER PIPING
TW	TEMPERED WATER PIPING
HW	DOMESTIC HOT WATER PIPING
HW(140°F)	DOMESTIC 140°F HOT WATER PIPING
HWR	DOMESTIC HOT WATER RETURN PIPING
SAN	SANITARY WASTE PIPING
PSAN	PUMPED SANITARY PIPING
V	VENT PIPING
ST	STORM SEWER PIPING
PST	PUMPED STORM PIPING
RC	RAIN CONDUCTOR PIPING
ORC	OVERFLOW RAIN CONDUCTOR PIPING
CHWR	CHILLED WATER RETURN PIPING
CHWS	CHILLED WATER SUPPLY PIPING
CWR	CONDENSER WATER RETURN PIPING
CWS	CONDENSER WATER SUPPLY PIPING
HHWR	HEATING HOT WATER RETURN PIPING
HHWS	HEATING HOT WATER SUPPLY PIPING
HPLR	HEAT PUMP LOOP RETURN PIPING
HPLS	HEAT PUMP LOOP SUPPLY PIPING
RL	REFRIGERANT LIQUID PIPING
RS	REFRIGERANT SUCTION PIPING
HGB	HOT GAS BY-PASS PIPING
GXR	GEO HEAT EXCHANGE RETURN
GHS	GEO HEAT EXCHANGE SUPPLY
STM	STEAM PIPING
HPS	HIGH PRESSURE STEAM PIPING
LPS	LOW PRESSURE STEAM PIPING
CR	STEAM CONDENSATE RETURN PIPING
PCR	PUMPED STEAM CONDENSATE RETURN PIPING
LPC	LOW PRESSURE CONDENSATE PIPING
HPC	HIGH PRESSURE CONDENSATE PIPING
MA	MEDICAL AIR PIPING
N	NITROGEN GAS PIPING
O2	OXYGEN GAS PIPING
VAC	VACUUM PIPING

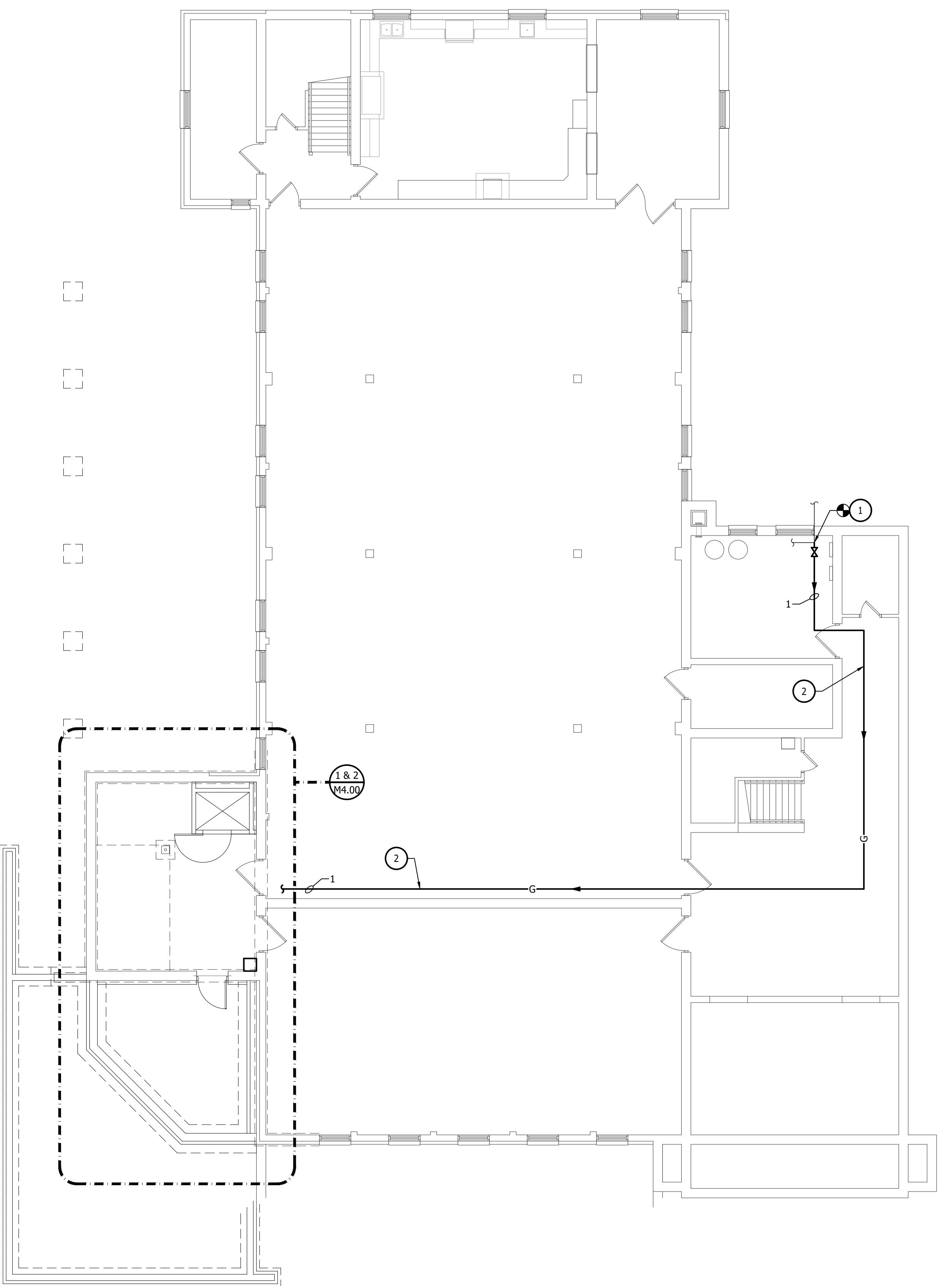
DRAWING INDEX	



MECHANICAL COMPOSITE DEMOLITION FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION, PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED AND VERIFIED BY CONTRACTOR AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.

DEMOLITION KEYED NOTES	
1	REMOVE CABINET UNIT HEATER AND ALL ASSOCIATED COMPONENTS COMPLETE. REMOVE HEATING HOT WATER PIPING DOWN THROUGH FLOOR AND CAP.
2	REMOVE EXISTING HOSE RIB AND ALL ASSOCIATED COMPONENTS COMPLETE. REMOVE COLD WATER HOSE PIPING THROUGH FLOOR AND CAP.
3	REMOVE SECTION OF DRAIN TILE COMPLETE. FIELD VERIFY EXISTING LOCATION AND DEPTH PRIOR TO WORK.



MECHANICAL COMPOSITE NEW WORK FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

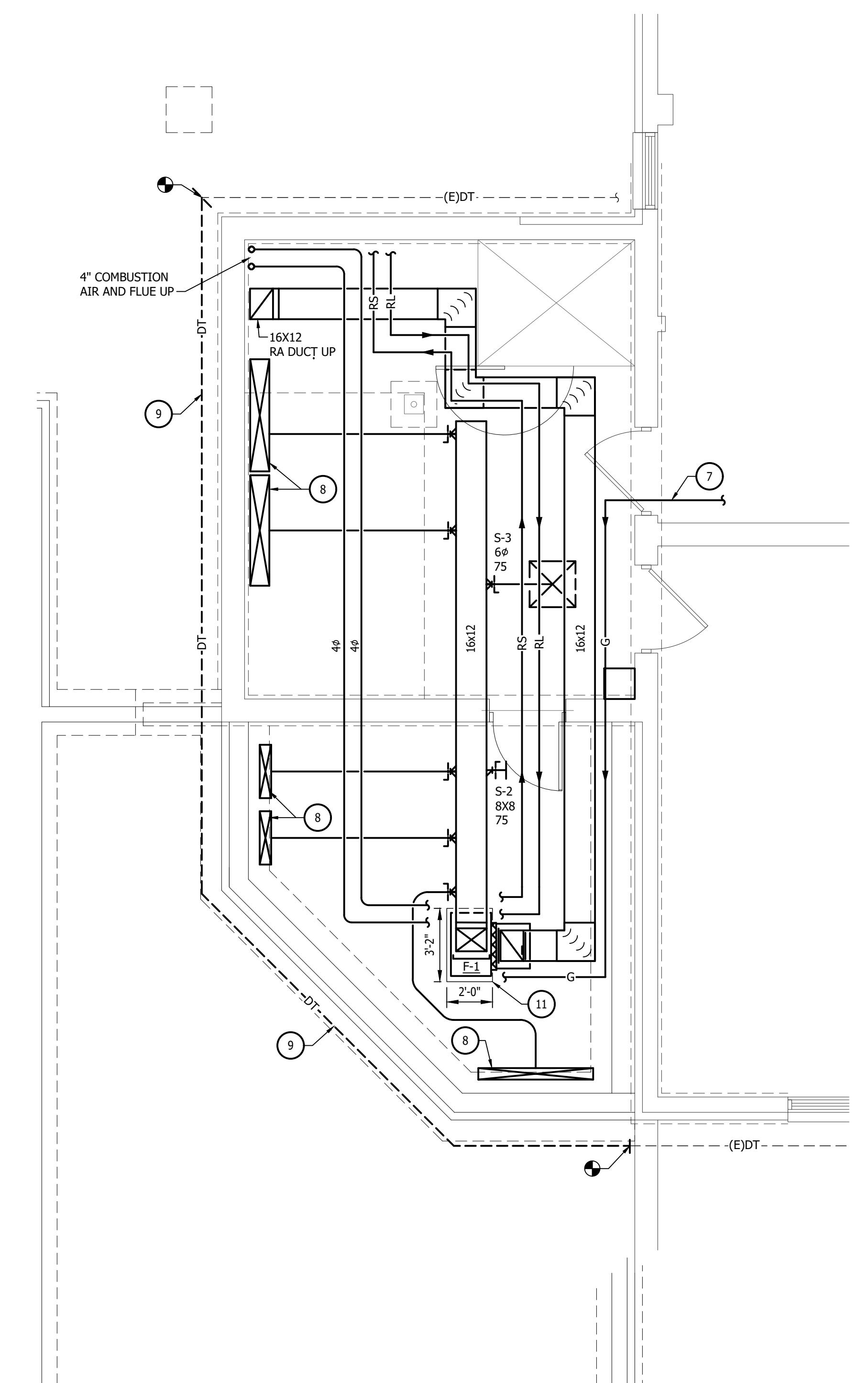
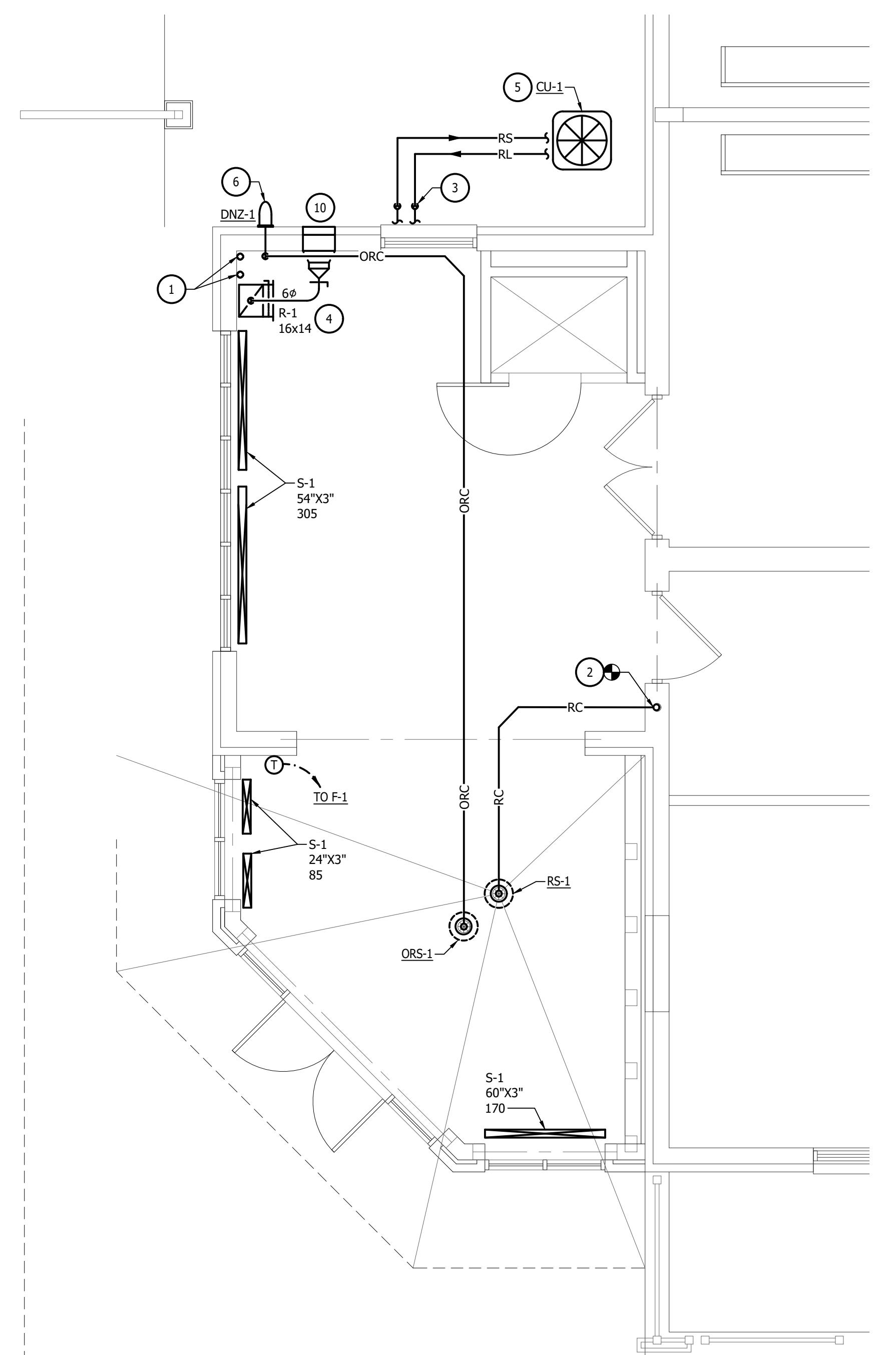
HVAC GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS, INCLUDING AMENDMENTS, BULLETS, ET AL, AS STATED IN THE CONTRACT, INCLUDING AMENDMENTS, BULLETS, ET AL, AS STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD, IN ACCORDANCE WITH ALTERNATES OF OPTIONS AS STATED HEREINAFTER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE CONTRACT, INCLUDING PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
C	THE CONTRACTOR AND EACH SUBCONTRACTOR COVENANTS AND AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CONSULTING ENGINEER, ARCHITECT, AND OWNER FROM AND AGAINST ANY LIABILITY, DAMAGE, OR EXPENSE, INCLUDING ATTORNEY FEES ARISING FROM A FAILURE OR ALLEGED FAILURE OF ANY PART OF THE CONTRACTOR, SUBCONTRACTORS, AND THEIR AGENTS/EMPLOYEES PROPERLY TO DISCHARGE THE OBLIGATIONS ASSUMED BY HIM/HER IN THE PERFORMANCE OF THE WORK, INCLUDING ANY ACT OR OMISSION ALLEGEDLY RESULTING IN DEATH, PERSONAL INJURY, PROPERTY DAMAGE, OR IMPROPER CONSTRUCTION PROTOCOL.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	CONTRACTOR TO EXAMINE ALL ADDING WORK BEFORE COMMENCEMENT OF HIS/HER SCOPE OF WORK. REPORT ANY DISCREPANCIES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL. COORDINATE ALL WORK WITH OTHER TRADES TO ENSURE THAT INSTALLATION IS MADE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
F	PROVIDE REQUIRED CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT; DUCTWORK/PIPE SHALL NOT INTERFERE WITH ELECTRICAL EQUIPMENT CLEARANCE.
G	CONNECTION TO EQUIPMENT SHALL BE VERIFIED WITH MANUFACTURER'S CERTIFIED DRAWINGS. ALL PIPING CONNECTIONS SHALL BE MINIMUM 3/4" UNLESS NOTED OTHERWISE.
H	FURNISH ADEQUATE LIABILITY INSURANCE AND BONDING DOCUMENTS AS REQUIRED BY THE OWNER.
J	ALL SUPPORT ANCHORS SECURED TO THE BOTTOM FLOOR SLABS SHALL BE DROP-IN OR SLEEVE ANCHOR TYPE. ALL SUPPORTING STEEL SHALL BE PROVIDED BY THE CONTRACTOR.
K	DUCTWORK/PIPE SHALL NOT BE INSTALLED IN A LOCATION THAT RESTRICTS THE ACCESS TO MECHANICAL DEVICES REQUIRING ACCESS.
L	THE CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS SUPPORTING STEEL FOR THE PROPER INSTALLATION OF MECHANICAL SYSTEMS.
M	BRANCH DUCTWORK TO GRILLES, REGISTERS, AND DIFFUSERS SHALL BE THE SAME SIZE AS TERMINAL DEVICE NECK SIZE WHERE NO DUCT SIZE IS INDICATED.

NEW WORK KEYED NOTES	
1	HAVE CONTRACTOR FIELD VERIFY SIZE OF GAS PIPE. EXTEND AND CONNECT 1" G PIPE TO EXISTING MAIN IN BOILER ROOM. FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
2	ROUTE GAS PIPING IN PRE-FABRICATED METAL CHASE BY MECHANICAL CONTRACTOR. PAINT FINISH TO MATCH EXISTING WALL COLOR. PROVIDE LARGE ENOUGH SPACE TO ROUTE ADDITIONAL ELECTRICAL CONDUIT. FIELD VERIFY REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO ORDER. PIPE MATERIAL SHALL BE SCHEDULE-40 BLACK STEEL WITH THREADED FITTINGS.

UNIFIED BUILDING  
SYSTEMS ENGINEERINGBY: UBS  
MT. CLEMENS, MI 48043  
UBS PROJECT 007.24.14FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

HVAC GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC CODES INCLUDING AMENDMENTS, BULLETINS, ETCS. AS WELL AS STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS AND REQUIREMENTS OF OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD, IN ACCORDANCE WITH ALTERNATES OF OPTIONS AS STATED HEREINAFTER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
C	THE CONTRACTOR AND EACH SUBCONTRACTOR COVENANTS AND AGREE TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CONSULTING ENGINEER, ARCHITECT, AND OWNER FROM AND AGAINST ANY LIABILITY, DAMAGE, OR EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING FROM THE FAILURE OR ALLEGED FAILURE OF THEIR PART OF THE CONTRACTOR, SUBCONTRACTORS, AND THEIR AGENTS/EMPLOYEES PROPERLY TO DISCHARGE THE OBLIGATIONS ASSUMED BY HIM/HER IN THE PERFORMANCE OF THE WORK, INCLUDING ANY ACT OR OMISSION ALLEGEDLY RESULTING IN DEATH, PERSONAL INJURY, PROPERTY DAMAGE, OR IMPROPER CONSTRUCTION PROTOCOL.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	CONTRACTOR TO EXAMINE ALL ADJOINING WORK BEFORE COMMENCEMENT OF HIS/HER SCOPE OF WORK, REPORT ANY DISCREPANCIES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL, COORDINATE ALL WORK WITH OTHER TRADES TO ENSURE THAT INSTALLATION IS MADE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
F	PROVIDE REQUIRED CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT; DUCTWORK/PIPEING SHALL NOT INTERFERE WITH ELECTRICAL EQUIPMENT CLEARANCE.
G	CONNECTION TO EQUIPMENT SHALL BE VERIFIED WITH MANUFACTURER'S CERTIFIED DRAWINGS. ALL PIPING CONNECTIONS SHALL BE MINIMUM 3/4" UNLESS NOTED OTHERWISE.
H	FURNISH ADEQUATE LIABILITY INSURANCE AND BONDING DOCUMENTS AS REQUIRED BY THE OWNER.
J	ALL SUPPORT ANCHORS SECURED TO THE BOTTOM OF FLOOR SLABS SHALL BE DROP OR SLEEVE ANCHOR TYPE. ALL SUPPORTING STEEL SHALL BE PROVIDED BY THE CONTRACTOR.
K	DUCTWORK/PIPEING SHALL NOT BE INSTALLED IN A LOCATION THAT RESTRICTS THE ACCESS TO MECHANICAL DEVICES REQUIRING ACCESS.
L	THE CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS SUPPORTING STEEL FOR THE PROPER INSTALLATION OF MECHANICAL SYSTEMS.
M	BRANCH DUCTWORK TO GRilles, REGISTERS, AND DIFFUSERS SHALL BE THE SAME SIZE AS TERMINAL DEVICE NECK SIZE WHERE NO DUCT SIZE IS INDICATED.

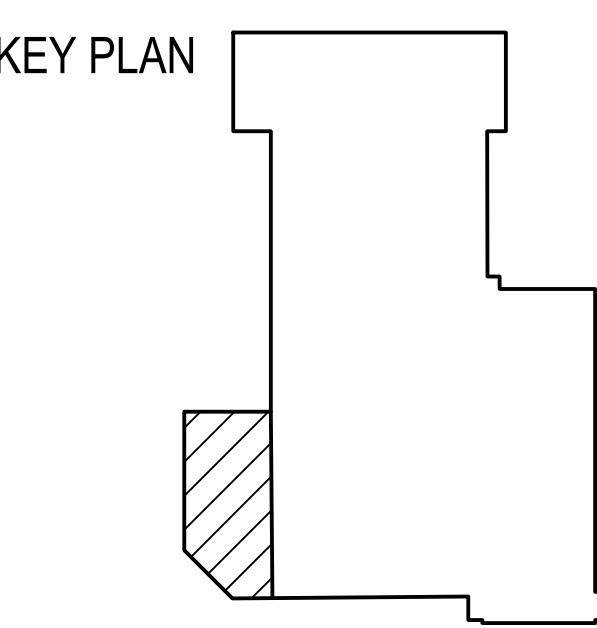
NEW WORK KEYED NOTES	
1	ROUTE 4" FLUE ALL COMBUSTION AIR DUCT UP THROUGH ROOF AND TERMINATE WITH CONCENTRIC FITTING. SEAL ALL ROOF PENETRATION WEATHER TIGHT.
2	EXTEND AND CONNECT 3" ST TO EXISTING 4" STORM RISER IN WALL. FIELD VERIFY EXACT LOCATION IN FIELD PRIOR TO INSTALLATION.
3	ROUTE REFRIGERANT PIPING DOWN BELOW GRADE AND PENETRATE EXISTING BASEMENT WALL WITH SCHEDULE 40 STEEL SLEEVE. SEAL WEATHER TIGHT.
4	MOUNT DIFFUSER AS HIGH AS POSSIBLE.
5	INSTALL CONDENSING UNIT ON EXTERIOR PAD.
6	ROUTE 3" ORC DOWN ALONG WALL TO DOWNSPOUT NOZZLE. TERMINATE ON SPLASH BLOCK 18" ABOVE GRADE.
7	EXTEND AND CONNECT 1" GAS PIPE TO EXISTING MAIN IN BOILER ROOM. FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION. REFER TO OVERALL PLANS FOR CONTINUATION. PIPE MATERIAL SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED FITTINGS.
8	CONTRACTOR TO FIELD FABRICATE PLENUM OFF BOTTOM OF FLOOR-MOUNTED DIFFUSER. PROVIDE AROUND SUPPLY DUCT CONNECTION ON SIDE OF PLENUM. REFER TO DIFFUSER LOG FOR SUPPLY CONNECTION SITE.
9	PROVIDE AND EXTEND NEW DRAIN TILE AROUND PORTION OF EXISTING BUILDING AND NEW ADDITION. CONNECT INTO EXISTING DRAIN TILE AT APPROACHING LOCATIONS SHOWN. FIELD VERIFY EXISTING DEPTH AND PIPE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPLACE ADDITIONAL PIPING AS NEEDED.
10	PROVIDE AND INSTALL 10'X2' GREENBLOCK CURB BRICK WENT IN APPROXIMATE LOCATION SHOWN. INSTALL LOUVER AT ELEVATION SO DUCTWORK OFF THE BACK IS ABOVE THE CEILING. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.
11	INSTALL FURNACE ON NEW 4" CONCRETE HOUSEKEEPING PAD. PAINT PAD SAFETY YELLOW. CONFIRM EXACT DIMENSION INS PAD IN FIELD PRIOR TO INSTALLATION.

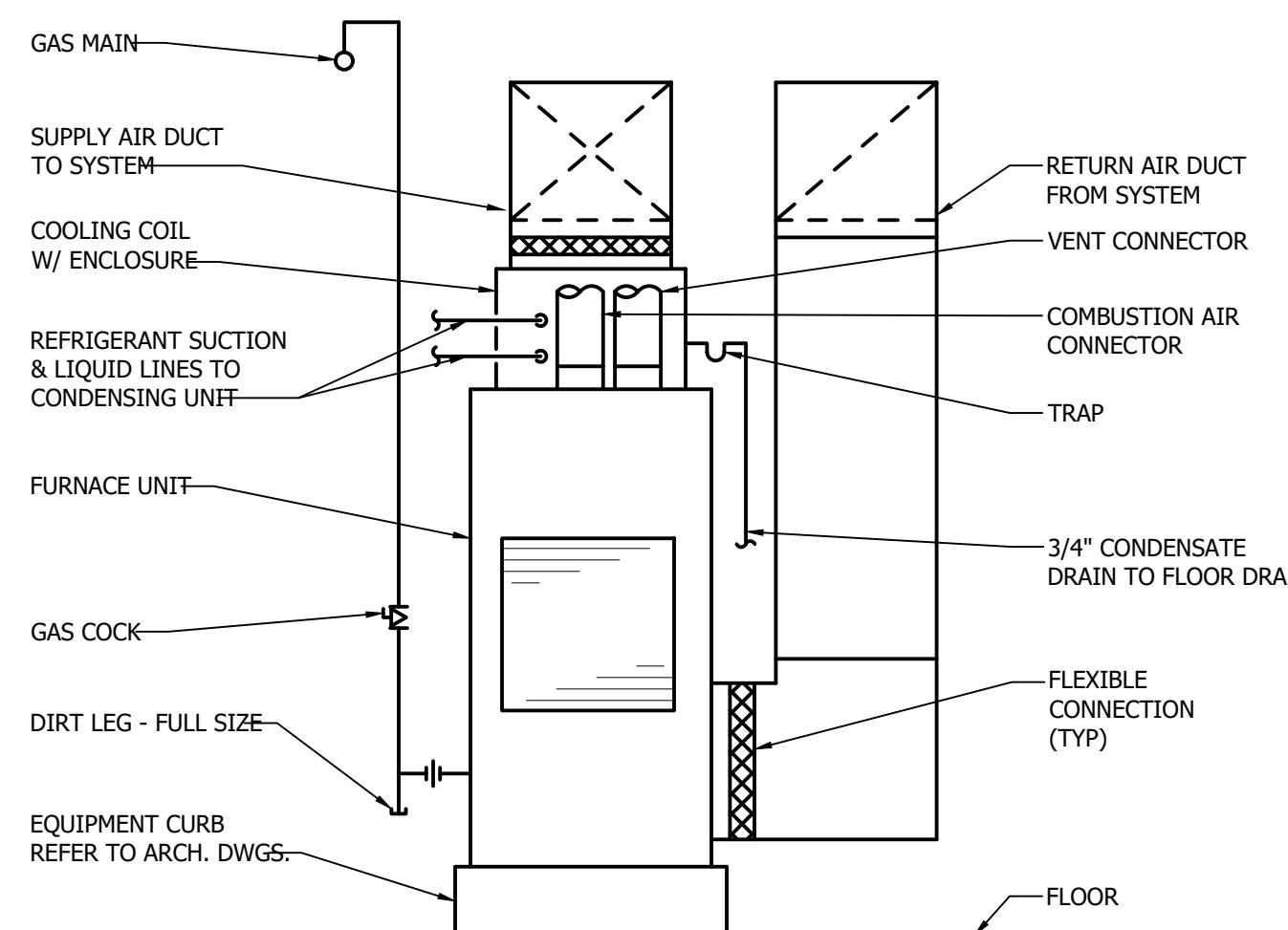
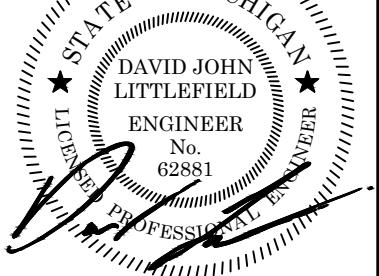
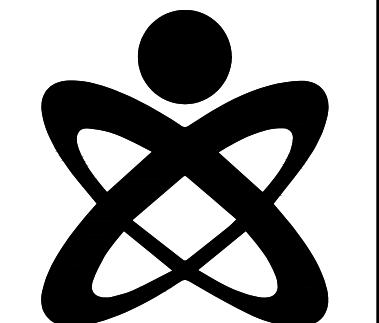
1  
M1.00  
ENLARGED MECHANICAL NEW WORK BASEMENT PLAN  
SCALE: 1/4" = 1'-0"2  
M1.00  
ENLARGED MECHANICAL NEW WORK FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"ENLARGED MECHANICAL  
NEW WORK PLANS
 PRELIMINARY   
 DESIGN DEVELOPMENT   
 CONSTRUCTION   
 FINAL RECORD 

 DRAWN BY: DJL  
 CHECKED BY: DJL

 REVISIONS  
 BLD SET: 01/14/2025

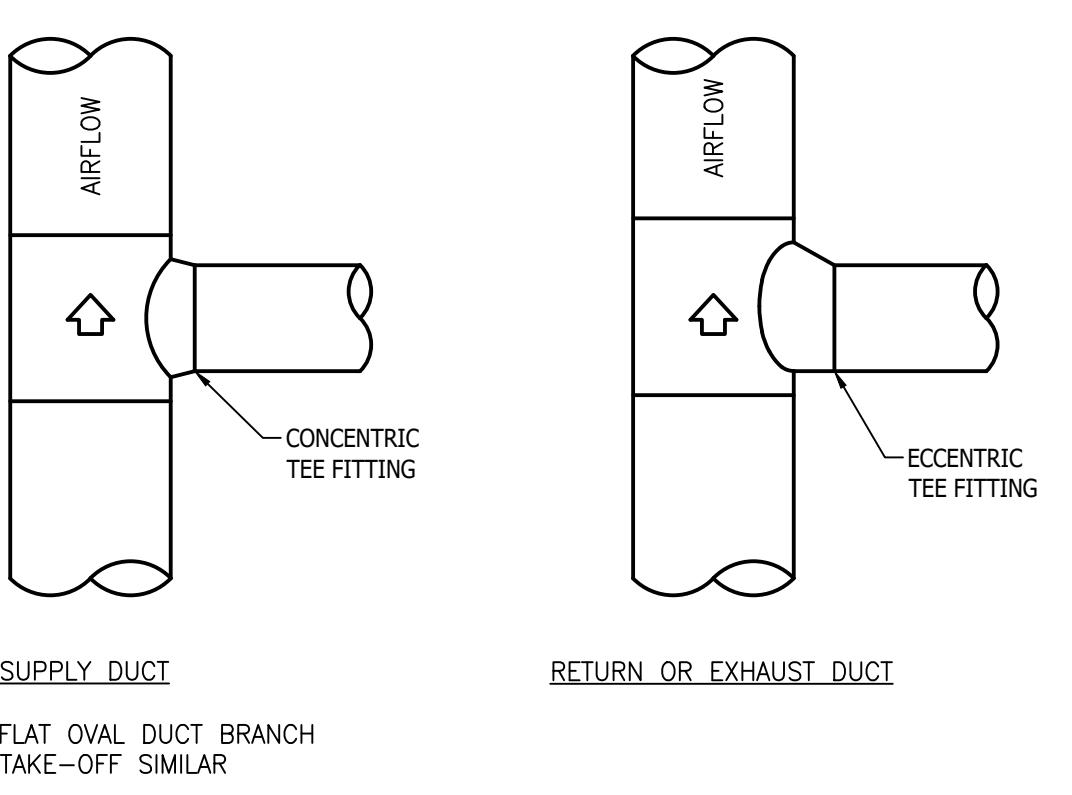
 DATE: JANUARY 14TH, 2025  
 SHEET NO.

 M4.00  
 JOB NO.




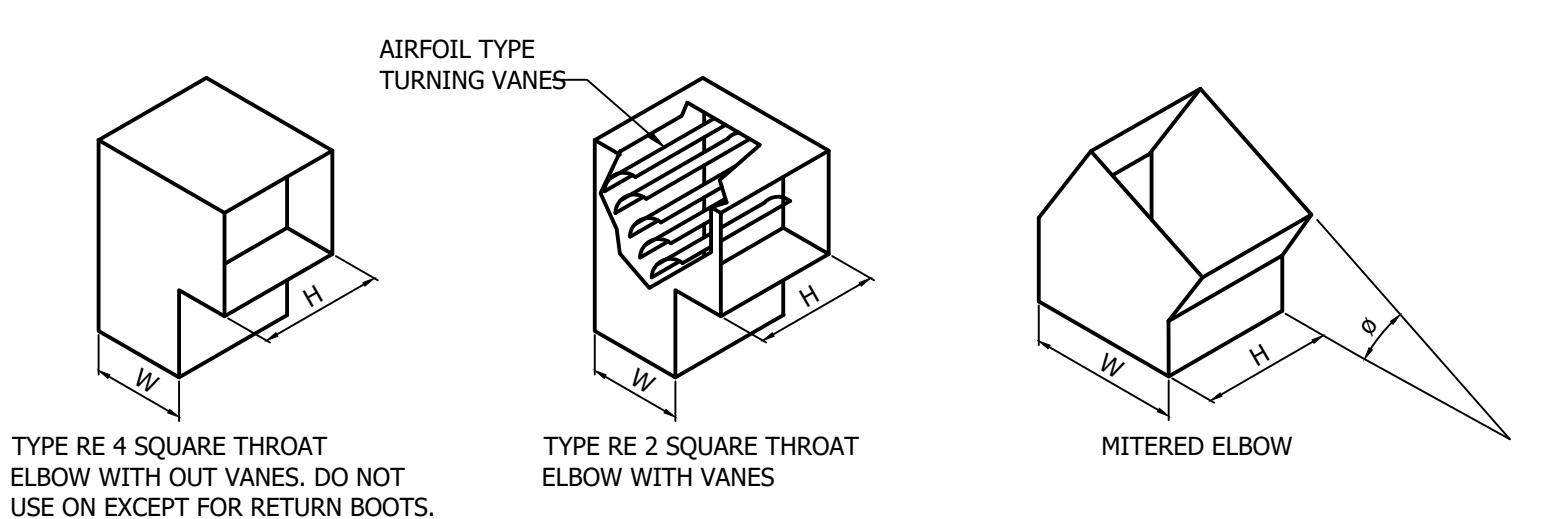
GAS FURNACE DETAIL

NO SCALE

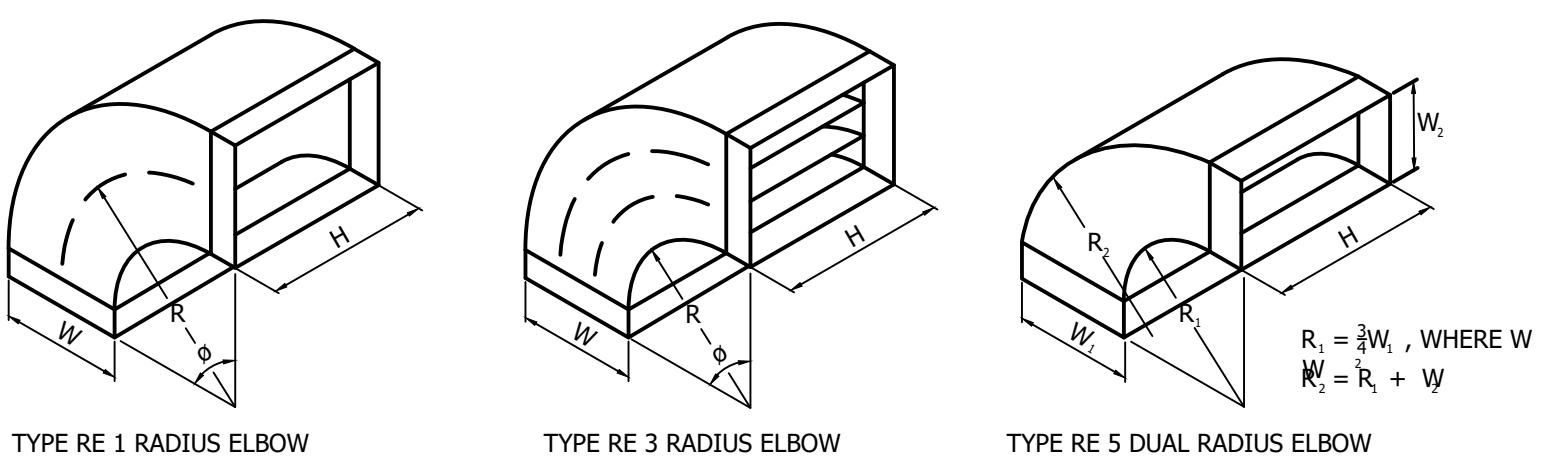


ROUND DUCT BRANCH TAKE-OFF DETAILS

NO SCALE

TYPE RE 4 SQUARE THROAT  
ELBOW WITH OUT VANES. DO NOT  
USE ON EXCEPT FOR RETURN BOOTS.TYPE RE 2 SQUARE THROAT  
ELBOW WITH VANES

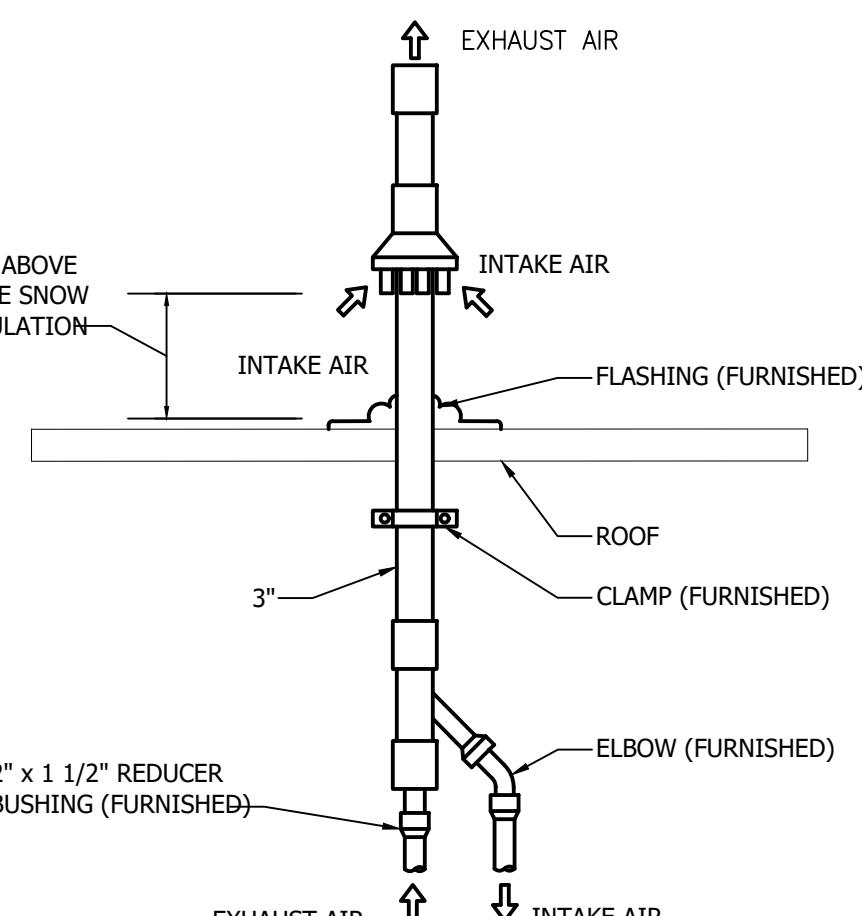
MITERED ELBOW

TYPE RE 1 RADIUS ELBOW  
CENTERLINE = 3W/2 = STD RADIUSTYPE RE 3 RADIUS ELBOW  
WITH VANES

TYPE RE 5 DUAL RADIUS ELBOW

RECTANGULAR SHEET-METAL ELBOWS

NO SCALE



CONCENTRIC TERMINATION - SLOPED ROOF DETAIL

NO SCALE

FURNACE SCHEDULE														
UNIT ID	SERVICE	SUPPLY CFM	OA CFM	ESP	BLOWER HP	CONDENSER TAG	HEATING SECTION			ELECTRICAL			MODEL NO.	REMARKS
							INPUT (MBH)	OUTPUT (MBH)	EFF AFUE	MCA	FUSE SIZE (AMPS)	VOLTS	PHASE	
F-1	LOBBY ADDITION	950	50	0.5	1/2	CU-1	88	84	93%	6.8	15	120	1	ML193UH090

NOTES:  
1. MODEL NUMBERS ARE LENNOX OTHERWISE NOTED.  
2. TWO-STAGE GAS BURNER.  
3. DISCONNECT SWITCH BY E.C.

CONDENSING UNIT SCHEDULE											
UNIT ID	NOMINAL TONNAGE	MINIMUM SEER	ELECTRICAL			COMPRESSORS			MODEL NO.	REMARKS	
			MCA	MDP	VOLTS	PHASE	NO.	TYPE			
CU-1	2	11	14.6	25	208	1	1	SCROLL	ML14X		

NOTES:  
1. MODEL NUMBERS ARE LENNOX OTHERWISE NOTED.  
2. BY E.C. DISCONNECT SWITCH.  
3. PROVIDE WITH HARD START KITS.  
4. PROVIDE EQUIPMENT PAP.

GRILLE, REGISTER AND DIFFUSER SCHEDULE									
UNIT ID	FACE SIZE	NECK SIZE	MOUNTING	FINISH	MATERIAL	PRICE/ MODEL NO.	REMARKS		
							BV	STEEL	LFG 25C
S-1	NECK+2"	5"X3"	FLOOR	ARCHITECH	STEEL	LFG 25C			
S-2	NECK+2"	SEE PLANS	DUCT	STEEL	STEEL	520			
S-3	24"X24"	SEE PLANS	WHITE	WHITE	STEEL				
R-1	NECK+2"	SEE PLANS	WALL	WHITE	STEEL	535			

NOTES:  
1. COORDINATE WITH LIGHTING AND FRAME TYPE ACCORDINGLY WITH ARCHITECTURAL CEILING LAYOUT.

PLUMBING FIXTURE SCHEDULE									
TAG	BARRIER FREE	ITEM	PIPE CONNECTION SIZES				MANUFACTURER & MODEL NO.		ACCESSORIES
			WASTE	VENT	CW	HW			
DNZ-1	-	DOWNSPOUT NOZZLE	4"	-	-	-	ZURN: Z199		
RS-1	-	ROOF SUMP	4"	-	-	-	ZURN: Z100		
ORS-1	-	ROOF SUMP OVERFLOW	4"	-	-	-	ZURN: Z100		

NOTES:  
1. SUPPLY ALL FIXTURES WITH LOOSE KEY STOPS.  
2. PROVIDE ALL ACCESSORIES NECESSARY FOR COMPLETE AND OPERABLE INSTALLATION.  
3. PROVIDE CARRIERS FOR ALL FIXTURES PER MANUFACTURER'S RECOMMENDATIONS.  
4. WHERE REQUIRED AND WHERE DESIGNATED, FIXTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE TO THE LATEST EDITION OF "THE BARRIER-FREE DESIGN REQUIREMENTS OF THE STATES CONSTRUCTION CODE".  
5. ALL FIXTURES SHALL MEET MICHIGAN DEPT. OF PUBLIC HEALTH REQUIREMENTS, AND SHALL BE SUITABLE FOR FOOD PREPARATION AREAS.  
6. REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION/MOUNTING HEIGHT OF ALL FIXTURES.

## MECHANICAL GENERAL REQUIREMENTS

## BASIC MECHANICAL MATERIALS AND METHODS

A. REFERENCES: MECHANICAL AND PHYSICAL PROPERTIES OF ALL MATERIALS, AND THE DESIGN, PERFORMANCE CHARACTERISTICS, AND METHODS OF CONSTRUCTION OF ALL ITEMS OF EQUIPMENT, MATERIALS, AND ACCESSORIES, IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS.

B. PERFORMANCE REQUIREMENTS: SYSTEMS COMPONENTS, PRESSURE AND TEMPERATURE, NOT EXCEEDING LESS THAN INDICATED AND AS REQUIRED FOR SYSTEM PRESSURES AND TEMPERATURES.

C. QUALITY ASSURANCE:

1. SCOPE OF WORK: FURNISH ALL LABOR, MATERIAL, EQUIPMENT, TECHNICAL SUPERVISION, AND OTHER SERVICES REQUIRED TO ENSURE THE LEAST EXPENSIVE AND MOST ECONOMIC OPERATION THE MECHANICAL SYSTEMS AS SPECIFIED AND AS INDICATED ON DRAWINGS.

2. ORDINANCES AND CODES: PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES AND CODES, AND REGULATIONS OF ASHAHE, NFPA, SMACNA AND UL, UNLESS OTHERWISE INDICATED.

3. SOURCE LIMITATIONS: EQUIPMENT OF THE SAME OR SIMILAR SYSTEMS SHALL BE BY THE SAME MANUFACTURER.

4. TESTS AND INSPECTIONS: PERFORM ALL TESTS REQUIRED BY STATE, CITY, COUNTY AND/OR OTHER AGENCIES HAVING JURISDICTION, PROVIDE ALL MATERIALS, EQUIPMENT, ETC., AS LABOR REQUIRED FOR TESTS.

5. DESIGN CHANGES: PERFORM ALL CHANGES AS TO AVOID INTERFERENCE WITH THE WORK OF OTHER TRADES, RESPONSIBLE FOR REMOVING AND RELOCATING ANY WORK WHICH IN THE OPINION OF THE OWNER'S REPRESENTATIVES CAUSES INTERFERENCE.

6. LABELING REQUIREMENT FOR PACKAGED EQUIPMENT: ELECTRICAL PANELS ON PACKAGED EQUIPMENT SHALL BE LABELED IN ACCORDANCE WITH THE LABEL OF ONE OF NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL) (ITI, CSA, ETC.).

7. ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES LISTED AS LABELED AS DEFINED IN THE NATIONALLY RECOGNIZED ASSEMBLIES AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND MARKED FOR INTENDED USE.

D. CODES, PERMITS AND FEES:

1. UNLESS OTHERWISE INDICATED, ALL REQUIRED PERMITS, LICENSES, INSPECTIONS, APPROVALS, AND FEES FOR MECHANICAL WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, RULES AND REGULATIONS.

2. WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE RULES AND REGULATIONS, SET FORTH IN LOCAL AND STATE CODES, PREPARE ANY DETAILED DRAWINGS OR DIAGRAMS WHICH MAY BE REQUIRED BY THE GOVERNING AUTHORITY WHERE THE DRAWINGS AND SPECIFICATIONS DO NOT CONFORM TO THE CODES, IN EXCESS OF CODE REQUIREMENTS, THE DRAWINGS AND SPECIFICATIONS SHALL GOVERN.

E. THE DRAWINGS SHOW LOCATION AND GENERAL ARRANGEMENT OF EQUIPMENT, PIPING, AND RELATED WORK. FOLLOW DRAWINGS AS CLOSELY AS ELEMENTS OF THE CONSTRUCTION OF PERMIT.

F. MATERIAL AND EQUIPMENT MANUFACTURERS:

1. EQUIPMENT AND MATERIALS PROVIDED SHALL BE FURNISHED COMPLETE WITH ALL ACCESSORIES, NORMALLY SUPPLIED WITH THE CATALOG ITEMS LISTED AND ALL OTHER ACCESSORIES NECESSARY FOR COMPLETE AND SATISFACTORY OPERATION OF THE EQUIPMENT. MANUFACTURERS REGULARLY ENGAGED IN THE PRODUCTION OF FIRE PROTECTION, PLUMBING, HEATING, VENTILATING AND AIR CONDITIONING EQUIPMENT, AND SHALL BE MANUFACTURERS LISTED IN THE APPENDIX.

2. PACKAGE UNIT EQUIPMENT AND SKID MOUNTED MECHANICAL COMPONENTS THAT ARE FACTORY ASSEMBLED SHALL MEET, IN PRODUCT NAMES AND SPECIFICATIONS IN EACH SECTION OF THE DRAWINGS.

3. WHERE EQUIPMENT CHANGES ARE MADE THAT INVOLVE ADDITIONAL ELECTRICAL WORK (LARGER SIZE MOTOR, ADDITIONAL WIRING OF EQUIPMENT, ETC.) THE MECHANICAL TRADES INVOLVED IN THE SITE, SOURCE LOCATION, AND OWNER'S REPRESENTATIVE, ETC., THE ELECTRICAL TRADES FOR THE COST OF THE ADDITIONAL WORK REQUIRED.

G. INSPECTION OF SITE: VISIT SITE, EXAMINE AND VERIFY CONDITIONS OF WORK WHICH WORK HAS BEEN PERFORMED, SUBMIT SUBMISSIONS OF PROPOSAL, IMPACTS WHICH CONTRACTOR HAS INCURRED, AND UNDERSTAND CONDITIONS OF WORK WHICH MUST BE CONDUCTED, NO ADDITIONAL CHARGES WILL BE ALLOWED BECAUSE OF FAILURE TO MEET THE REQUIREMENTS OF THE CONTRACTOR TO COMPLETE WORK.

H. SUBMITTALS: SUBMIT PROJECT SPECIFIC SUBMITTALS FOR REVIEW.

I. DELIVERY, STORAGE, AND HANDLING: STORAGE AND PROTECTION: PROVIDE ADEQUATE WEATHER PROTECTED STORAGE SPACE FOR ALL MECHANICAL EQUIPMENT AND MATERIALS DELIVERED TO SITE. SOURCE LOCATION, AND OWNER'S REPRESENTATIVE, EQUIPMENT STORED IN UNPROTECTED AREAS MUST BE PROVIDED WITH PROTECTIVE COVERS.

J. INSPECTION: OWNER PERSONNEL, CONTRACTOR PERSONNEL, AND OWNER'S REPRESENTATIVES DESIGNATED PERSONNEL, WILL INSPECT THE WORK IN PROGRESS, EACH DAY, OR AS OFTEN AS SPECIFIED IN INDIVIDUAL SPECIFICATION SECTIONS.

K. WARRANTY: CONTRACTOR SHALL WARRANT THAT MECHANICAL INSTALLATION IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP, AND THAT THE CONTRACTOR IS RESPONSIBLE FOR THIS MECHANICAL INSTALLATION WHICH BECOMES DEFECTIVE WITHIN A PERIOD OF ONE YEAR (UNSPECIFIED OTHERWISE) FROM THE DATE OF SUBSTANTIAL COMPLETION FOLLOWING FINAL PAYMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS, REPAIRS, REWORK, MATERIAL, WORKSHOPING OR FAILURE TO FURNISH CONTRACT DOCUMENTS. FILE WITH OWNER ANY AND ALL WARRANTIES FROM EQUIPMENT MANUFACTURERS INCLUDING OPERATING CONTRACTS.

L. MECHANICAL DEMOLITION WORK: DEMOLITION OF EXISTING MECHANICAL EQUIPMENT AND MATERIALS SHALL BE DONE BY THE CONTRACTOR UNLESS OTHERWISE INDICATED, INCLUDE ALL ITEMS OF EQUIPMENT, AND MATERIALS PROVIDED FOR EACH BUILDING, ADDITIONAL EQUIPMENT WHICH IS NOT REQUIRED FOR PROPER OPERATION OF MODIFIED SYSTEM. IN GENERAL, DEMOLITION WORK IS INDICATED ON DRAWINGS. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR ALL EXISTING EQUIPMENT, WHICH IS NOT FULLY DEMOLISHED, OR REMOVED.

M. REFRIGERANT INSTALLATION AND REFRIGERANT WORK: WORK RELATED TO REFRIGERANT CONDENSERS IN AIR CONDITIONERS, AND SIMILAR EQUIPMENT, INCLUDING RELATED PIPING, IN STRICT ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. ASHRAE STANDARD 15 AND RELATED REVISIONS: SAFETY CODE FOR MECHANICAL REFRIGERATION SYSTEMS.

2. ASHRAE STANDARD 34 AND RELATED REVISIONS: NUMBER DESIGNATION AND SAFETY CLASSIFICATION OF REFRIGERANTS.

3. UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA) REQUIREMENTS OF SECTION 600 OF THE CODE OF VENTING AND REGULATION OF CO2 AND APPLICABLE STATE AND LOCAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

4. RECOVERED REFRIGERANT IS THE PROPERTY OF THE CONTRACTOR. DISPOSE OF REFRIGERANT LEGALLY IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.

N. WORK IN EXISTING BUILDINGS:

1. OWNER WILL PROVIDE ACCESS TO EXISTING BUILDINGS AS REQUIRED. ACCESS REQUIREMENTS TO OCCUPIED BUILDINGS, &amp; PARTS OF EXISTING BUILDINGS, WILL COMPLETE SAME WITHOUT INTERRUPTION IN ORDER TO RETURN WORK AREAS AS SOON AS POSSIBLE TO OWNER.

2. OWNER WILL MAINTAIN AND PRESERVE ALL EXISTING AND NEWLY INSTALLED WORK, PROMPTLY REPAIR ANY DAMAGE TO SAME AT CONTRACTOR'S EXPENSE.

3. CONSULT WITH OWNER'S REPRESENTATIVE AS TO METHODS OF CARRYING ON WORK SO AS NOT TO INTERFERE WITH OWNER'S OPERATION ANY MORE THAN ABSOLUTELY NECESSARY. CONTRACTOR SHALL NOT OPERATE OR TEST EQUIPMENT OR SYSTEMS AS POSSIBLE AS THE SERVICES SHOWN ONLY BE INTERRUPTED AT SUCH TIME AS WILL BE APPROVED BY THE OWNER'S REPRESENTATIVE.

4. FOR OWNER TO STATE IN THE DRAWINGS, AREA TO REPAIR APPROVAL FOR DOING SO FROM A QUALIFIED REPRESENTATIVE OF THE OWNER'S REPRESENTATIVE IS DESIGNATED AND AUTHORIZED BY THE OWNER TO PERFORM TESTING AND ABATEMENT IF NECESSARY OF ALL HAZARDOUS MATERIALS AND CONTAMINANTS. CONTRACTOR SHALL NOT OPERATE OR TEST EQUIPMENT OR SYSTEMS AS POSSIBLE AS THE SERVICES SHOWN ONLY BE INTERRUPTED AT SUCH TIME AS WILL BE APPROVED BY THE OWNER'S REPRESENTATIVE.

5. TEMPORARY SERVICES: THE EXISTING BUILDINGS TO BE OCCUPIED DURING CONSTRUCTION, MAINTAIN MECHANICAL SERVICES AND PROVIDE NECESSARY TEMPORARY CONNECTIONS AND THEIR REMOVAL AT NO ADDITIONAL EXPENSE.

6. CONTRACTOR'S EQUIPMENT: THE EXISTING BUILDINGS TO BE OCCUPIED DURING CONSTRUCTION, MAINTAIN MECHANICAL SERVICES AND PROVIDE NECESSARY TEMPORARY CONNECTIONS AND THEIR REMOVAL AT NO ADDITIONAL EXPENSE.

7. ACCEPTANCE PROCEDURE: ONCE SUCCESSFUL COMPLETION OF START-UP AND RECOMMISSIONING, CONTRACTOR TO BUILDERS, CONTRACTOR, AND OWNER, CONCERNING COMMENCEMENT OF WARRANTY, ARCHITECT/ENGINEER SHALL BE REQUESTED IN WRITING TO OBSERVE AND APPROVE FACTORY OPERATION OF ALL MECHANICAL SYSTEMS.

8. CONTRACTOR'S EQUIPMENT: THE EXISTING BUILDINGS TO BE OCCUPIED DURING CONSTRUCTION, MAINTAIN MECHANICAL SERVICES AND PROVIDE NECESSARY TEMPORARY CONNECTIONS AND THEIR REMOVAL AT NO ADDITIONAL EXPENSE.

9. AFTER CORRECTING ALL ITEMS APPEARING ON THE PUNCH LIST, MAKE A SECOND WRITTEN REQUEST TO THE OWNER AND ARCHITECT/ENGINEER FOR OBSERVATION AND APPROVAL.

10. AFTER ALL ITEMS ON PUNCH LIST ARE CORRECTED AND FORMAL APPROVAL OF MECHANICAL SYSTEMS IS PROVIDED BY ARCHITECT/ENGINEER, CONTRACTOR SHALL INDICATE TO THE OWNER IN WRITING THE COMMENCEMENT OF THE WARRANTY PERIOD.

A. ACCEPTABLE PIPE, DUCT, AND EQUIPMENT INSULATION MATERIALS AND THICKNESSES ARE SHOWN ON THE DRAWINGS. WHERE NOT SHOWN, THE FOLLOWING APPLY:

1. INDIVIDUAL PIPES: HOT SURFACE GRAMS, ALL PIPE SIZES: GLASS-FIBER OR MINERAL WOOL, PREFORMED PIPE INSULATION, TYPE I OR II, 1/8 INCH THICK.

2. HOT SURFACE VENTS: ALL PIPE SIZES: GLASS-FIBER OR MINERAL WOOL, PREFORMED PIPE INSULATION, TYPE I OR II, 1/8 INCH THICK.

3. EXISTING PLASTIC WATER PIPING WITHIN RETURN AIR PLenum SPACE: ALL PIPE SIZES: INSULATION SHALL BE:

1) HIGH-RATED PLenum: 1/2 INCH THICK.

2) FIELD-APPLIED: 1/2 INCH THICK.

3. INSULATION CEMENTS, ADHESIVES, TAPES, AND SEALANTS: USE MANUFACTURER RECOMMENDED PRODUCTS.

F. MASTIC: MATERIALS SHALL BE COMPOSED OF INSULATION MATERIALS, JACKETS, AND INSULATION COMPILED WITH ASTM C 921, TYPE II.

G. FIELD-APPLIED JACKETS: FIELD-APPLIED JACKETS SHALL COMPLY WITH ASTM C 921, TYPE I, UNLESS OTHERWISE INDICATED.

1. PVC: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, THICKNESS AS SPECIFIED; ROLL STOCK READY FOR SHOP OR FIELD CUTTING AND FORMING.

2. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

3. PVC FITTING COVERS: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, AND INCLUDING FLEXIBLE GLASS FIBER INSULATION INSERTS.

4. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

E. INSULATION CEMENTS, ADHESIVES, TAPES, AND SEALANTS: USE MANUFACTURER RECOMMENDED PRODUCTS.

F. MASTIC: MATERIALS SHALL BE COMPOSED OF INSULATION MATERIALS, JACKETS, AND INSULATION COMPILED WITH ASTM C 921, TYPE II.

G. FIELD-APPLIED JACKETS: FIELD-APPLIED JACKETS SHALL COMPLY WITH ASTM C 921, TYPE I, UNLESS OTHERWISE INDICATED.

1. PVC: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, THICKNESS AS SPECIFIED; ROLL STOCK READY FOR SHOP OR FIELD CUTTING AND FORMING.

2. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

3. PVC FITTING COVERS: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, AND INCLUDING FLEXIBLE GLASS FIBER INSULATION INSERTS.

4. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

E. INSULATION CEMENTS, ADHESIVES, TAPES, AND SEALANTS: USE MANUFACTURER RECOMMENDED PRODUCTS.

F. MASTIC: MATERIALS SHALL BE COMPOSED OF INSULATION MATERIALS, JACKETS, AND INSULATION COMPILED WITH ASTM C 921, TYPE II.

G. FIELD-APPLIED JACKETS: FIELD-APPLIED JACKETS SHALL COMPLY WITH ASTM C 921, TYPE I, UNLESS OTHERWISE INDICATED.

1. PVC: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, THICKNESS AS SPECIFIED; ROLL STOCK READY FOR SHOP OR FIELD CUTTING AND FORMING.

2. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

3. PVC FITTING COVERS: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, AND INCLUDING FLEXIBLE GLASS FIBER INSULATION INSERTS.

4. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

E. INSULATION CEMENTS, ADHESIVES, TAPES, AND SEALANTS: USE MANUFACTURER RECOMMENDED PRODUCTS.

F. MASTIC: MATERIALS SHALL BE COMPOSED OF INSULATION MATERIALS, JACKETS, AND INSULATION COMPILED WITH ASTM C 921, TYPE II.

G. FIELD-APPLIED JACKETS: FIELD-APPLIED JACKETS SHALL COMPLY WITH ASTM C 921, TYPE I, UNLESS OTHERWISE INDICATED.

1. PVC: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, THICKNESS AS SPECIFIED; ROLL STOCK READY FOR SHOP OR FIELD CUTTING AND FORMING.

2. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

3. PVC FITTING COVERS: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, AND INCLUDING FLEXIBLE GLASS FIBER INSULATION INSERTS.

4. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

E. INSULATION CEMENTS, ADHESIVES, TAPES, AND SEALANTS: USE MANUFACTURER RECOMMENDED PRODUCTS.

F. MASTIC: MATERIALS SHALL BE COMPOSED OF INSULATION MATERIALS, JACKETS, AND INSULATION COMPILED WITH ASTM C 921, TYPE II.

G. FIELD-APPLIED JACKETS: FIELD-APPLIED JACKETS SHALL COMPLY WITH ASTM C 921, TYPE I, UNLESS OTHERWISE INDICATED.

1. PVC: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, THICKNESS AS SPECIFIED; ROLL STOCK READY FOR SHOP OR FIELD CUTTING AND FORMING.

2. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

3. PVC FITTING COVERS: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, AND INCLUDING FLEXIBLE GLASS FIBER INSULATION INSERTS.

4. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

E. INSULATION CEMENTS, ADHESIVES, TAPES, AND SEALANTS: USE MANUFACTURER RECOMMENDED PRODUCTS.

F. MASTIC: MATERIALS SHALL BE COMPOSED OF INSULATION MATERIALS, JACKETS, AND INSULATION COMPILED WITH ASTM C 921, TYPE II.

G. FIELD-APPLIED JACKETS: FIELD-APPLIED JACKETS SHALL COMPLY WITH ASTM C 921, TYPE I, UNLESS OTHERWISE INDICATED.

1. PVC: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, THICKNESS AS SPECIFIED; ROLL STOCK READY FOR SHOP OR FIELD CUTTING AND FORMING.

2. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

3. PVC FITTING COVERS: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, AND INCLUDING FLEXIBLE GLASS FIBER INSULATION INSERTS.

4. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

E. INSULATION CEMENTS, ADHESIVES, TAPES, AND SEALANTS: USE MANUFACTURER RECOMMENDED PRODUCTS.

F. MASTIC: MATERIALS SHALL BE COMPOSED OF INSULATION MATERIALS, JACKETS, AND INSULATION COMPILED WITH ASTM C 921, TYPE II.

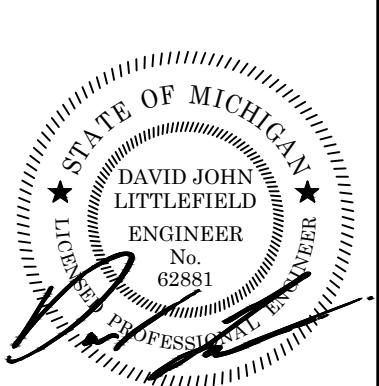
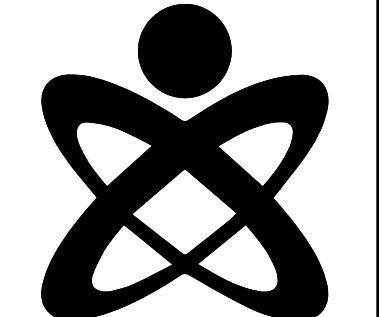
G. FIELD-APPLIED JACKETS: FIELD-APPLIED JACKETS SHALL COMPLY WITH ASTM C 921, TYPE I, UNLESS OTHERWISE INDICATED.

1. PVC: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, THICKNESS AS SPECIFIED; ROLL STOCK READY FOR SHOP OR FIELD CUTTING AND FORMING.

2. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.

3. PVC FITTING COVERS: HIGH-IMPACT-RESISTANT, UV-RESISTANT PVC, COMPLYING WITH ASTM D 1784, CLASS 16354-C, AND INCLUDING FLEXIBLE GLASS FIBER INSULATION INSERTS.

4. PRODUCTS: JOHN MANVILLE, ZESTON AND CEEL-CO | P.L.C. PLASTICS, INC.; FG SERIES | PROTO PVC CORPORATION; LOSMOKE | SPEEDLINE CORPORATION; SMOKESAFE.



LUMINAIRE SCHEDULE			
Fixture Symbol	Fixture Tag	Description	Manufacturer(s)
			Lamp Source
	A	4.5W X 1.2H X 1.2" D LED RING PENDANT FIXTURE, SEAMLESS ALUMINUM HOUSING AND SEAMLESS DIFFUSER, FINISH TO BE SELECTED BY ARCHITECT, FLAT DIFFUSED LENS, DIRECT AND INDIRECT OPTION, LED ELECTRONIC DRIVER 1/4 AMP, 120V, 120V, ADJUSTABLE AIRCRAFT CABLE MOUNTING, 3197 LUMENS, 4000K, 80 CRI, CABLE HUNG, 120V OPERATION.	1. SPI ZYNN RING L54W-120-4000K DF-80-DIM-MCP2 40K 80CRI HC36 2. COOPER LIGHTING 3. COLUMBIA LIGHTING
	B	4'L X 3.4" W X 2.7" D LED LINEAR PENDANT STRIP FIXTURE, ROLLED STEEL HOUSING, END CAPS, WHITE FINISH, FLAT DIFFUSED LENS, LED ELECTRONIC DRIVER, DIMMING DOWN TO 10%, WITH ADJUSTABLE AIRCRAFT CABLE MOUNTING, 4000 LUMENS, 4000K, 80 CRI, CABLE HUNG, 120V OPERATION.	1. LITHONIA CLX L48 4000K SEF FDL MVOLT GZ10 40K 80CRI HC36 2. COOPER LIGHTING 3. COLUMBIA LIGHTING
	C	6" DIAMETER HIGH BRIGHTNESS LIGHT EMITTING DIODES (LEDs) RECESS MOUNTED DOWNLIGHT SUITABLE FOR CEILING CONSTRUCTION, DOME IN-OUT TYPE CEILING CONSTRUCTION, WIDE DISTRIBUTION, MATT DIFFUSE ALUMINUM REFLECTOR WITH CLEAR APERTURE/TRIM, CONSTANT CURRENT LED DRIVER, 0-10V DIMMING DRIVER DOWN TO 10% MVOLT OPERATION, NOMINAL 2500 LUMEN OUTPUT.	1. GOTHAM EV040-25-4AR-WDLD MVOLTEZ1. 2. COOPER LIGHTING 3. COLUMBIA LIGHTING
	D	8" DIAMETER HIGH EFFICIENT LED (KBD8) BOLLARD, 8" ROUND ALUMINUM SHAFT, THICK SIDE WALLS FOR EXTREME DURABILITY, FINISH TO BE SELECTED BY ARCHITECT, BUILT IN PHOTO CELL WITH CLEAR ACRYLIC LENS, 4000K, 1598LUMENS, MVOLT.	1. LITHONIA KBD8 LED 16C-530-40K-SYM-MVOLT-PE 2. COOPER LIGHTING 3. COLUMBIA LIGHTING
	E	24" X 42" HIGH EFFICIENT LED (KPA24) BOLLARD, 8" ROUND ALUMINUM SHAFT, THICK SIDE WALLS FOR EXTREME DURABILITY, FINISH TO BE SELECTED BY ARCHITECT, BUILT IN PHOTO CELL WITH CLEAR ACRYLIC LENS, 4000K, 0-10V DIMMING CAPABLE, UNIVERSAL VOLTAGE.	1. LITHONIA CPX-X24 4000LMBCR40KSWLM1100MVOLT 2. COOPER LIGHTING 3. COLUMBIA LIGHTING
	F	4.5" WIDE SURFACE MOUNTED EXTRUDED ALUMINUM LED (LP840) BOLLARD, TRIM SUITABLE FOR WET LOCATIONS, TEMPERED CLEAR GLASS LENS, HIGH EFFICIENCY LAMBERTIAN OPTIC, LENGTH AS SHOWN ON PLANS, 4000K, 80 CRI, MVOLT, 0-10V DIMMING, HIGH OUTPUT, COLOR TO BE SELECTED BY ARCHITECT.	1. LUMEN WERK VIA WET 2. AXIS LIGHTING 3. ENGINEER APPROVED EQUAL PRIORITY TO RECEPTION OF BIDS
	G	SAME AS TYPE # EXCEPT THIS FIXTURE WILL BE PROVIDED WITH AN INTEGRATED BATTERY, WIRE SUCH IT OPERATES NORMALLY WITH A SWITCH AND AS AN EMERGENCY LIGHT UPON LOSS OF POWER.	
	H	EXIT LIGHT EMERGENCY LIGHT SHALL BE UNIVERSAL MOUNT, DIECAST ALUMINUM, HIGH OUTPUT LED DIFFUSION LIGHT PANEL, RED LETTERS WITH MAINTENANCE FREE NICKEL CADMIUM BATTERY CAPABLE OF PROVIDING 90 MINUTE FULL LIGHT OPERATION.	1. LITEALARMS GRANDE SERIES CAT # 1 XDPG N W RW
	I	EMERGENCY LIGHT REMOTE HEAD TO BE CONNECTED TO EXIT SIGN WITH HIGH OUTPUT BATTERY..	1. LITEALARMS CAT # SAF2 LD1 B 6
			120-277V 2.3
			120-277V 2.3

## LUMINAIRE SCHEDULE

## POWER SYMBOL LIST

## ELECTRICAL ABBREVIATIONS

SHT NO	DESCRIPTION
E0.00	ELECTRICAL GENERAL INFORMATION AND LIGHTING SCHEDULE
EP1.00	ELECTRICAL POWER BASEMENT COMPOSITE PLAN
EL1.00	ELECTRICAL LIGHTING COMPOSITE PLANS
EPD4.00	ENLARGED ELECTRICAL POWER DEMOLITION BASEMENT PLAN
EP4.00	ENLARGED ELECTRICAL POWER NEW WORK PLANS
ELD4.00	ENLARGED ELECTRICAL LIGHTING DEMOLITION PLANS
EL4.00	ENLARGED ELECTRICAL LIGHTING NEW WORK PLANS
E5.00	ELECTRICAL DETAILS
E6.00	ELECTRICAL PANEL SCHEDULES
E7.00	ELECTRICAL ONE-LINE RISER DIAGRAMS
E8.00	ELECTRICAL SPECIFICATIONS
E8.01	ELECTRICAL SPECIFICATIONS

## DRAWING INDEX

SYMBOL	DESCRIPTION
•	CONDUIT DOWN
○	CONDUIT UP
□	CONTACTOR
□	DISCONNECT SWITCH - NON FUSED
□	DISCONNECT SWITCH - FUSED
□	DISCONNECT SWITCH - COMB. MOTOR STARTER
□	ELECTRICAL PANEL - 208/240 VOLTS
■	ELECTRICAL PANEL - 480 VOLTS
○	GROUNDING ROD
—	GROUND
—	GROUNDING BAR
○	JUNCTION BOX
○	JUNCTION BOX WITH HARDWIRED CONNECTION
M	METER
○	MOTOR - SINGLE PHASE
○	MOTOR - THREE PHASE
△	MOTOR RATED SWITCH
⊕	POWER RECEPTACLE - SIMPLEX TYPE
⊕	POWER RECEPTACLE - DUPLEX TYPE
⊕	POWER RECEPTACLE - DUPLEX 6" ABOVE COUNTER
⊕ <sub>1/2</sub>	POWER RECEPTACLE - USB/DUPLEX COMBO. DEVICE
⊕	POWER RECEPTACLE - QUADRUPLEX TYPE
⊕	POWER RECEPTACLE - RECESSED FLOOR TYPE
⊕	POWER RECEPTACLE - SPECIALTY TYPE
SPD	SURGE PROTECTION DEVICE
TC	TIME CLOCK
1	TRANSFORMER (REFER TO SCHEDULES FOR INFO)
VSD	VARIABLE SPEED DRIVE
NOTES:	
1. ALL DEVICE RATINGS/SIZES SHALL BE COORDINATED WITH PLANS AND SCHEDULES.	

## LIGHTING SYMBOL LIST

SYMBOL	DESCRIPTION
	LIGHT FIXTURE - CEILING/GRID MOUNT
	LIGHT FIXTURE - INTERIOR WALL MOUNT LINEAR
	LIGHT FIXTURE - DOWNLIGHT WITH WALLWASH DIST.
	LIGHT FIXTURE - INTERIOR WALL SCONCE
	LIGHT FIXTURE - INTERIOR SURFACE MOUNT
	LIGHT FIXTURE - INTERIOR WALL MOUNTED
	LIGHT FIXTURE - INTERIOR PENDANT MOUNT
	LIGHT FIXTURE - INTERIOR PENDANT MOUNT CYLINDER
	TRACK AND TRACK MOUNTED LIGHT FIXTURES
	EXIT LIGHT - CEILING MOUNTED - ARROWS AS INDICATED ON PLAN (SHADeD AREA INDICATES FACE(S) OF FIXTURE)
	EXIT LIGHT - WALL MOUNTED - ARROWS AS INDICATED ON PLAN (SHADeD AREA INDICATES FACE(S) OF FIXTURE)
	EMERGENCY LIGHT FIXTURE - EMERGENCY BATTERY UNIT
	EMERGENCY LIGHT FIXTURE - BATTERY UNIT/EXIT SIGN
	LIGHT FIXTURE - EXTERIOR POLE MOUNT TYPE
	LIGHT FIXTURE - EXTERIOR WALL MOUNT TYPE
	LIGHT FIXTURE - EXTERIOR POST TOP TYPE
	LIGHT FIXTURE - EXTERIOR BOLLARD TYPE

NOTES:  
1. LIGHTING SYMBOLS AS INDICATED ON PLANS ARE NOT DRAWN TO SCALE UNLESS NOTED OTHERWISE.

## LIGHTING CONTROLS LEGEND

SYMBOL	DESCRIPTION
\$	SWITCH SINGLE POLE
\$ <sub>o</sub>	OCCUPANCY SENSOR SWITCH
\$ <sub>v</sub>	VACANCY SENSOR SWITCH
\$ <sub>d</sub>	LOW VOLTAGE DIMMER SWITCH
\$ <sub>vo</sub>	VACANCY DIMMER SENSOR SWITCH
○	CEILING MOUNTED OCCUPANCY SENSOR
○	CEILING MOUNTED VACANCY SENSOR
\$ <sub>3</sub>	SWITCH THREE-WAY
\$ <sub>k</sub>	SINGLE POLE KEY SWITCH
□	PHOTOCEL Sensor

## FIRE ALARM SYMBOL LIST

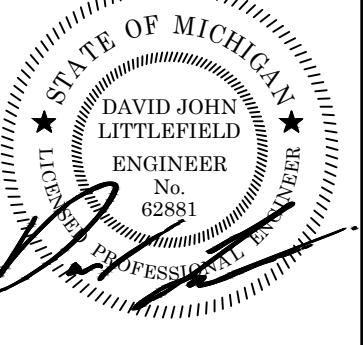
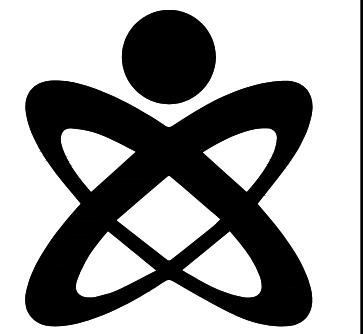
SYMBOL	DESCRIPTION
○	DETECTION DEVICE
○	DETECTION DEVICE - DUCT MOUNTED
○	DETECTION DEVICE - FLOW SWITCH
○	DETECTION DEVICE - TAMPER SWITCH
FAA	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
▽FD	FIRE DEPARTMENT COMMUNICATION OUTLET
F	MANUAL DEVICE - PULL STATION
□	NOTIFICATION DEVICE - WALL MOUNTED
○	NOTIFICATION DEVICE - CEILING MOUNTED
NOTES:	
1. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR BOX AND CONDUIT FOR ALL DEVICES INDICATED.	
2. LOW VOLTAGE CONTRACTOR SHALL PROVIDE EXACT SPECIFICATIONS AND LOCATIONS OF ALL DEVICES.	

SPEC/SPCS	DESCRIPTION
TBB	TELEPHONE BACKBOARD
TYP.	TYPICAL
UC	UNDER COUNTER
UL	UNDERWRITERS LABORATORIES
UPS	UNINTERRUPTIBLE POWER SUPPLY
USB	UNIVERSAL SERIAL BUS
V	VOLT
VA	VOLT AMPERE
W	WATT
WG	WIRE GUARD
WP	WEATHERPROOF
XFMR	TRANSFORMER

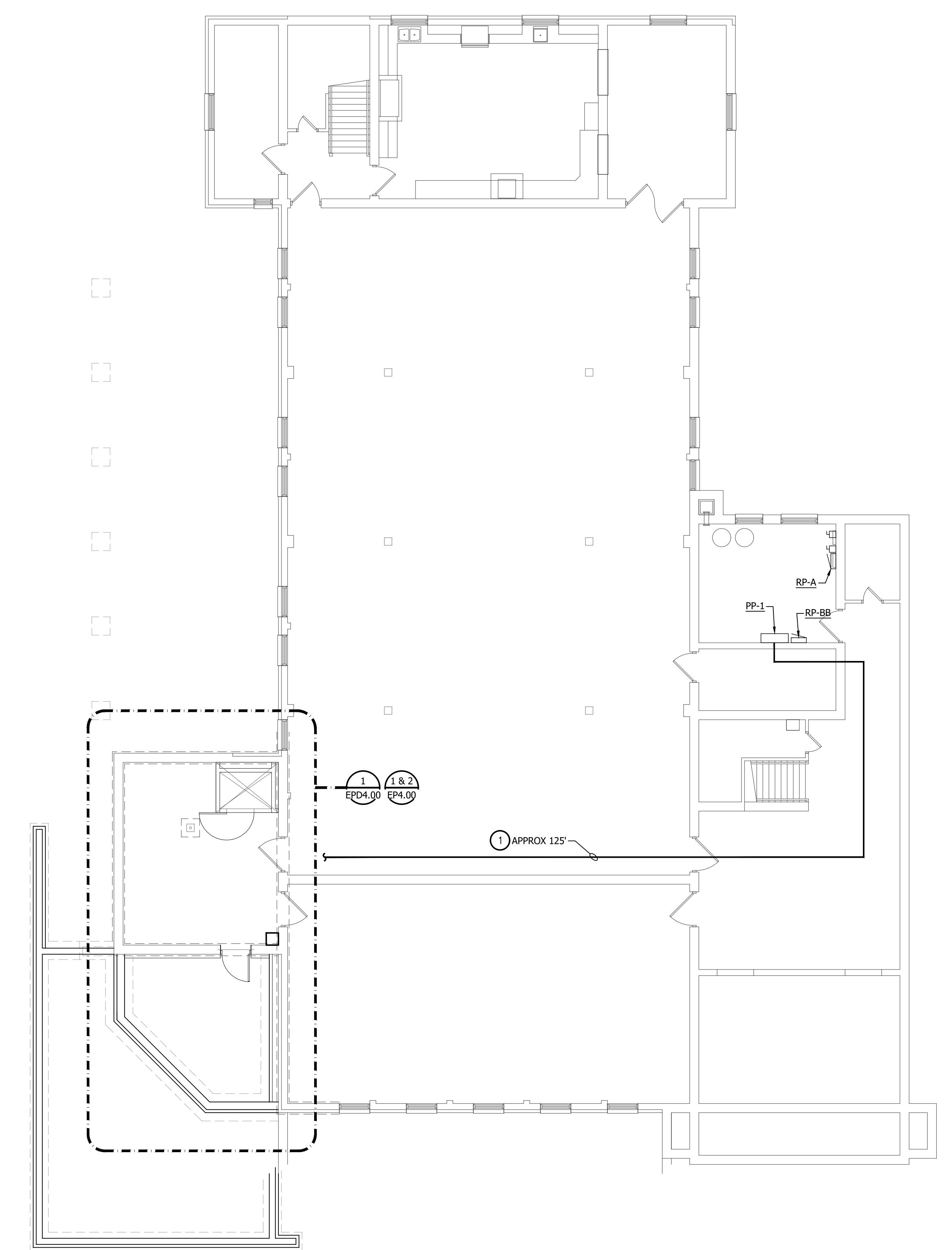
## APPLICABLE CODES AND REGULATIONS

YEAR	CODE
2015	MICHIGAN BUILDING CODE
2015	MICHIGAN ENERGY CODE
2023	MICHIGAN ELECTRICAL CODE RULES, PART 8
2023	NATIONAL ELECTRICAL CODE (NFPA 70)
2013	NFPA 20
2013	NFPA 72
2012	NFPA 101
2013	NFPA 110
2009	ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS & FACILITIES

PRELIMINARY <input type="checkbox"/>	DESIGN DEVELOPMENT <input type="checkbox"/>	CONSTRUCTION <input checked="" type="checkbox"/>	FINAL RECORD <input type="checkbox"/>
DRAWN BY _DSH	CHECKED BY _RDL		
REVISED	BID SET	01/14/2025	
DATE: JANUARY 14TH, 2025	SHEET NO.		
E0.00	JOB NO.</		



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION



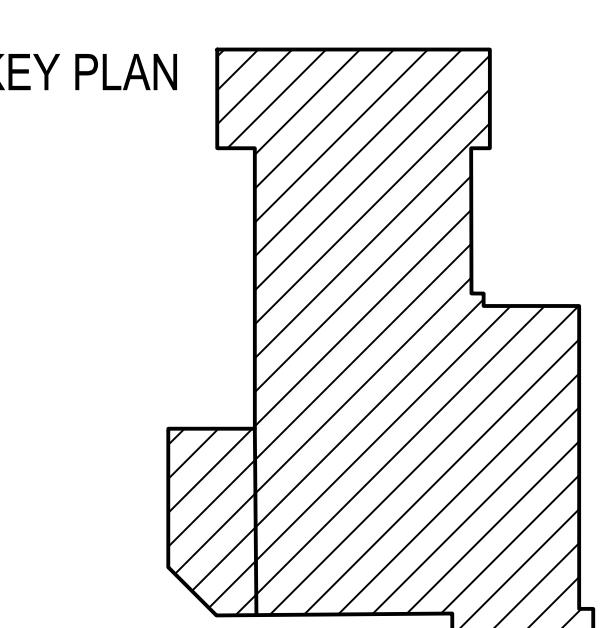
POWER GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF THE WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS PER ENGINEER'S SPECIFICATION, AND LOCAL APPLICABLE CODES INCLUDING AMENDMENTS, BULLETINS, ETC. AS WELL AS THE STANDARDS, INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF THE OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER, CONTRACTOR SHALL NOT MAKE ANY CHANGES, OR VARIATIONS OF OPTIONS STATED HEREINAFTER. ALL WORK MUST BE IN FULL ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL FEES, AND OBTAIN APPROVALS.
E	ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
F	ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED.
G	WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" CONDUIT MINIMUM. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
H	NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO EQUIPMENT, FURNISHED AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.
J	ALL P.A. AND SPEAKER SCOPE BY OTHERS. REFER TO TECH DRAWINGS FOR FURTHER INFORMATION.

NEW WORK KEYED NOTES	
1	NEW PANEL RP-D FED FROM RP-1. RUN CONDUIT IN MECHANICAL'S FABRICATED METAL CHASE. REFER TO ONE-LINE DIAGRAM FOR FURTHER DETAILS.

ELECTRICAL POWER  
BASEMENT COMPOSITE PLAN

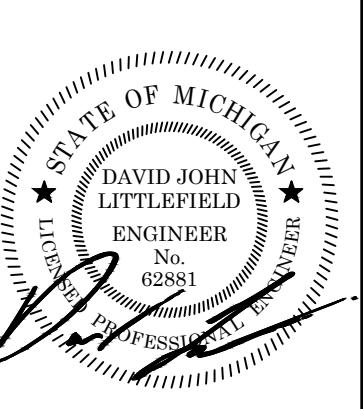
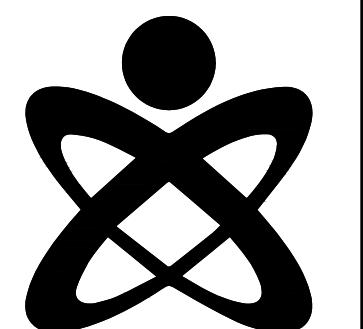
PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD   
DRAWN BY \_DSH   
CHECKED BY \_RDL   
REVIZIONS   
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.   
JOB NO.

ELECTRICAL POWER BASEMENT COMPOSITE PLAN  
SCALE: 1/8" = 1'-0"

KEY PLAN

EP1.00



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ELECTRICAL LIGHTING  
COMPOSITE PLANS

PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD

DRAWN BY: DJL  
CHECKED BY: DJL

REVIZIONS

BID SET 01/14/2025

DATE: JANUARY 14TH, 2025

SHEET NO.

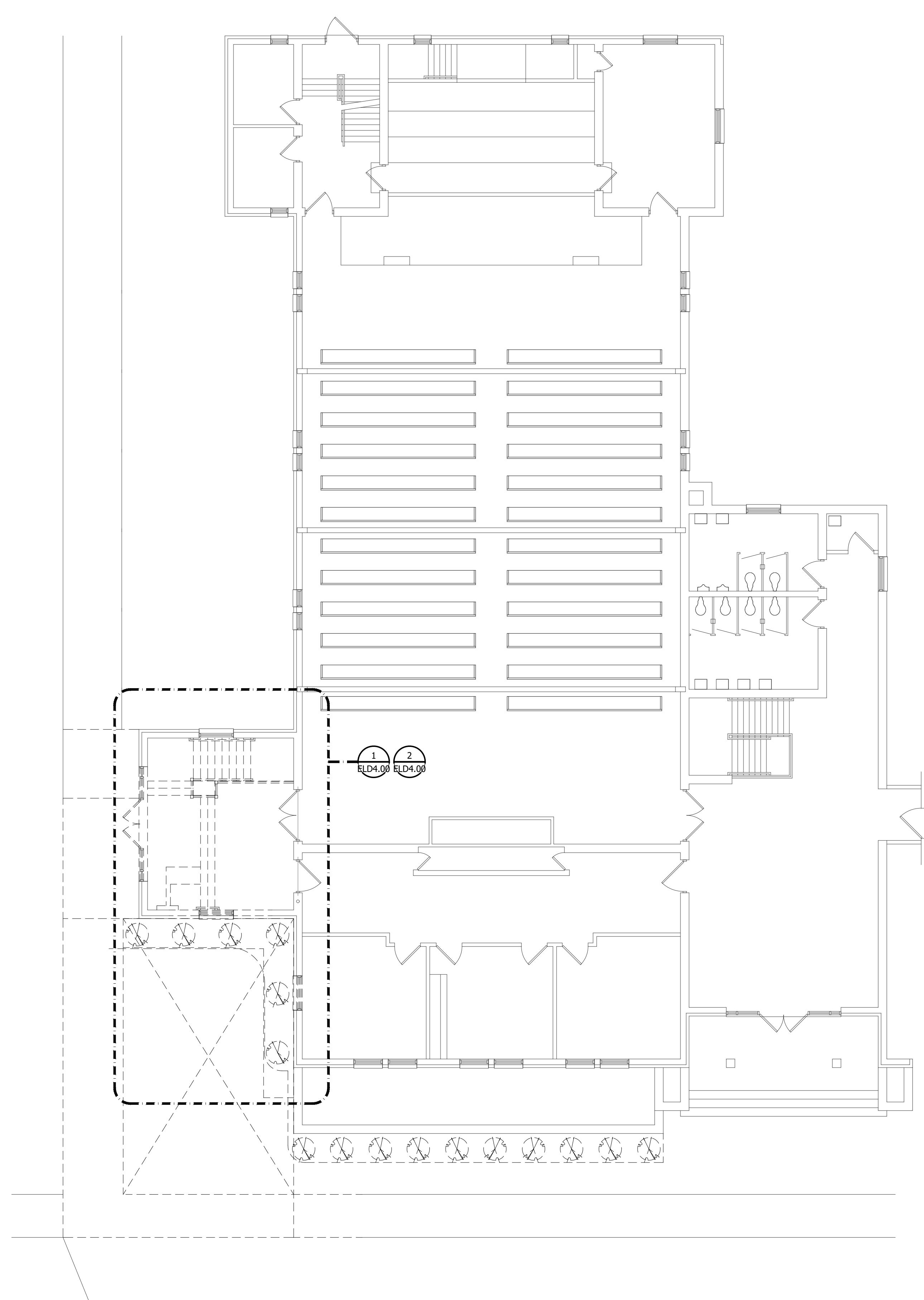
KEY PLAN

EL1.00

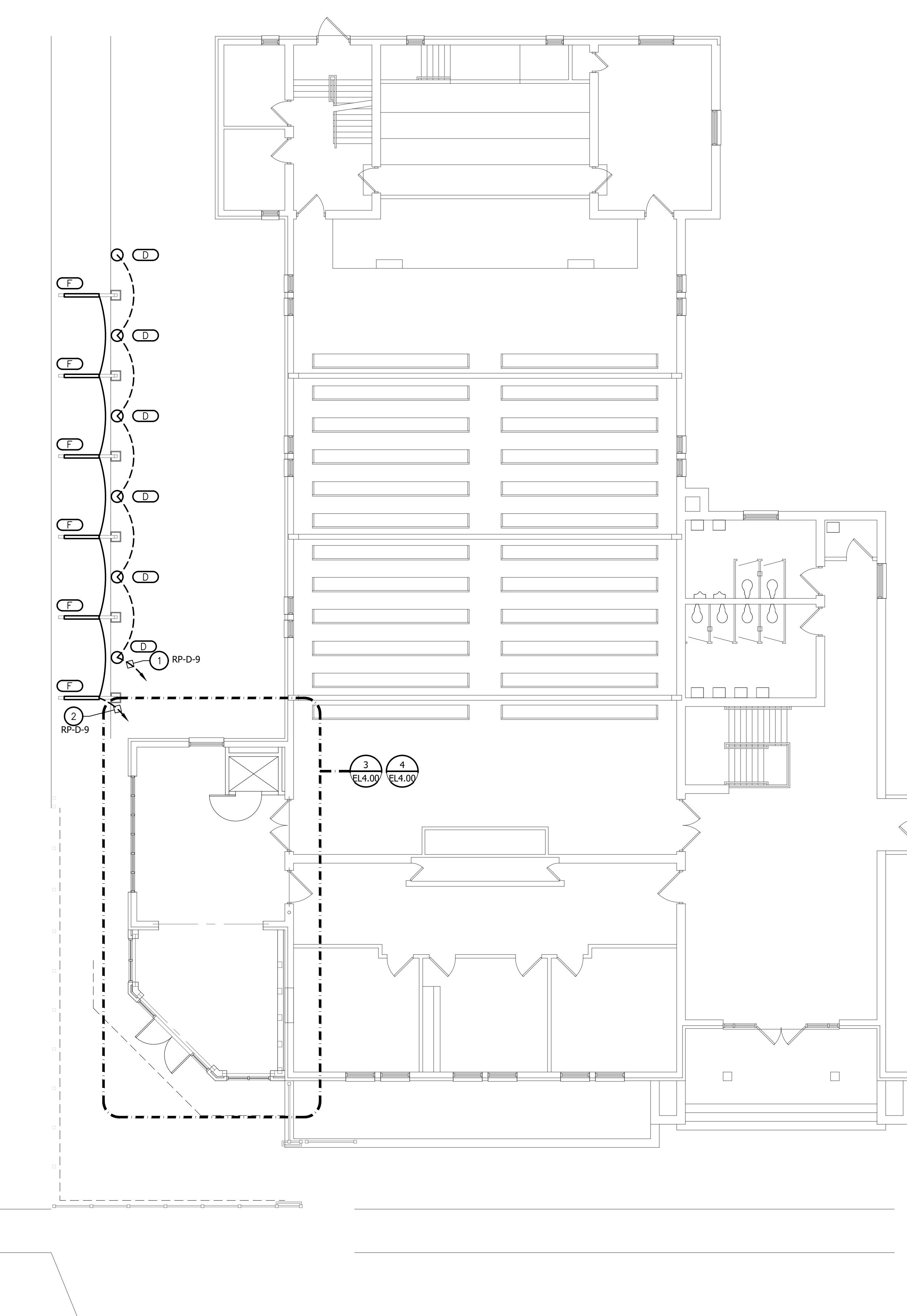
JOB NO.

LIGHTING GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	PARTS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS. HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEM ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD DEMOLITION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.
J	ALL SWITCHES SHALL BE WHITE WITH BRUSHED SILVER COVERPLATE.

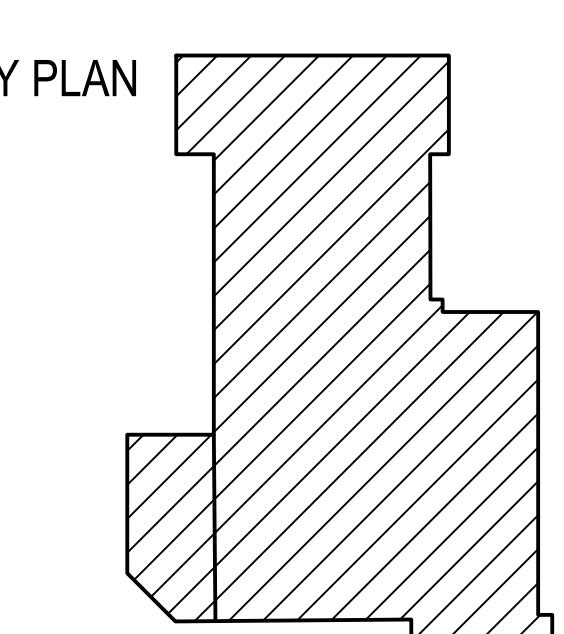
NEW WORK KEYED NOTES	
1	NEW LED EXTERIOR LIGHTING. WIRE SUCH AS INDICATED ON PLANS.
2	ALT. 1 - NEW LED EXTERIOR LIGHTING. WIRE SUCH AS INDICATED ON PLANS. PHOTO CELL CONTROLLED. NEW EXTERIOR LIGHTING TO BE SURFACE MOUNTED TO CANOPY STRUCTURE. NEW CONDUIT BETWEEN FIXTURES TO BE SURFACE MOUNTED.

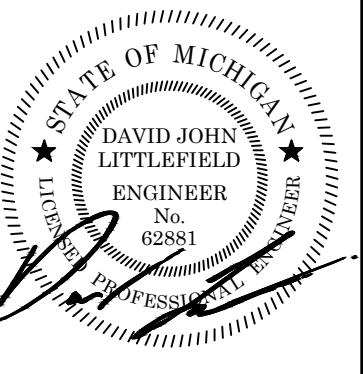
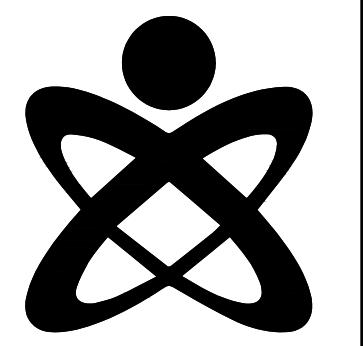


ELECTRICAL COMPOSITE DEMOLITION FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



ELECTRICAL COMPOSITE NEW WORK FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"





FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ENLARGED ELECTRICAL  
POWER DEMOLITION  
BASEMENT PLAN

PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD

DRAWN BY \_DSH  
CHECKED BY \_RDL

REVIZIONS

BID SET 01/14/2025

DATE: JANUARY 14TH, 2025

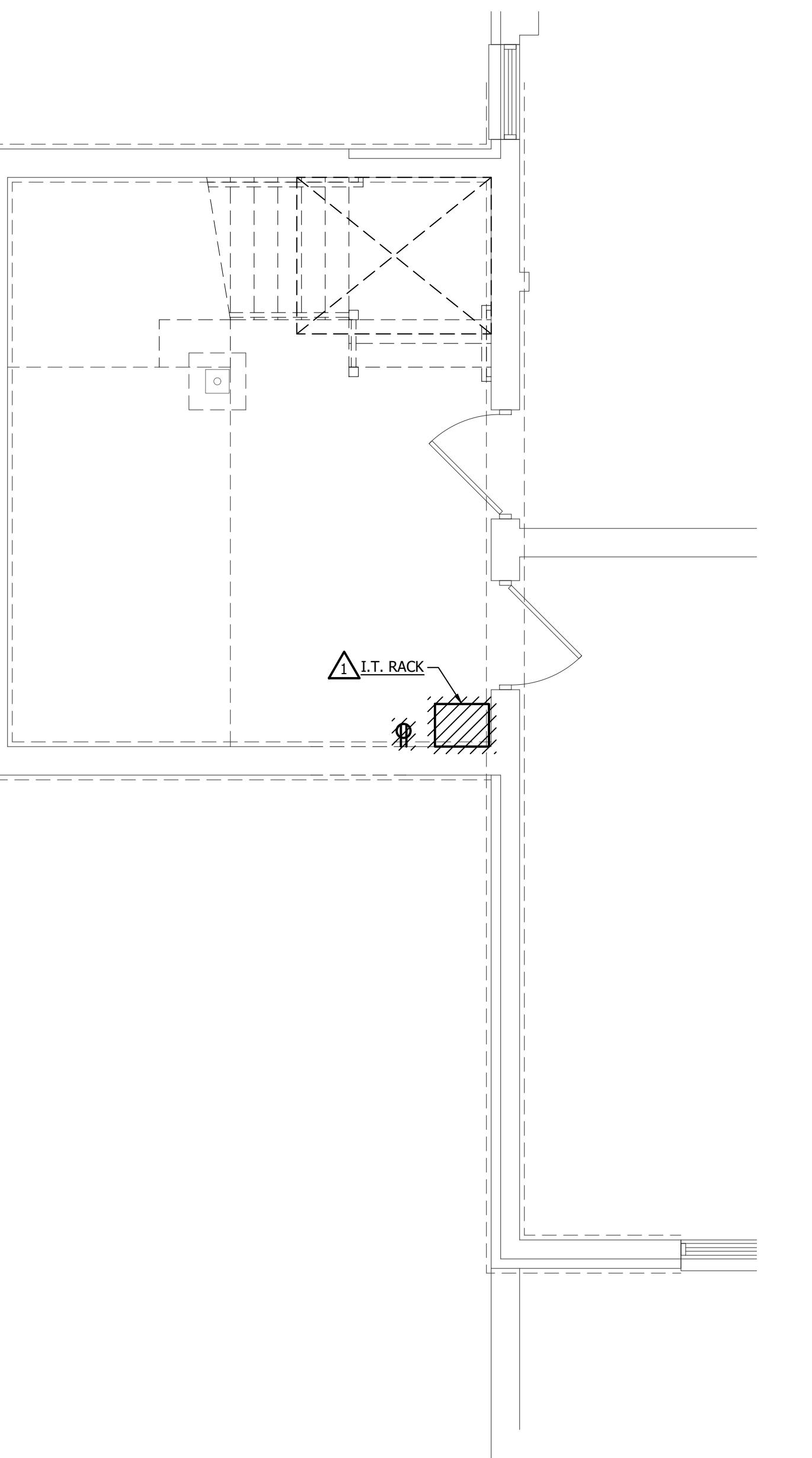
SHEET NO.

EPD4.00

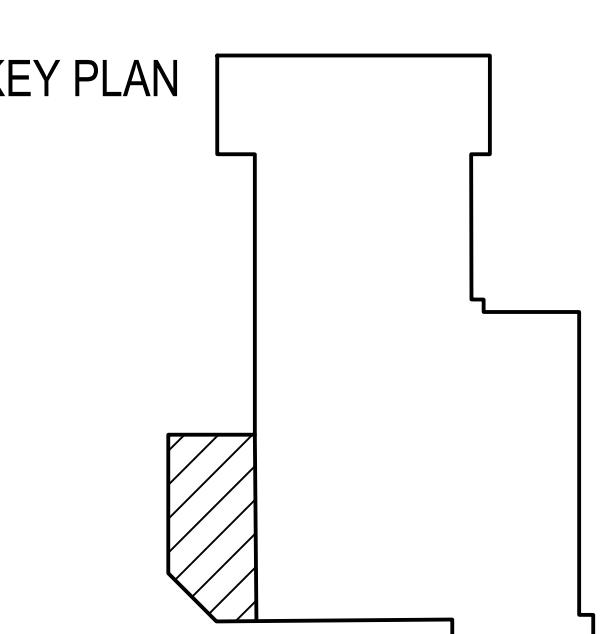
JOB NO.

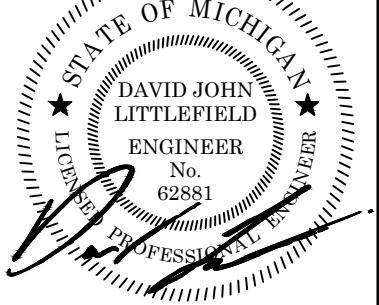
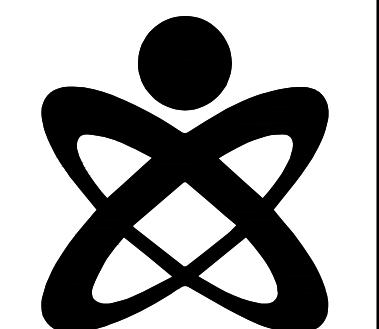
GENERAL DEMOLITION NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND CONFIRMATION WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY HIGH PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFLIC ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED BY EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.

DEMOLITION KEYED NOTES
1 SURFACE MOUNTED I.T. RACK TO BE REMOVED AND RELOCATED. EC TO PREP CIRCUIT TO BE EXTENDED TO NEW LOCATION. REFER TO NEW WORK PLANS FOR SUGGESTED LOCATION.



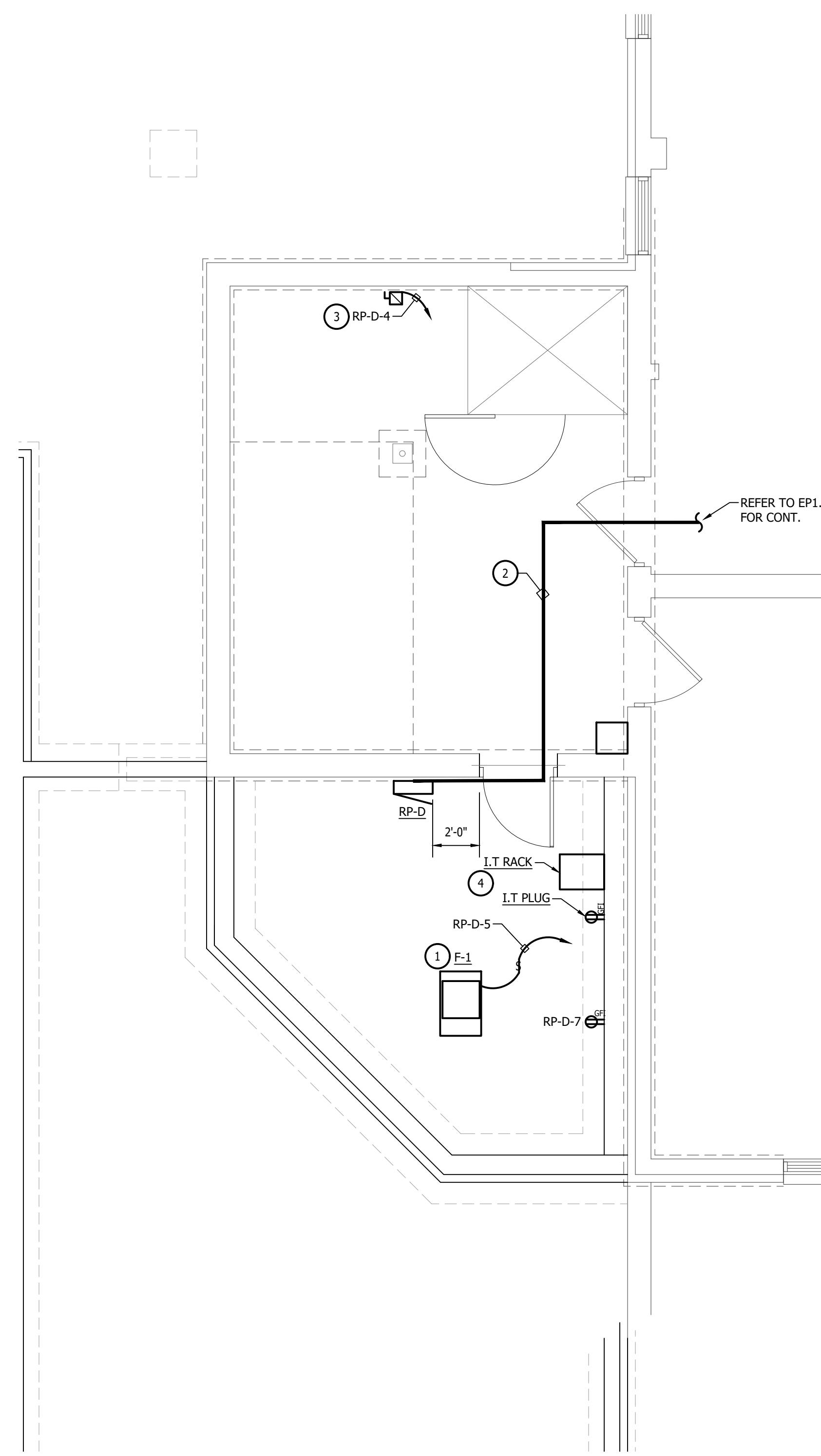
1  
FP1.00 ENLARGED POWER DEMOLITION BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



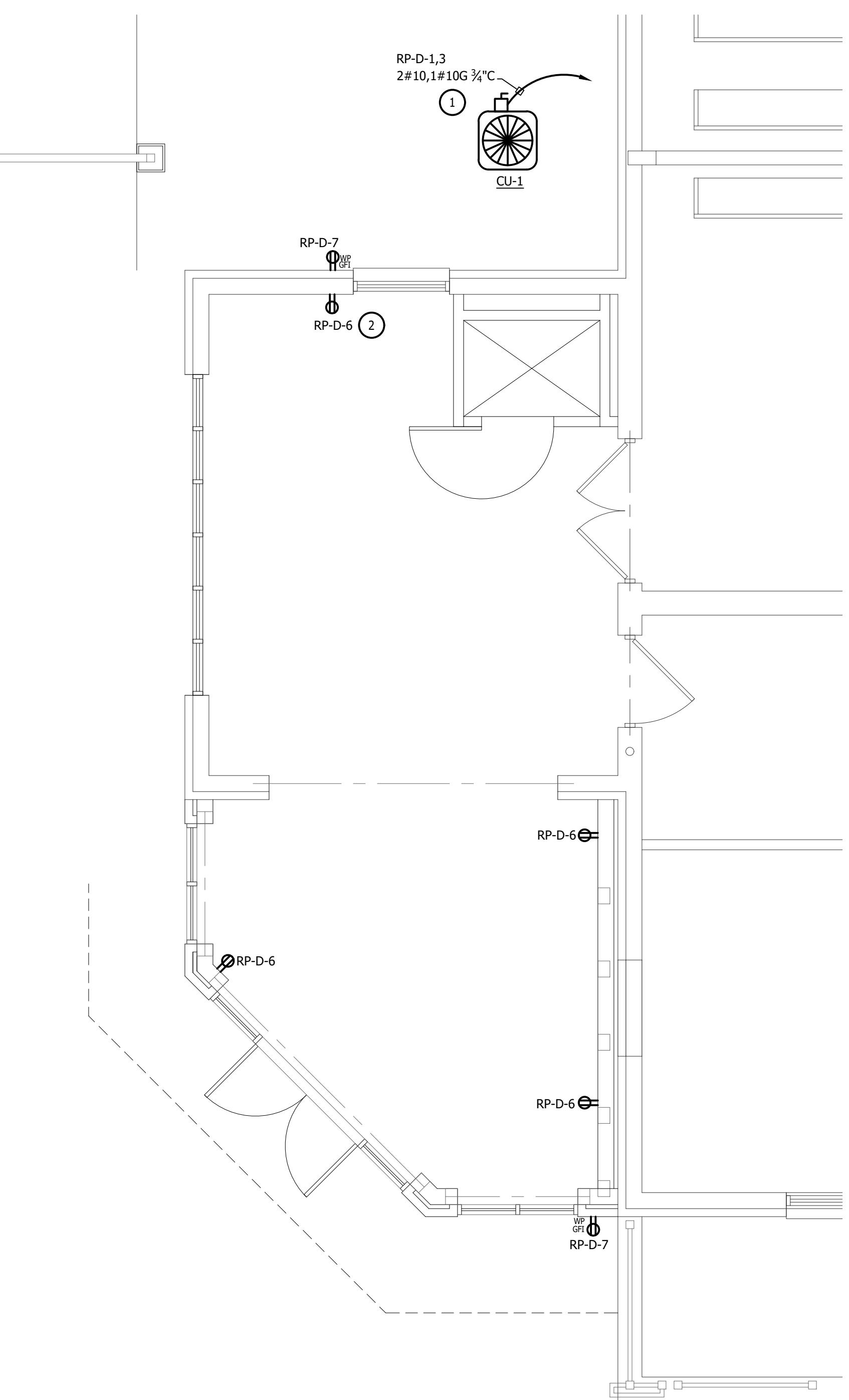


POWER GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF THE WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS PER ENGINEER'S SPECIFICATION, AND LOCAL APPLICABLE CODES INCLUDING AMENDMENTS, BULLETINS, ETC; AS WELL AS THE STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF THE OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
F	ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED.
G	WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" CONDUIT MINIMUM. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
H	NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO EQUIPMENT, FURNITURE, AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.
J	ALL P.A. AND SPEAKER SCOPE BY OTHERS. REFER TO TECH DRAWINGS FOR FURTHER INFORMATION.

NEW WORK KEYED NOTES	
1	NEW FURNACE BEING INSTALLED BY MECHANICAL TRADES. ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT AND FINAL ELECTRICAL CONNECTIONS. CIRCUIT AS SHOWN.
2	NEW PANEL RP-D, FED FROM PP-1, RUN CONDUIT IN MECHANICAL'S FABRICATED METAL CHASE REFER TO ONE-LINE DIAGRAM FOR FURTHER DETAILS.
3	PROVIDE NEW LOCKABLE FUSED DISCONNECT FOR CHAIR LIFT. REFER TO MANUFACTURER FOR EXACT MOUNTING LOCATION. CIRCUIT AS SHOWN.
4	EXTEND EXISTING IT CIRCUIT TO NEW SUGGESTED LOCATION. COORDINATE WITH OWNER FOR EXACT LOCATION.



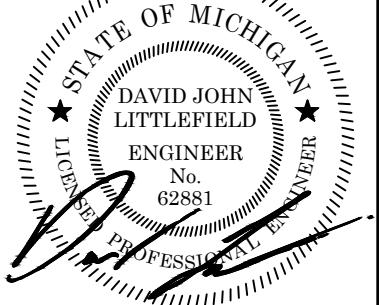
1  
EP1.00  
ENLARGED POWER NEW WORK BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



2  
EP2.00  
ENLARGED POWER NEW WORK FIRST FLOOR LOBBY PLAN  
SCALE: 1/4" = 1'-0"

POWER GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL EXTENT OF THE WORK TO BE PERFORMED. PROVIDE AND EXECUTE ALL HVAC SYSTEMS PER ENGINEER'S SPECIFICATION, AND LOCAL APPLICABLE CODES INCLUDING AMENDMENTS, BULLETINS, ETC; AS WELL AS THE STANDARDS OF INSTALLATION AND EQUIPMENT ESTABLISHED FOR THE BUILDINGS, AND REQUIREMENTS OF THE OWNER.
B	EXCEPT FOR CHANGES AS MAY BE SPECIFICALLY APPROVED BY THE ENGINEER, ALL WORK MUST BE IN FULL ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. SYSTEMS ARE TO BE COMPLETE, EFFICIENT, AND SATISFACTORY OPERATION WHEN PROJECT IS DELIVERED TO THE OWNER.
D	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FROM GOVERNING AUTHORITIES, FILE NECESSARY FORMS, PAY ALL INSPECTION FEES.
E	ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
F	ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED.
G	WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" CONDUIT MINIMUM. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
H	NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO EQUIPMENT, FURNITURE, AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.
J	ALL P.A. AND SPEAKER SCOPE BY OTHERS. REFER TO TECH DRAWINGS FOR FURTHER INFORMATION.

NEW WORK KEYED NOTES	
1	NEW CONDENSING UNIT BEING INSTALLED BY MECHANICAL TRADES. ELECTRICAL CONTRACTOR SHALL PROVIDE WEATHERPROOF 240V 30A DISCONNECT AND FINAL ELECTRICAL CONNECTIONS.
2	SURFACE MOUNT RECEPTACLE REFER TO DETAIL SHEET E3.00



FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

ENLARGED ELECTRICAL  
LIGHTING DEMOLITION PLANS

PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD

DRAWN BY \_DSH  
CHECKED BY \_RDL

REVIZIONS

BID SET 01/14/2025

DATE: JANUARY 14TH, 2025

SHEET NO.

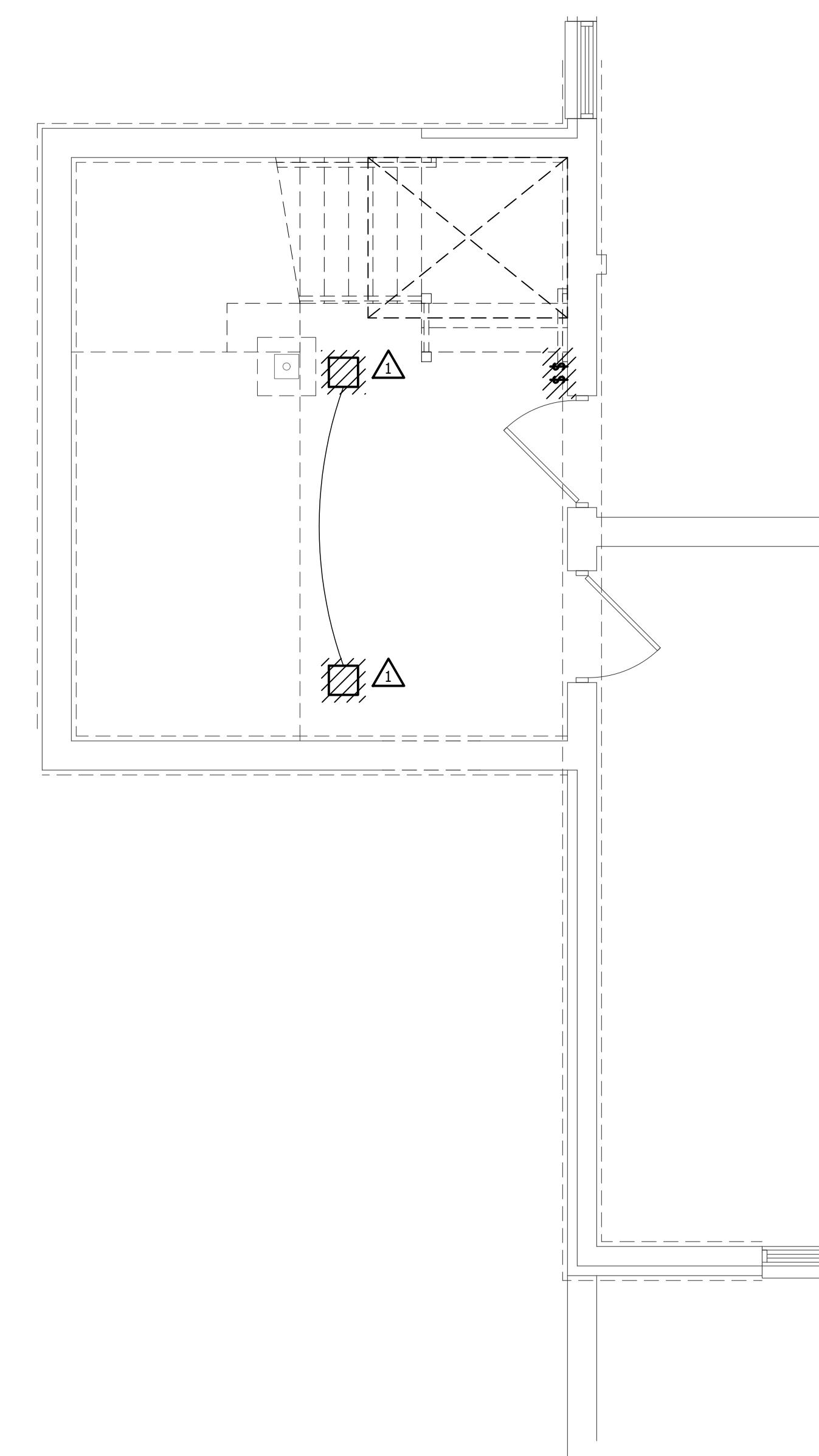
KEY PLAN

ELD4.00

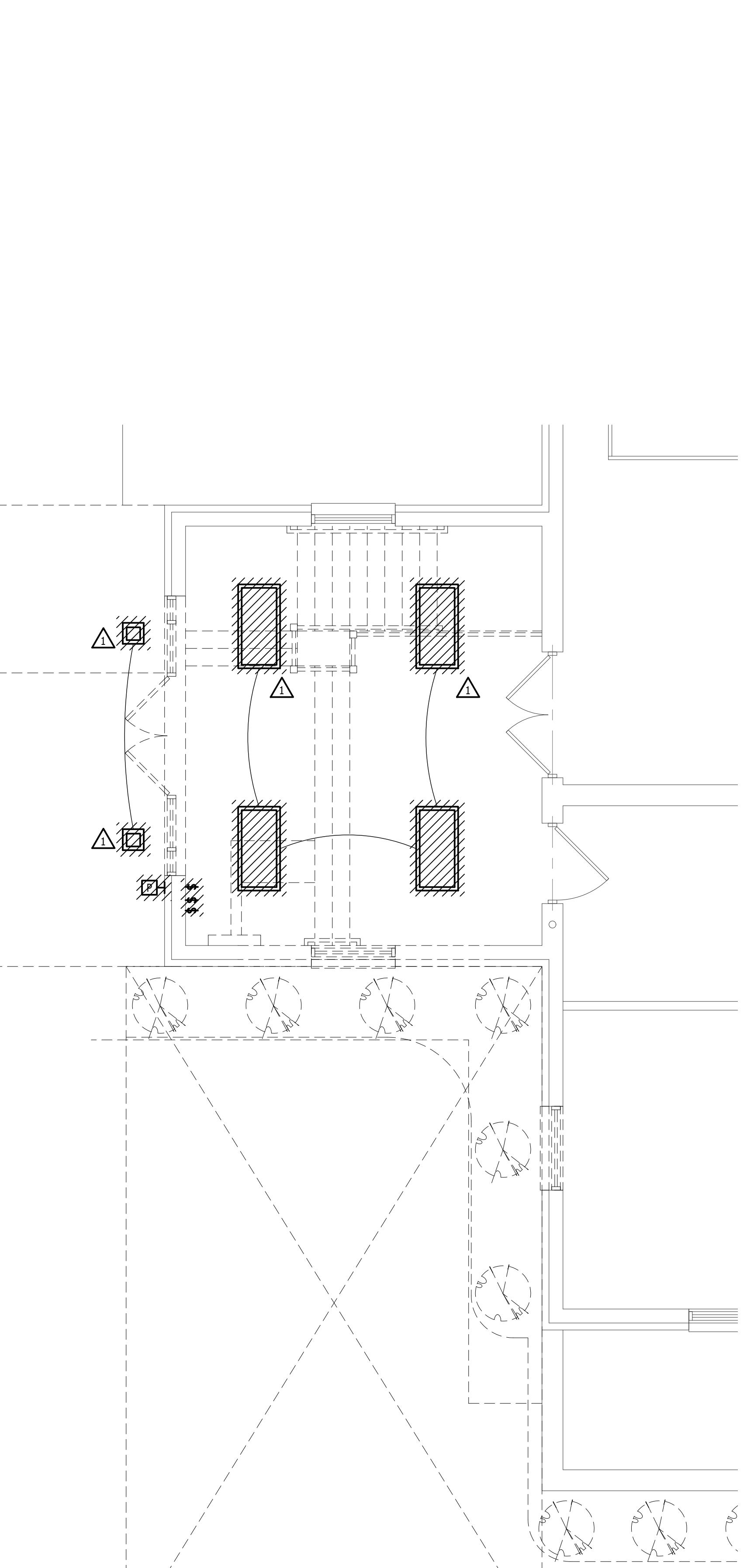
JOB NO.

GENERAL DEMOLITION NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BE FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS INDICATED WITH CROSS-HATCHING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED BY EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.

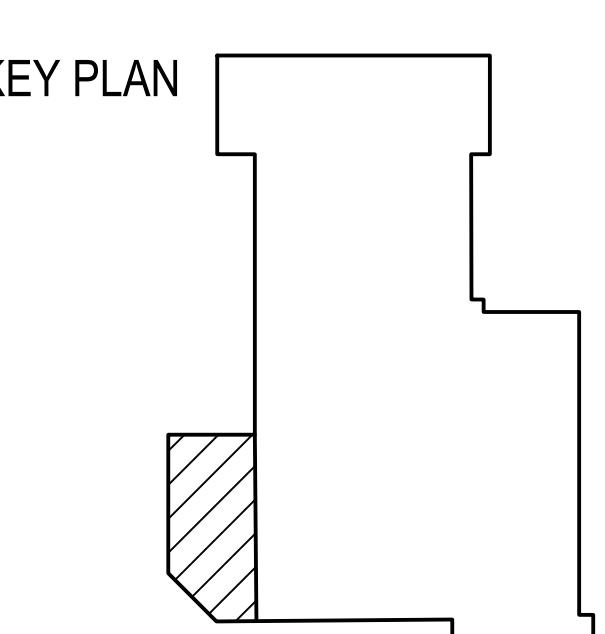
DEMOLITION KEYED NOTES	
1	EXISTING LIGHT FIXTURES TO BE REMOVED COMPLETE, INCLUDING SWITCHING AND CONTROLS. REMOVE CONDUIT AND WIRING BACK TO JUNCTION BOX FEEDING THIS AREA.

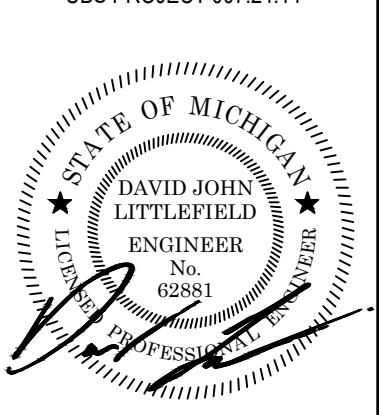
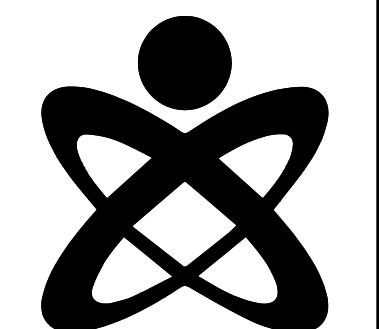


1  
FL1.01  
ENLARGED LIGHTING DEMOLITION BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



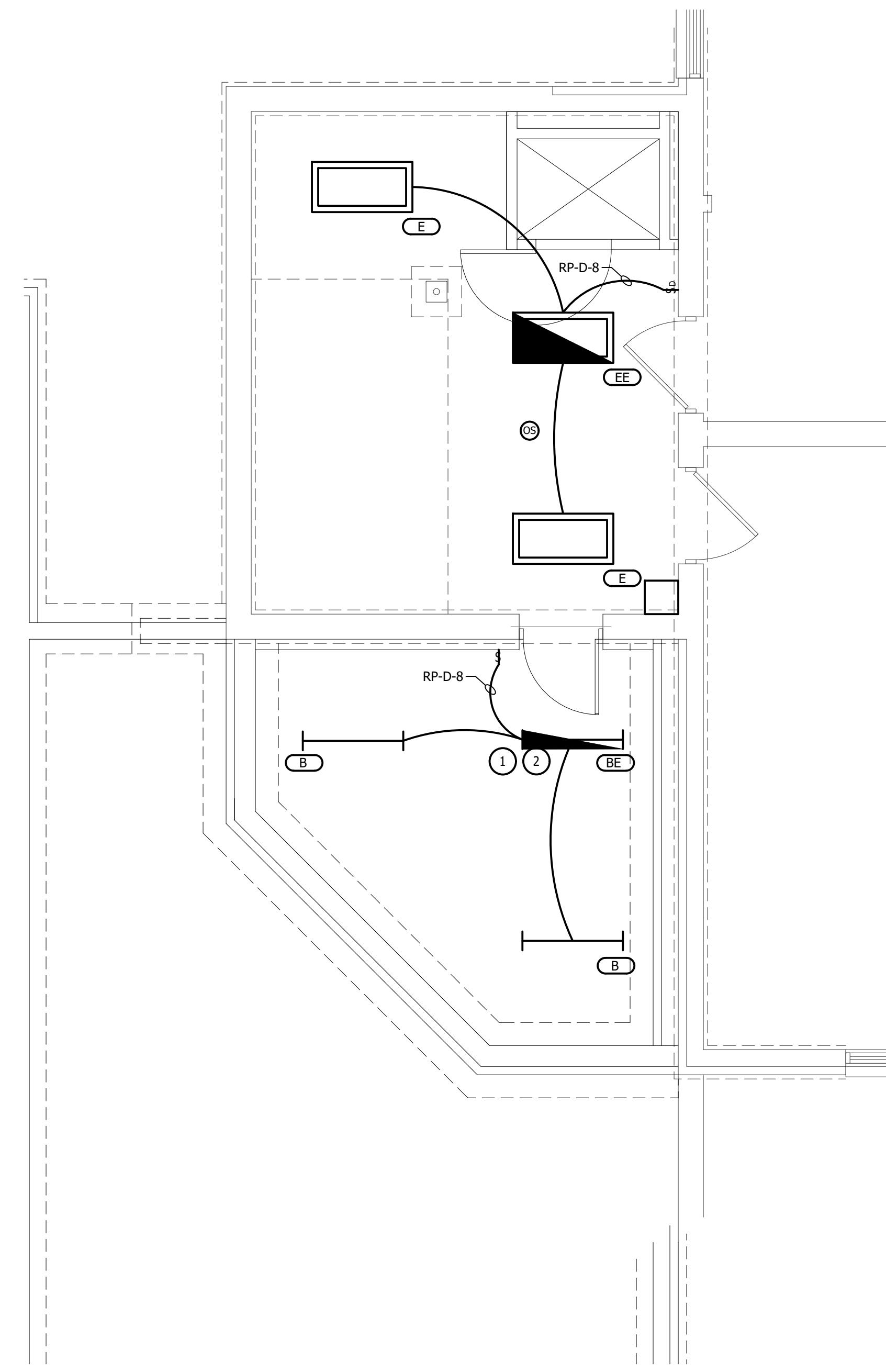
2  
FL1.01  
ENLARGED LIGHTING FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"



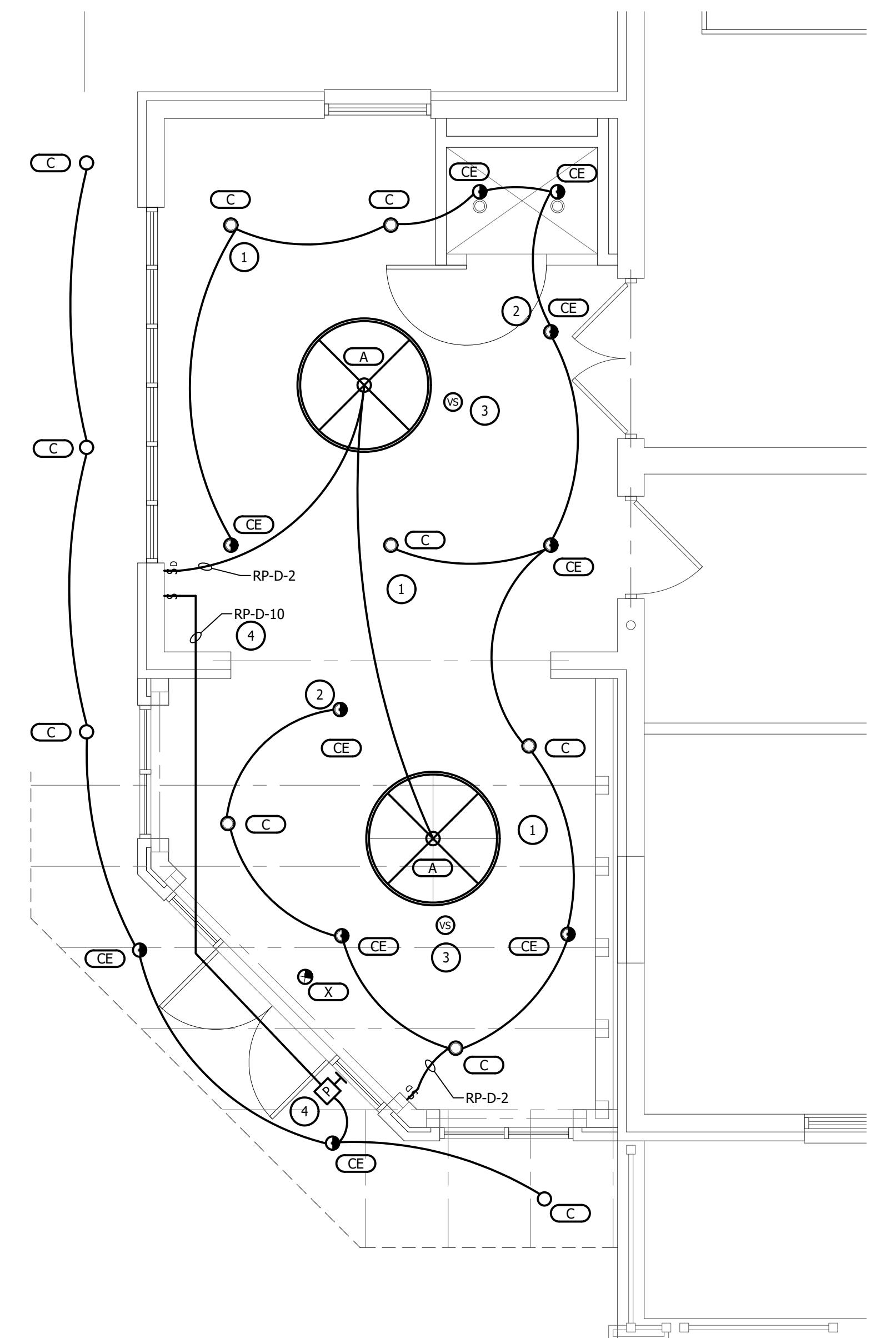


LIGHTING GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS RELATED TO EXISTING POWERING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HARNESS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEMS ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.
J	ALL SWITCHES SHALL BE WHITE WITH BRUSHED SILVER COVERPLATE.

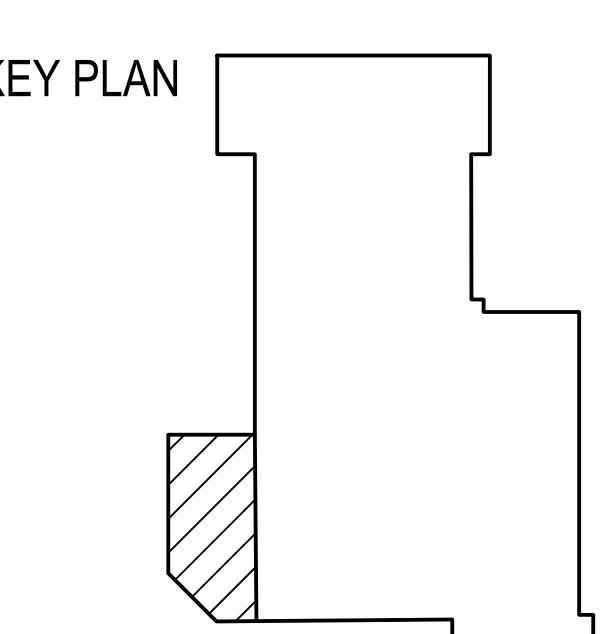
LIGHTING GENERAL NOTES	
A	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF WORK TO BE PERFORMED. THE EXACT EXTENT OF DEMOLITION SHALL BE DETERMINED BY THE NEW WORK.
B	ANY INTERRUPTIONS OF EXISTING SERVICES AND/OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE PRESENT BUILDING'S OPERATION.
C	PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, SYSTEMS, AND UTILITIES. NOTIFY DESIGN PROFESSIONAL OF ANY INTERFERENCES OR DISCREPANCIES.
D	ALL ITEMS RELATED TO EXISTING POWERING SHALL BE REMOVED COMPLETELY WITH ALL RELATED ITEMS INCLUDING HARNESS, SUPPORTS, INSULATION, CONTROLS, ETC. CAP ALL OPEN-ENDED PIPES AND DUCTS.
E	THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED. ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING RELOCATED AND OWNER-PROVIDED EQUIPMENT.
F	VERIFY DEPTH, SIZE, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES IN THE FIELD, INCLUDING POINTS OF CONNECTION PRIOR TO STARTING WORK.
G	ALL ITEM ON DEMOLITION PLAN SHALL BE CONSIDERED EXISTING UNLESS OTHERWISE NOTED. ALL WORK INDICATED ON PLANS HAS BEEN LOCATED PER EXISTING DRAWINGS AND/OR FIELD OBSERVATION AND REQUIRES FIELD VERIFICATION.
H	ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHERE DUCT WORK PIPE INSULATION HAS BEEN DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL REPAIR INSULATION AS REQUIRED TO MATCH EXISTING.
J	ALL SWITCHES SHALL BE WHITE WITH BRUSHED SILVER COVERPLATE.

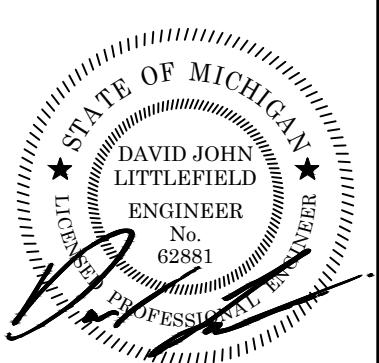


3  
E1.00 ENLARGED LIGHTING NEW WORK BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

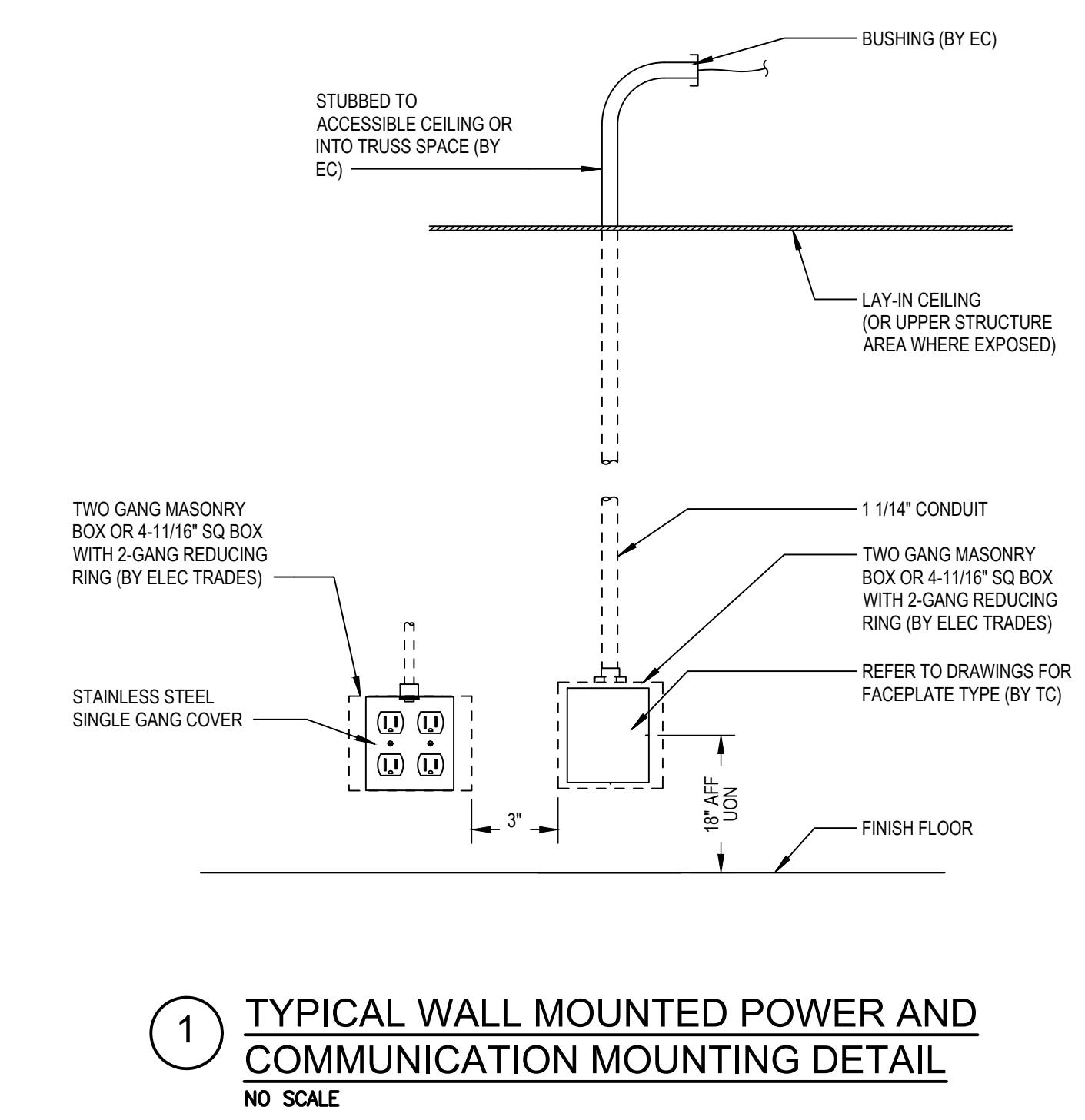


4  
E1.00 ENLARGED LIGHTING NEW WORK FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

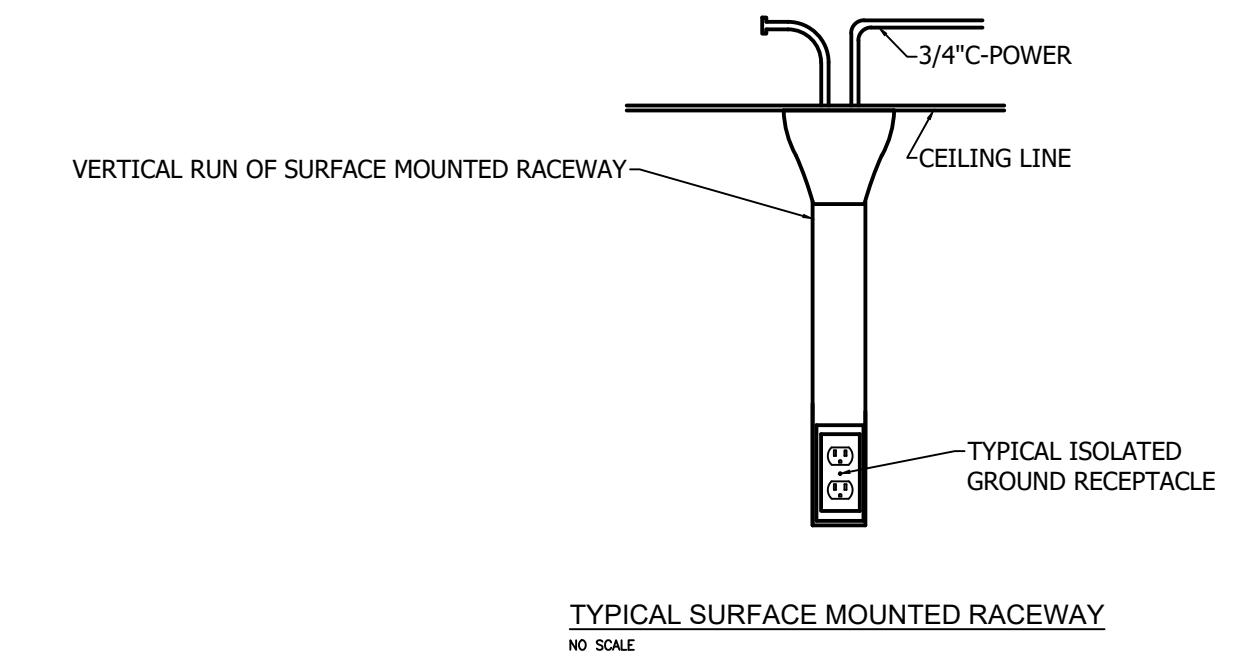




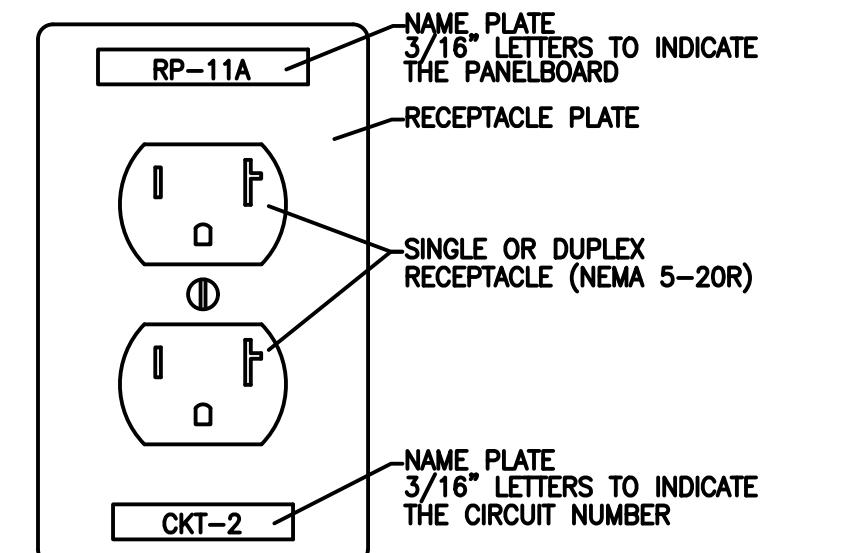
PRELIMINARY	<input type="checkbox"/>
DESIGN DEVELOPMENT	<input type="checkbox"/>
CONSTRUCTION	■
FINAL RECORD	<input type="checkbox"/>
DRAWN BY _DSH	
CHECKED BY _RDL	
REVISIONS	
BID SET	01/14/2025
DATE:	JANUARY 14TH, 2025
SHEET NO.	



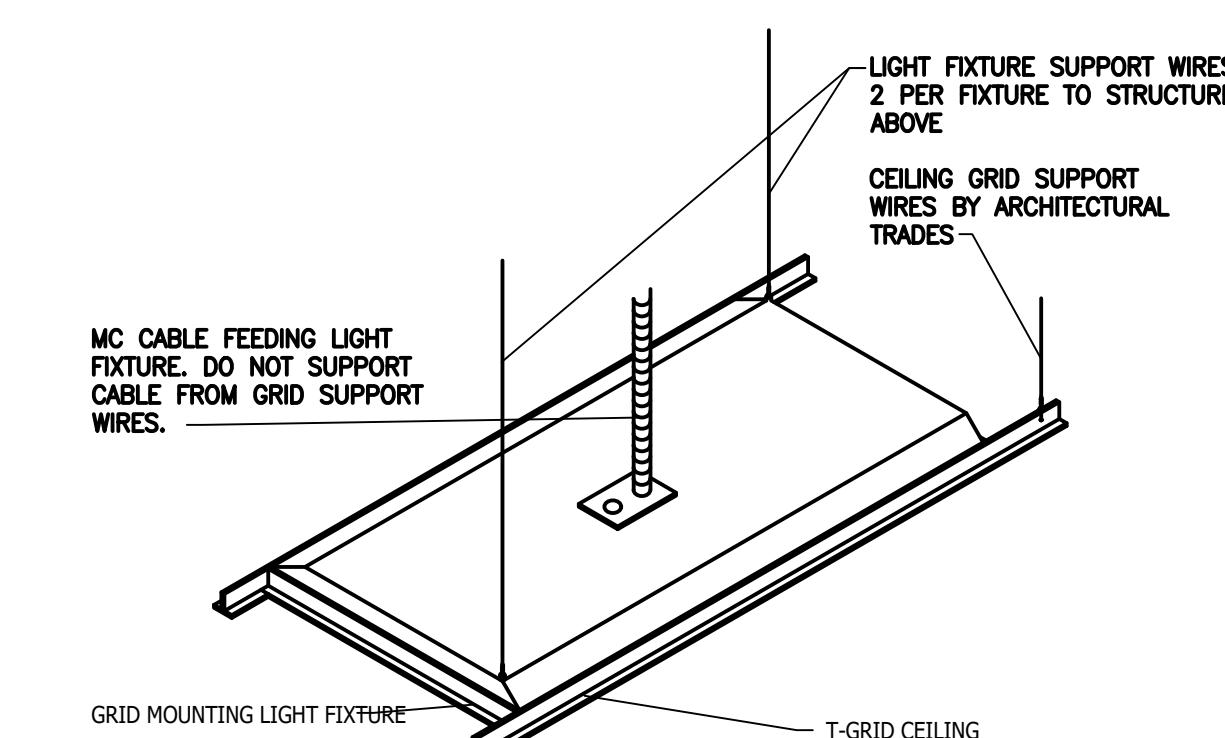
① TYPICAL WALL MOUNTED POWER AND  
COMMUNICATION MOUNTING DETAIL  
NO SCALE



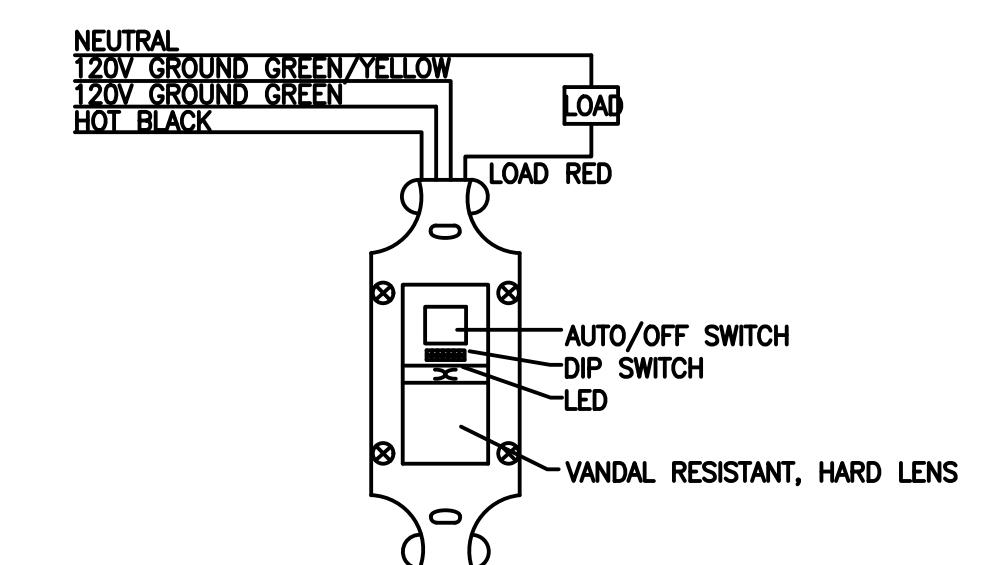
② V2000 SURFACE MOUNTED RACEWAY DETAIL  
NO SCALE



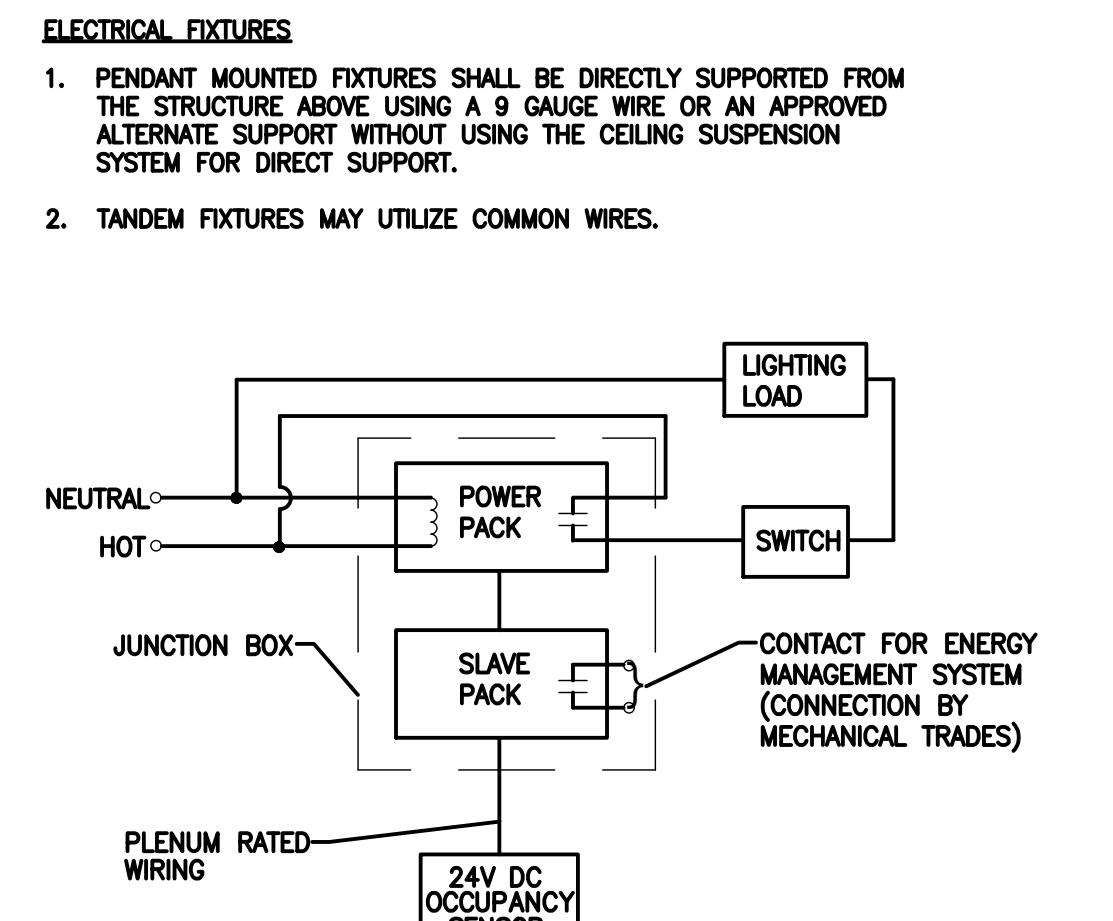
③ DETAIL OF BRANCH CIRCUIT NUMBER  
ON RECEPTACLE PLATE  
NO SCALE



④ T-GRID FIXTURE MOUNTING DETAIL  
NO SCALE



⑤ VACANCY  
SENSOR SCHEMATIC  
NO SCALE



⑥ CEILING MOUNTED OCCUPANCY SENSOR DETAIL  
NO SCALE

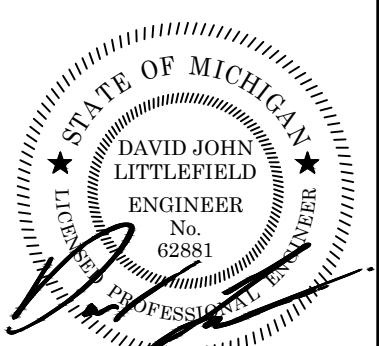


WAKELY ASSOCIATES, INC.  
ARCHITECTS

30500 VAN DYKE AVENUE  
SUITE 209  
WARREN, MICHIGAN 48093  
PH: 586.573.4100  
FX: 586.573.0822  
[www.WakelyAIA.com](http://www.WakelyAIA.com)



**UNIFIED BUILDING  
SYSTEMS ENGINEERING**



# **IRS| BAPTIST CHURCH OF FARMINGTON LOBBY ADDITION**

## ELECTRICAL PANEL SCHEDULES

Panel Designation: <b>PP-1</b>	Main: 400A	P-P Voltage: 240														
Panel Location: BOILER RM	Bussing: MLO	P-N Voltage: 120														
Fed From: EXISTING	Ground Bus: STANDARD	Phase: 3														
Feeder Size: EXISTING	Mounting: SURFACE	Wire: 4														
<b>EXISTING PANEL</b>	<b>Neutral: 100%</b>	<b>Min SC Interrupting Rating: EXISTING</b>														
Remarks	Light Load	Recept Load	Cont Load	nonC Load	OC Prot	CKT	Ø A	Ø B	Ø C	CKT	OC Prot	nonC Load	Cont Load	Recept Load	Light Load	Remarks
EL BB	1600	1260	2000	0	100	1	X			2	20					
	0	3000	2000	0		3		X		4	20					
CHILLER					20	5			X	6	20					CHILLER CIRC PUMP
			16917			7	X			8	15	960				
			16917			9		X		10		960				
/ RP-D PANEL			16917		175	11			X	12		960				
	622	720	4174	0		13	X			14	20					PANEL KE
	0	360	3358	1440		15		X		16	20					
					20	17			X	18	20					
					20	19	X			20	150	14400				PANEL KE
					20	21		X		22		14400				
					20	23			X	24	20					
					20	25	X			26	20					
					20	27		X		28	20					
					20	29			X	30	20					
					20	31	X			32	20					
					20	33		X		34	20					

Load Description	Connected Load				Demand Factor	Demand Load				
	ØA	ØB	ØC	Total		ØA	ØB	ØC	Total	
Lighting or Continuous Load (Volt-Amps)	2222	0	0	2222	1.00	2222	0	0	2222	
120V/A Receptacle Load (Volt-Amps)	1980	3360	0	5340	1.00 (First 10kVA)	1980	3360	0	5340	
	Amount over 10kVA			0	0.50 (> 10kVA)	0	0	0	0	
Continuous Load (Volt-Amps)	37491	36675	16917	91083	1.00	37491	36675	16917	91083	
Non-Continuous Load (Volt-Amps)	960	2400	960	4320	0.80	768	1920	768	3456	
Total Load (kVA)	42.65	42.44	17.88	102.97	125% of Light/Cont and Recept (<10kVA) load plus other load ----- per NEC Article 215.2 ----->	42.46	41.96	17.69	102.10	
Total Ampacity (Amps)	355.4	353.6	149.0	286.0		353.8	349.6	147.4	283.6	
Minimum Feeder Sizing (Amps)	364.2	360.6	149.0	291.3		362.6	356.6	147.4	288.9	

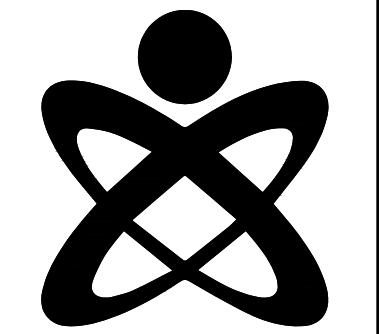
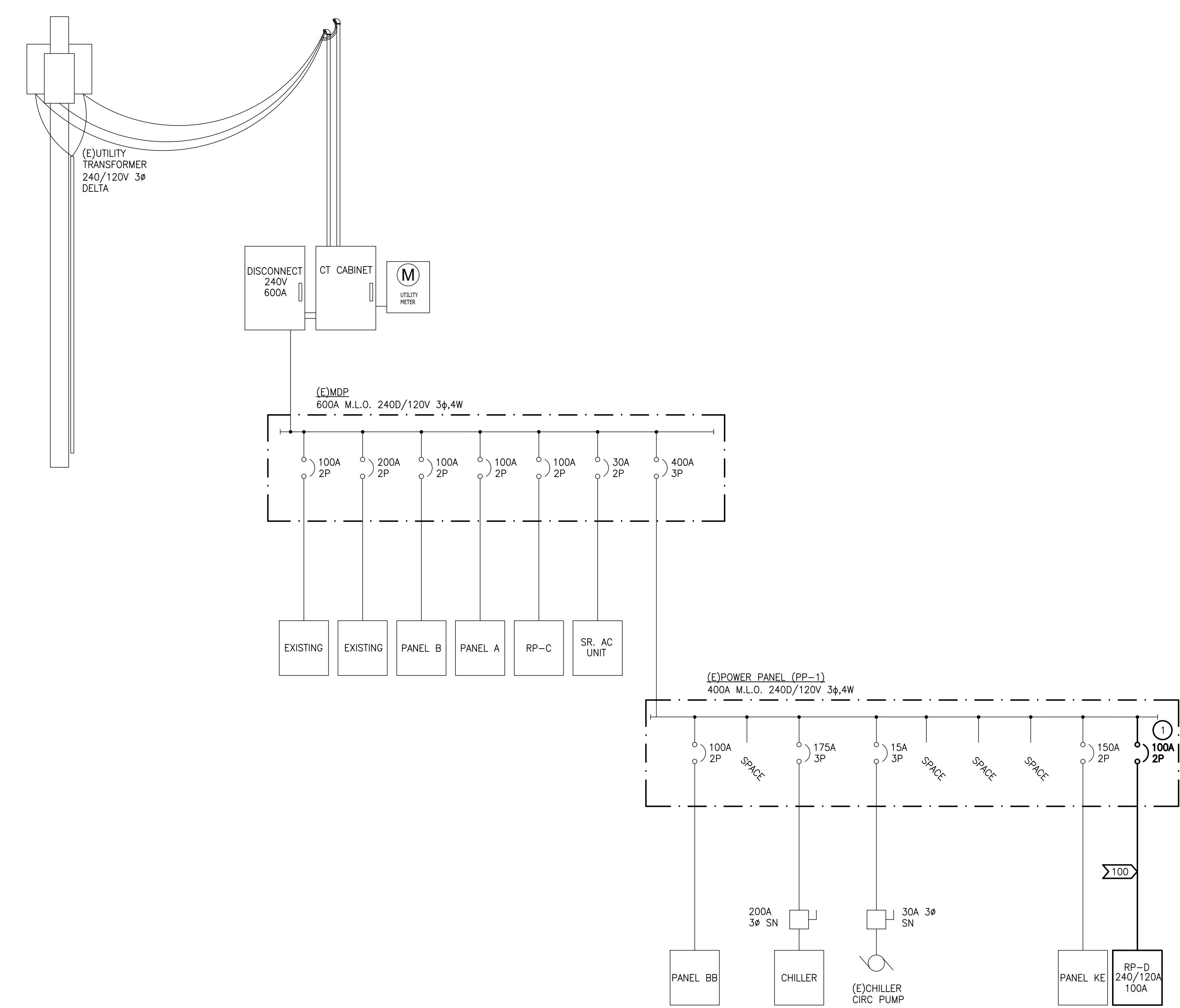
ceptacle Demand Factor per Article 220.44  
the National Electrical Code.

PANEL NAME: RP-D		MAIN: 100A										L-L VOLTAGE: 240			
LOCATION: NEW STORAGE RM		BUSSING: 100A										L-N VOLTAGE: 120			
SOURCE: PP-1		GROUND BUS: STANDARD										PHASE: 1			
FEEDER SIZE: REEFER TO ONE LINE		MOUNTING: SURFACE										WIRE: 3			
NEUTRAL: 100%		MIN SC INTERRUPT RATING: 22,000													
LOAD DESCRIPTION	LIGHTING LOAD	RECEPTACLE LOAD	CONTINUOUS LOAD	NON-CONTINUOUS LOAD	OCPD	CKT	L1	L2	CKT	OCPD	NON-CONTINUOUS LOAD	CONTINUOUS LOAD	RECEPTACLE LOAD	LIGHTING LOAD	LOAD DESCRIPTION
1			1679		25	1			2	20				551	LIGHTING
NACE (F-1)			1679			3			4	20	1440				CHAIR LIFT
SIDE/CONMENCE RECEPTACLES			816		15	5			6	20			720		RECEPTACLES
SIDE BOLLARD LIGHTS / PHOTOCELL		540			20	7			8	20				371	BASEMENT LIGHTING
RE		168			20	9			10	20				137	OUTSIDE SOFFIT LIGHTS / PHOTOCELL
RE					20	11			12	20					SPARE
RE					20	13			14	20					SPARE
RE					20	15			16	20					SPARE
CE						17				18					SPACE
CE						19				20					SPACE
CE						21				22					SPACE
CE						23				24					SPACE

## RECEPTACLE DEMAND FACTOR PER ARTICLE 220.44 OF THE NEC

DATE: JANUARY 14TH, 2025  
SHEET NO.

£6.00

UNIFIED BUILDING  
SYSTEMS ENGINEERING  
B6-00001  
MT. CLEMENS, MI 48043  
UBS PROJECT 007.24.14FIRST BAPTIST CHURCH OF FARMINGTON  
LOBBY ADDITION

NEW WORK ELECTRICAL RISER DIAGRAM

NO SCALE

ELECTRICAL ONE-LINE RISER  
DIAGRAMS

PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD

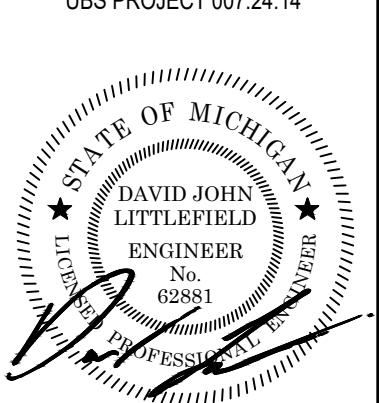
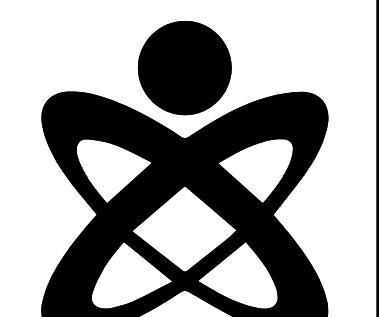
DRAWN BY \_DSH  
CHECKED BY \_RDL

REVIZIONS  
BID SET 01/14/2025

DATE: JANUARY 14TH, 2025  
SHEET NO.  
E7.00

JOB NO.





## BOXES

## PART 1 PRODUCTS

## 1.0 BOXES

- A. GENERAL REQUIREMENTS:
  - 1. DO NOT USE BOXES AND ASSOCIATED ACCESSORIES FOR APPLICATIONS OTHER THAN AS PERMITTED BY NFPA 70 AND PRODUCT LISTING.
  - 2. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.
  - 3. PROVIDE BOXES LISTED AS SUITABLE FOR THE PURPOSE INTENDED, UNLESS OTHERWISE INDICATED, IN ACCORDANCE WITH NFPA 70 AND NFPA 50.
  - 4. PROVIDE GROUNING TERMINALS WITHIN BOXES WHERE EQUIPMENT GROUNING CONDUCTORS TERMINATE.
  - B. OUTLET AND DEVICE BOXES UP TO 100 CUBIC INCHES, INCLUDING THOSE USED AS JUNCTION AND PULL BOXES:
    - 1. USE SHEET-STEEL BOXES FOR DRY LOCATIONS UNLESS OTHERWISE INDICATED OR REQUIRED.
    - 2. USE SUITABLE CONCRETE TYPE BOXES WHERE FLUSH-MOUNTED IN CONCRETE.
    - 3. USE SUITABLE CONCRETE TYPE BOXES WHERE FLUSH-MOUNTED IN CONCRETE.
    - 4. USE SUITABLE MASONRY TYPE BOXES WHERE FLUSH-MOUNTED IN MASONRY WALL.
    - 5. USE SUITABLE CONCRETE TYPE BOXES WHERE FLUSH-MOUNTED IN CONCRETE.
    - 6. USE SHALLOW BOXES WHERE REQUIRED BY THE TYPE OF WALL CONSTRUCTION.
    - 7. DO NOT USE "THROUGH-WALL" BOXES DESIGNED FOR ACCESS FROM BOTH SIDES OF WALL.
    - 8. SHEET-STEEL BOXES: COMPLY WITH NEMA 05, 1, AND LIST AND LABEL AS COMPLYING WITH UL 514A.
    - 9. MASONRY BOXES: COMPLY WITH NEMA 250, LIST AND LABEL AS COMPLYING WITH UL 514A.
    - 10. BOXES FOR SUPPORTING LUMINAIRES AND CEILING CANES: LISTED AS SUITABLE FOR THE TYPE AND WEIGHT OF LOAD TO BE SUPPORTED; FURNISHED WITH FIXTURE STUD TO ACCOMMODATE MOUNTING OF LUMINAIRES WHERE REQUIRED.
    - 11. BOXES FOR FIELD CONNECTED: USE MULTICAGE BOXES OF SINGLE-PIECE CONSTRUCTION; DO NOT USE FIELD-CONNECTED CANGABLE BOXES.
    - C. CABINETS AND ENCLOSURES, INCLUDING JUNCTION AND PULL BOXES LARGER THAN 100 CUBIC INCHES:
      - 1. COMPLY WITH NEMA 250, LIST AND LABEL AS COMPLYING WITH UL 50 AND UL 50C, OR UL 508A.

## 1.1 LOCATE BOXES TO BE ACCESSIBLE.

- 2. UNLESS DIMENSIONED, BOX LOCATIONS INDICATED USE APPROXIMATE.
- 3. LOCATE BOXES SO THAT WALL PLATES DO NOT SPAN DIFFERENT FINISHES.
- 4. LOCATE BOXES SO THAT WALL PLATES DO NOT CROSS MASONRY JOINTS.
- 5. UNLESS OTHERWISE INDICATED, WHERE MULTIPLE OUTLET BOXES ARE INSTALLED AT THE SAME LOCATION AT DIFFERENT MOUNTING HEIGHTS, INSTALL ALONG A COMMON VERTICAL CENTER LINE.
- 6. FIRE RESISTANCE RATED WALLS: INSTALL FLUSH-MOUNTED BOXES SUCH THAT REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.
- 7. SECURE AND SUPPORT BOXES IN ACCORDANCE WITH NFPA 70 AND SECTION 26 0520 USING SUITABLE SUPPORTS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- 8. PROVIDE INDEPENDENT SUPPORT FROM BUILDING STRUCTURE EXCEPT FOR CAST METAL BOXES (OTHER THAN BOXES USED FOR FIXTURE SUPPORT) SUPPORTED BY THREADED CONDUIT CONNECTIONS IN ACCORDANCE WITH NFPA 70.
- 9. INSTALL BOXES PLUMB AND LEVEL.
- J. FLUSH-MOUNT BOXES:
  - 1. INSTALL IN NONCOMBUSTIBLE MATERIALS SUCH AS CONCRETE, TILE, GYPSUM, PLASTER, ETC. SO THAT FRONT EDGE OF BOX OR ASSOCIATED RAISED COVER IS NOT SET BACK FROM FINISHED SURFACE OF MATERIAL OR DOES NOT PROJECT BEYOND FINISHED SURFACE.
  - 2. INSTALL BOXES IN COMBUSTIBLE MATERIALS SUCH AS WOOD OR TILED SURFACE SO THAT FRONT EDGE OF BOX OR ASSOCIATED RAISED COVER IS FLUSH WITH FINISHED SURFACE.
  - 3. REPAIR ROUGH OPENINGS AROUND BOXES IN NONCOMBUSTIBLE MATERIALS SUCH AS CONCRETE, TILE, GYPSUM, PLASTER, ETC. SO THAT THERE ARE NO GAPS OR OPEN SPACES GREATER THAN 1/8 INCH AT K. INSTALL BOXES AS REQUIRED TO PRESERVE INSULATION INTEGRITY.
  - L. INSTALL PERMANENT BARRIER BETWEEN CAGED WIRING DEVICES WHEN VOLTAGE BETWEEN ADJACENT DEVICES EXCEEDS 300 V.
  - M. INSTALL PRESTROKES TO PRESERVE FIRE RESISTANCE RATING OF PARTITIONS AND OTHER ELEMENTS.
  - N. ALARM SYSTEMS: DO NOT USE OUTLET BOXES AS ALARM SYSTEMS.
  - O. INSTALL BLANK WALL PLATES ON JUNCTION BOXES AND ON OUTLET BOXES WITH NO DEVICES OR EQUIPMENT INSTALLED OR DESIGNATED FOR FUTURE USE.

## IDENTIFICATION FOR ELECTRICAL SYSTEMS

## PART 1 PRODUCTS

## 1.0 IDENTIFICATION REQUIREMENTS

- A. IDENTIFICATION OF EQUIPMENT:
  - 1. USE IDENTIFICATION NAMEPLATE TO IDENTIFY EACH PIECE OF ELECTRICAL DISTRIBUTION AND CONTROL EQUIPMENT AND ASSOCIATED SECTIONS, COMPARTMENTS, AND COMPONENTS, AS FOLLOWS:
    - a. PANELBOARDS:
      - 1) USE THE POWER SOURCE AND CIRCUIT NUMBER, INCLUDE LOCATION WHEN NOT WITHIN SIGHT OF EQUIPMENT.
      - 2) USE TYPEWRITTEN CIRCUIT DIRECTORY TO IDENTIFY LOAD(S) SERVED FOR PANELBOARDS WITH A DOOR, IDENTIFY SPACES AND SPACES USING PENCIL.
      - 3) POWER PANELBOARDS WITHOUT A DOOR, USE IDENTIFICATION NAMEPLATE TO IDENTIFY LOAD(S) SERVED FOR EACH BRANCH DEVICE, DO NOT IDENTIFY SPACES AND SPACES.
    - b. USE IDENTIFICATION NAMEPLATE TO IDENTIFY EACH SERVICE DISCONNECTING MEANS.
    - c. USE IDENTIFICATION NAMEPLATE TO IDENTIFY OVERCURRENT PROTECTIVE DEVICES FOR BRANCH CIRCUITS SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
    - d. USE IDENTIFICATION NAMEPLATE TO IDENTIFY OVERCURRENT PROTECTIVE DEVICES FOR BRANCH CIRCUITS SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
    - e. USE IDENTIFICATION NAMEPLATE TO IDENTIFY EACH BRANCH CIRCUIT SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - 2. IDENTIFICATION NAMEPLATE FOR EACH PIECE OF EQUIPMENT TO IDENTIFY THE AVAILABLE FAULT CURRENT AND THE DATE CALCULATIONS WERE PERFORMED.
  - 3. USE IDENTIFICATION LABEL TO IDENTIFY OVERCURRENT PROTECTIVE DEVICES FOR BRANCH CIRCUITS SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - 4. USE IDENTIFICATION NAMEPLATE TO IDENTIFY EACH BRANCH CIRCUIT SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - 5. SECURE IDENTIFICATION NAMEPLATE TO EACH BRANCH CIRCUIT SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - 6. SECURE IDENTIFICATION NAMEPLATE TO EACH BRANCH CIRCUIT SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - 7. SECURE IDENTIFICATION NAMEPLATE TO EACH BRANCH CIRCUIT SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - 8. SECURE IDENTIFICATION NAMEPLATE TO EACH BRANCH CIRCUIT SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - 9. SECURE IDENTIFICATION NAMEPLATE TO EACH BRANCH CIRCUIT SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".
  - 10. SECURE IDENTIFICATION NAMEPLATE TO EACH BRANCH CIRCUIT SERVING FIRE ALARM CIRCUITS, IDENTIFY WITH TEXT "FIRE ALARM CIRCUIT".

## 2.0 EXECUTION

## 2.0.1 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.2 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.3 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.4 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.5 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.6 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.7 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.8 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.9 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.10 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.11 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.12 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.13 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.14 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.15 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.16 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.17 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.18 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

## 2.0.19 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.20 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING, AND MAINTENANCE.
- C. INSTALL IDENTIFICATION PRODUCTS CENTERED, LEVEL, AND PARALLEL WITH LINES OF ITEM BEING IDENTIFIED.
- D. USE SELF-ADHESIVE BACKING OR EPOXY CEMENT TO SECURE IDENTIFICATION PRODUCTS TO EXPOSED SURFACES OF ENCLOSURE; USE STAINLESS STEEL SCREWS AND TO INTERIOR SURFACES USING SELF-ADHESIVE BACKING OR EPOXY CEMENT.
- E. INSTALL SELF-ADHESIVE LABELS AND MARKERS TO ACHIEVE MAXIMUM ADHESION, WITH NO BUBBLES OR IRREGULAR EDGES PROPERLY SEALED.
- F. MARK ALL HANDWRITTEN TEXT, WHERE PERMITTED, TO BE NEAT AND LEGIBLE.

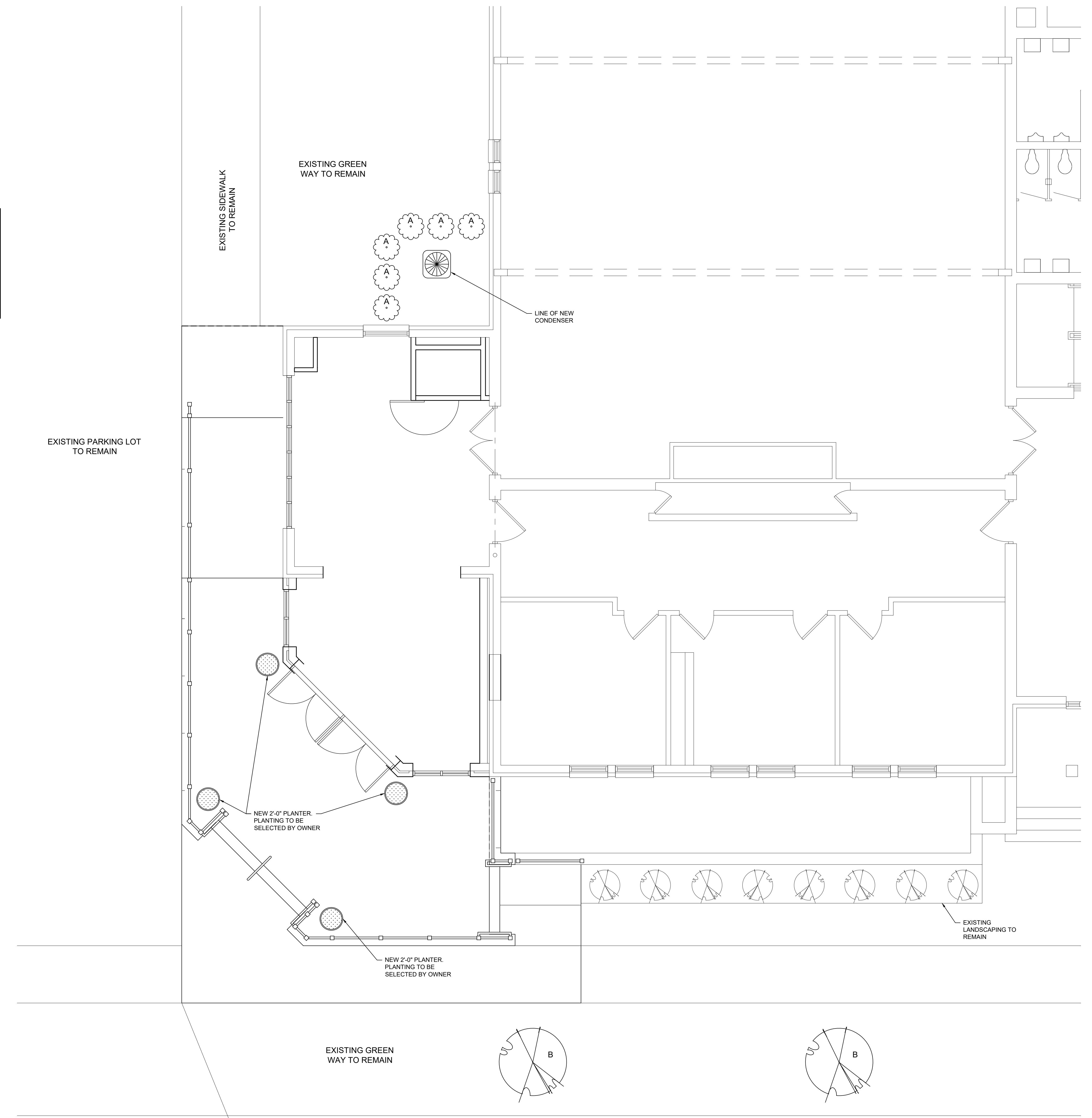
## 2.0.21 IDENTIFICATION

- A. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- B. DEGRADE AND CLEAN SURFACES TO RECEIVE NAMEPLATES AND LABELS.

## 2.0.22 IDENTIFICATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SER

PLANTING SCHEDULE							
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING (O.C.)	ROOT	REMARKS
A	6	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	3'-0"	3'-0" MIN.	-	-
B	2	QUERCUS × WAREI 'NADLER'	KINDRED SPIRIT OAK	25'-0"	25'-0" MIN.	-	-



N 1  
AL1.0 LANDSCAPE PLAN  
SCALE: 1/4" = 1'-0"

PRELIMINARY   
DESIGN DEVELOPMENT   
CONSTRUCTION   
FINAL RECORD   
DRAWN BY DCW/JMW  
CHECKED BY DCW/BJS  
REVISIONS

DATE: JUNE 27, 2025  
SHEET NO.

AL1.0  
JOB NO.  
232004

---

## **Sec. 35-53. Nonresidential Design Requirements.**

For the review and approval of all nonresidential developments, except in the CBD, including new construction, expansions, renovations and facade changes in accordance with section [35-]162, uses subject to site plan approval [review], the planning commission, city council and building official shall consider the following standards. These exterior building design standards shall apply to all walls intended for public view from any of the following: the street, alleys used for public access to a business, pedestrian walkways, public parking located to the front side, or rear of the building and adjacent residential areas. Design requirements applicable to development in the CBD are outlined in Article 7, Commercial Districts.

- A. *Building Location and Orientation.* New buildings shall have at least one (1) principal building entrance oriented toward the front lot line.
- B. *Exterior Building Design.*
  - 1. Exterior building walls which can be viewed from public streets or residential uses shall be designed using architectural features with a variety of materials and landscaping (near the building) for at least thirty (30) percent of the wall length, as determined by the planning commission, city council or building official.
  - 2. Windows shall make up at least twenty (20) percent of the exterior wall area facing the principal street(s) from which access is gained.
- C. *Architectural Features.*
  - 1. Architectural features shall include, but are not limited to, the following: recesses, projections, wall insets, arcades, window display areas, awnings, balconies, window projections, landscape structures or other features that complement the design intent of the structure as determined by the planning commission, city council or building official.
  - 2. In addition, a portion of the on-site landscaping shall abut the walls so that the vegetation combined with the architectural features significantly reduce the visual impact of the building mass as viewed from the street. Additional landscaping requirements of this chapter must also be satisfied.
- D. *Building Materials.*
  - 1. The predominant building materials should be materials that are characteristic of Michigan such as brick, decorative tilt-up panels, wood, native stone and tinted/textured concrete masonry units and/or glass products. Highly reflective or metallic tinting of windows shall not be permitted.
  - 2. Other materials, such as smooth-faced concrete block, undecorated tilt-up concrete panels, or prefabricated steel panels should only be used as accents and not dominate the building exterior of the structure.
  - 3. Metal roofs may be allowed if deemed by the planning commission or city council to be compatible with the overall architectural design of the building.
- E. *Signs.* Signs shall be in accordance with Chapter 25, Signs, of the City of Farmington Code. All sign bases shall be constructed of materials compatible with the architecture of the building(s) located on the premises.
- F. *Building and Sign Colors.* Exterior colors shall be of low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors such as neon, metallic or fluorescent for the facade and/or roof of the building are prohibited except as approved by the planning commission for building trim.

---

G. *Roof Design.*

1. Roofs should be designed to reduce the apparent exterior mass of a building, add visual interest and be appropriate to the architectural style of the building.
2. Variations in architectural style are highly encouraged. Visible roof lines and roofs that project over the exterior wall of a building enough to cast a shadow on the ground are highly encouraged, with a minimum overhang of twelve (12) inches.
3. Architectural methods shall be used to conceal flat rooftops and roof-mounted mechanical equipment.
4. Overhanging eaves, sloped roofs and multiple roof elements are highly encouraged.

H. *Customer Entrances.* Clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls and integral planters are highly encouraged.

I. *Community Amenities.* Community amenities such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located adjacent to the primary entrance to the building(s) are highly encouraged.

J. *Natural Features.* Buildings shall be sited to protect existing natural areas such as steep natural grades, trees, significant groupings of healthy vegetation (shrubs and trees) and rock outcroppings. These areas are encouraged to be incorporated into the overall site plan and existing vegetation may be calculated as part of the landscaping requirement if healthy and not damaged during construction.

(Ord. No. C-746-2010, § 1, 4-19-10)

Farmington Planning Commission Staff Report	Council Meeting Date: January 12, 2026	Item Number
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Agenda Topic:</b> Schedule of Public Hearing for the City of Farmington 2025 Master Plan		
<b>Proposed Motion:</b> Move to schedule a public hearing for the City of Farmington 2025 Master Plan for the March 9, 2026.		
<p><b>Background:</b></p> <p>The City is required to update its Master Plan every 5 Years. The Master Plan Steering Committee and its consultant, OHM Advisors, have been working diligently to create the updated Master Plan, based on data collection &amp; analysis and public engagement.</p> <p>At its January 12, 2026 meeting, the Commission will hear a presentation by Jennifer Morris, Rachel Bush, and Justin Sprague of OHM Advisors on the 2025 Master Plan. Administration then recommends that the Planning Commission schedule a public hearing for the March 9, 2026 meeting to review any public comment on the plan and to direct Administration to publish the notice.</p> <p>A draft of the 2025 Master Plan is on the project website at: <a href="https://www.farmingtonforward2025.com/">https://www.farmingtonforward2025.com/</a></p>		
<p><b>Materials:</b></p> <p>Public Hearing Notice Draft</p>		

**CITY OF FARMINGTON  
PLANNING COMMISSION  
43-DAY PUBLIC REVIEW PERIOD  
AND  
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Draft City of Farmington 2025 Master Plan prepared in accordance with State statutory requirements and the City's comprehensive planning program is available for public review. The Plan is available for a 43-day public review period commencing January 12, 2026 and ending March 9, 2026.

The Draft City of Farmington 2025 Master Plan is available for review at Farmington City Hall located at 23600 Liberty Street, Farmington, MI 48335 during regular business hours. Copies are also available for review on the city's website at [www.farmgov.com](http://www.farmgov.com) and on the project website at [www.farmingtonforward2025.com](http://www.farmingtonforward2025.com).

Notice is further given that the Farmington Planning Commission will hold a Public Hearing on Monday, March 9, 2026 at 7:00 p.m. in the Council Chambers located at 23600 Liberty Street, Farmington, MI 48335 to discuss and review the Draft City of Farmington 2025 Master Plan.

All interested residents are encouraged to attend the public hearing to be heard, and any written materials concerning the Draft City of Farmington 2025 Master Plan shall be received and considered.

Christopher M. Weber, Assistant City Manager

Publish: January 18, 2026 Oakland Press

Farmington Planning Commission Staff Report	Planning Commission Date: January 12, 2026	Item Number
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b><u>Agenda Topic:</u></b> Public Hearing – 2025 Parks and Recreation Master Plan		
<b><u>Proposed Motion:</u></b>		
Move to open the Public Hearing on the 2025 Parks and Recreation Master Plan		
Move to close the Public Hearing on the 2025 Parks and Recreation Master Plan		
<b><u>Background:</u></b>		
The Planning Commission discussed and reviewed the City of Farmington 2025 Parks and Recreation Master Plan at the December 8, 2025 meeting and scheduled the required public hearing.		
The requested action of the Planning Commission at their January 12, 2026 meeting is to hold the required public hearing as scheduled and noticed. Comments will be accepted both by the public attending the public hearing and through advance submission to Administration, including via the City's website.		
A draft of the 2025 Parks and Recreation Plan is on the project website at: <a href="https://www.farmingtonforward2025.com/parksandrec">https://www.farmingtonforward2025.com/parksandrec</a>		
<b><u>Materials:</u></b>		

Farmington Planning Commission Staff Report	Planning Commission Date: January 12, 2026	Item Number
<b>Submitted by:</b> Chris Weber, Assistant City Manager		
<b>Agenda Topic:</b> 2025 Parks and Recreation Master Plan Review and Recommendation		
<b>Proposed Motion:</b>		
Move to Approve the 2025 Parks and Recreation Master Plan and Forward to City Council for their Approval.		
Or		
Move to Approve the 2025 Parks and Recreation Master Plan with the Following Edits and Forward to City Council for their Approval: _____.		
Or		
Move to deny approval of the 2025 Parks and Recreation Master Plan because: _____.		
<b>Background:</b>		
The Planning Commission discussed and reviewed the City of Farmington 2025 Parks and Recreation Master Plan at the December 8, 2025 meeting and held the required public hearing at their January 12, 2026 meeting.		
Based on the review of the Planning Commission of the plan and comments received from the public, Administration is requesting the Planning Commission to approve the plan, approve the plan with edits, or to not approve the plan; and, if the plan is approved, to forward to City Council for "governing body" approval at their January 20, 2026 meeting.		
A draft of the 2025 Parks and Recreation Plan is on the City's website at: <a href="https://www.farmingtonforward2025.com/parksandrec">https://www.farmingtonforward2025.com/parksandrec</a>		
<b>Materials:</b>		