



ZONING BOARD OF APPEALS MEETING
Wednesday, July 1, 2026 – 7:00 p.m.
City Council Chambers
23600 Liberty Street
Farmington, MI 48335

AGENDA

1. **Roll Call**
 - A. **Define Participating Members**
2. **Minutes of Previous Meeting of December 11, 2024**
3. **Minutes of Previous Planning Commission Meetings are available for review on our website www.farmgov.com**
4. **Election of Officers**
 - A. **Chairperson**
 - B. **Vice Chairperson**
 - C. **Secretary**
5. **APPEAL OF:**
 - Benedetto Tiseo, Applicant**
19815 Farmington Road
Livonia, MI 48152
 - Thibault Enterprises, Owner**
21021 Kelly Road
Eastpointe, MI 48021
 - 33224 Grand River Avenue, Location**
Farmington, MI 48336
 1. **Owner/applicant requests: A variance to section 35.104.A.4 Building Height, the existing grade of the property which slopes downward from west to east has more than 4 feet of fall. The proposed, allowable four (4) story structure will exceed the allowable height of 45 feet by 3.85 feet on the east end of the building. The overall average height increase is 1'11" and as proposed is not in compliance with the City of Farmington Zoning ordinance requiring the variance.**
 2. **Further, the building has a parapet wall that screens roof top equipment. Section 35-42 limits the parapet wall height to Six (6) feet. The requested – proposed elevation has the parapet wall at a height of seven (7) feet; thus, they are requesting a One (1) foot Variance to this zoning ordinance section.**
6. **Public comment**
7. **Adjournment**

BOARD OF ZONING APPEALS MINUTES

A regular meeting of the Farmington Board of Zoning Appeals was held on Wednesday, December 11, 2024 in Council Chambers, 23600 Liberty, Farmington, Michigan. Notice of the meeting was posted in compliance with Public Act 1976.

Acting Chairperson Schiffman called the meeting to order at 7:10 p.m.

ROLL CALL

- PRESENT: Aren, Crutcher, and Schiffman
- OTHERS PRESENT: Building Official Jeff Bowdell

Minutes of Previous Meeting of August 7, 2024

MOTION by Shiffman, supported by Arens to approve the minutes of August 7, 2024. Motion carried, all ayes.

Minutes of Previous Planning Commission Meetings were received and filed and available for review at www.farmgov.com

Election of Officers postponed until a full complement of Board are present.

APPEAL OF: **Norman W Boegner**
 Paula K Boegner
 22755 Brookdale St
 Farmington, MI 48336

Introduction: Schiffman introduced this item and turned it over to staff. He then asked the Applicant if they wanted to proceed with their variance request as there were only three members of the Board present or did he want to wait for a full complement of the Board.

The Boegners stated they'd like to move forward with the variance request.

1. The Boegners are requesting permission to construct a new 28' x 32' detached accessory structure (garage). The City of Farmington Zoning ordinance allows for 15' tall detached structures pursuant to Section 35-43 this proposed structure would meet the defined words provided in Article 21 under "Building Height" however the structure as designed has a dormer that also has ends walls that when utilized as part of the overall calculation raise the mean height of the structure to 17'10" .

2. The property owner requests an interpretation of the building officials to include the dormer walls in the height calculation. .

Case Presentation:

Property owner Normal Boegner explained his variance request and gave reason as to why it should be approved as he has a “larger than normal lot and justice being served as several other structures of similar size in his immediate neighborhood were previously granted permits without variances.”

Joe Novitsky, Architect, explained that he believed the variance request was unnecessary as the drawings were in compliance with the ordinance.

Discussion was held on the Building Official's interpretation of the ordinance. It was agreed that the interpretation was keeping with the spirit and intent of the ordinance.

The floor was opened up for comments from the Commission.

Member Crutcher posed a question to the applicant.

Member Arens spoke about the neighborhood in general.

The floor was opened for public comment.

Philip Inland, 22811 Brookdale, spoke in favor of the variance.

Tom Vandever, 22655 Brookdale, spoke in favor of the variance.

A letter from an anonymous neighbor within the 300-foot radius was read in favor of the variance.

MOTION by Crutcher, supported by Schiffman, to approve the variance request citing that only 14% of the roof was over the ordinance requirement and the design did attempt to comply that substantial justice would be served and that it would not be a detriment to the neighborhood.

Motion carried, all ayes.

Revisit tabled variance request by Kenneth Swartz 33600 Shiawassee – June 12, 2024 ZBA meeting.

No action required as applicant removed their request.

Public Comment:

None heard.

Adjournment:

MOTION by Crutcher, supported by Arens, to adjourn the meeting.
Motion carried, all ayes.

The meeting was adjourned at 7:50 p.m.

Secretary



CITY OF FARMINGTON

For office use only

Date Filed: _____

Fee Paid: _____

Board of Zoning Appeals Application

1. **Petitioner Name** Benedetto Tiseo

2. **Location of Property**

Address 33224 Grand River Ave.

Cross Streets Warner St.

3. **Identification**

Applicant Benedetto Tiseo

Address 19815 Farmington Rd

City/State/Zip Livonia, MI 48152

Phone 248-888-1300 Fax N/A

Interest in the Property (e.g. fee simple, land option, etc.)

9 Property Owner 9 Other (Specify) Offer to Purchase

Property Owner Thibault Enterprises

Address 21021 Kelly Rd

City/State/Zip Eastpointe, MI 48021-3127

Phone 313.304.5156 Fax _____

Preparer of Site Plan Tiseo Architects, Inc.

Address 19815 Farmington Rd

City/State/Zip Livonia, MI 48152

Phone 248-888-1300 Fax N/A

4. **Property Information**

Zoning District CBD Area 30,000 Sq. Ft.

Width 150' Depth 200'

Current Use Retail Store

5. Appeal Request

Indicate grounds for appeal & complete additional section, if specified:

	Consult Zoning Ordinance Section	Complete Additional Application Section
<input type="checkbox"/> Specific appeal request type (pick one)		
<input type="checkbox"/> APPEALS from any order, requirement, decision or determination made by the Building Official, any administrative official or administrative body where it is alleged that there was an ERROR OR MISINTERPRETATION.	18.04 A.	Section 6.
<input type="checkbox"/> MAP INTERPRETATIONS	18.04.B.	Section 6.
<input type="checkbox"/> TEXT INTERPRETATIONS	18.04.C.	Section 6.
<input type="checkbox"/> NON-CONFORMING SITUATIONS	18.04.D. & Article 17	
<input checked="" type="checkbox"/> HEIGHT MODIFICATIONS	18.04 E.	
<input type="checkbox"/> VARIANCE from the strict application of the provisions of the Zoning Ordinance; specify type:	18.05 A.-D.	
<input type="radio"/> Dimensional (Area) Variance	18.05 D.1.	Section 7.
<input type="radio"/> Use Variance	18.05 D.2.	Section 8.
<input type="radio"/> Accessory Reception Antenna Facilities	18.05 D.3.	
<input type="radio"/> Cellular Towers and Antenna	18.05 D.4.	
<input type="radio"/> Fences	18.05 D.5.	

Describe your appeal, in general:

The development of this property requires that the building be adjacent to the Grand River Ave R.O.W. At the south property line, there is a 3.05-foot grade difference from the SE corner to the SW corner. The same is true at the east property line where there is a grade difference of 3.85 feet. Given these existing physical restrictions on our property, any proposed 4-story building on this site will need to be raised to accommodate the existing off-site conditions. With a 4-story building there isn't the ability to lower the floor-to-floor height and comply with standard ceiling heights for the Condo units. If the existing grades did not vary as much as they do, no variance for the building height would be required. Due to the height needed, and the scale of the building and materials, the parapet height is designed so that it is in proportion with the rest of the building which results in the need to request a 1-foot variance for this element.

Upon completion of this portion, check above for an additional section to complete, then go to the last page (**Section 9.**) to complete the application.

6. Section 6. Specific criteria for APPEALS and INTERPRETATIONS

The Board of Zoning Appeals is bound by the same rules, procedures, and standards of the Ordinance. The Board of Zoning Appeals should uphold the original decision unless the record clearly shows that the original decision body or official was one of the following:

- a. Arbitrary and capricious; or
- b. Filled to ensure consistency with ordinance standards; or
- c. Made an error, such as relying on false or inaccurate information, or
- d. Constituted an abuse of discretion; or
- e. Was based upon erroneous interpretation of the zoning ordinance or zoning law.

Describe how your appeal meets one of these criteria:

Filled to ensure consistency with the ordinance standards as the Planning Commission required petitioner to obtain ZBA Waivers for the two heights (Building Height and Parapet Height).

7. **Section 7. Criteria for a DIMENSIONAL (Area) Variance**

Please respond to the following statements. The application must meet all criteria in order to obtain a variance.

- a. **Practical Difficulties.** How would the strict compliance with the area, setbacks, frontage, height, bulk, density, or other dimensional and non-use matters create practical difficulties, unreasonably prevent the use of the property for a permitted purpose, or render the conformity unnecessarily burdensome? Note that the showing of mere inconvenience is insufficient to justify a variance.

See section 5 for description.

- b. **Substantial Justice**

How would a variance do substantial justice to the applicant as well as to other property owners in the district?

The proposed development is following the cities desired and promoted use of this property as a 4-Story Mixed-Use Building.

Would a lesser variance than the requested give substantial relief to the applicant and or be more consistent with justice to other properties? If not, please explain why?

A lesser variance for the building height wouldn't be an option since there isn't the ability to lower the floor-to-floor height and comply with the standard ceiling heights for the condo units. Due to the height needed, and the scale of the building and materials, the parapet height is designed so that it is in proportion with the rest of the building. To lower it would make the top look off-balance from the rest of the design.

- c. **Public Safety and Welfare.** Will the granting of the variance materially impair the intent and purpose of this ordinance or compromise the public safety and welfare?

No. The only reason these variances are required is due to the drastic existing grade differences along the east and south property lines.

- d. **Not Self-Created.** Have the special conditions and circumstances relating to the variance request resulted from the actions of the applicant?

No. The only reason these variances are required is due to the drastic existing grade differences at the east and south property lines.

- e. **No Safety Hazard or Nuisance.** Will the granting of variance or appeal increase the hazard of fire or otherwise endanger public safety or create a public nuisance?

No.

- f. **Relationship to Adjacent Land Uses.** Will the development permitted upon granting the variance relate harmoniously in a physical and economic sense with adjacent land uses while not altering the essential character of the neighborhood?

See 7b above. Also, the required variances are minimal and will allow us to create a more harmonious design while meeting the needs of the retail and condo units.

- g. **Minimum Variance Necessary.** Is the variance requested the minimum amount necessary to permit reasonable use of the land? Explain, provide specific figures if necessary.

Yes. In order to make the floor-to-floor heights work for the condo units and provide usable retail spaces, the height proposed is the minimum that we can have to achieve these objectives. The parapet height is the minimum that we feel it can be to achieve a harmonious balance between materials and building design so that it looks proportionate.

8. Section 8. Criteria for a USE Variance

Please respond to the following criteria. The application must meet all of the statements in order to obtain the use variance.

- a. **Unreasonable Current Zoning Designation.** Describe how the property cannot be reasonably used for any purpose permitted in the zoning district without the variance. There must be financial proof of inability to realize any return.

Given the purchase price of the property, with its downtown location, the building needs to be developed as a 4-Story Mixed-Use Building to provide a reasonable return on the investment.

- b. **Unique Circumstances.** Describe the unique circumstances peculiar to the property that exist which are not generally applicable in the area or to other properties in the same zoning district. Please describe features that make it impossible to earn a reasonable return without some adjustment.

Given the existing grade differences, compliance with the ordinance would be difficult.

- c. **Not Self-Created.** Have the special conditions and circumstances relating to the variance request resulted from the actions of the applicant or the applicant's predecessors or are they self-created?

No.

- d. **Capacity of Roads, Infrastructure and Public Services.** Will the capacity and operations of public streets and other facilities be compromised?

No.

- e. **Character of Neighborhood.** Will the variance, if granted, alter the essential character of the area? Explain.

No. This development will be a benefit to the CBD.

- f. **Minimum Variance Necessary.** Is the variance requested the minimum amount necessary to permit reasonable use of the land? Explain, provide specific figures if necessary.

See item 7g above.

The Farmington
Grand River Ave
Farmington, MI
25029



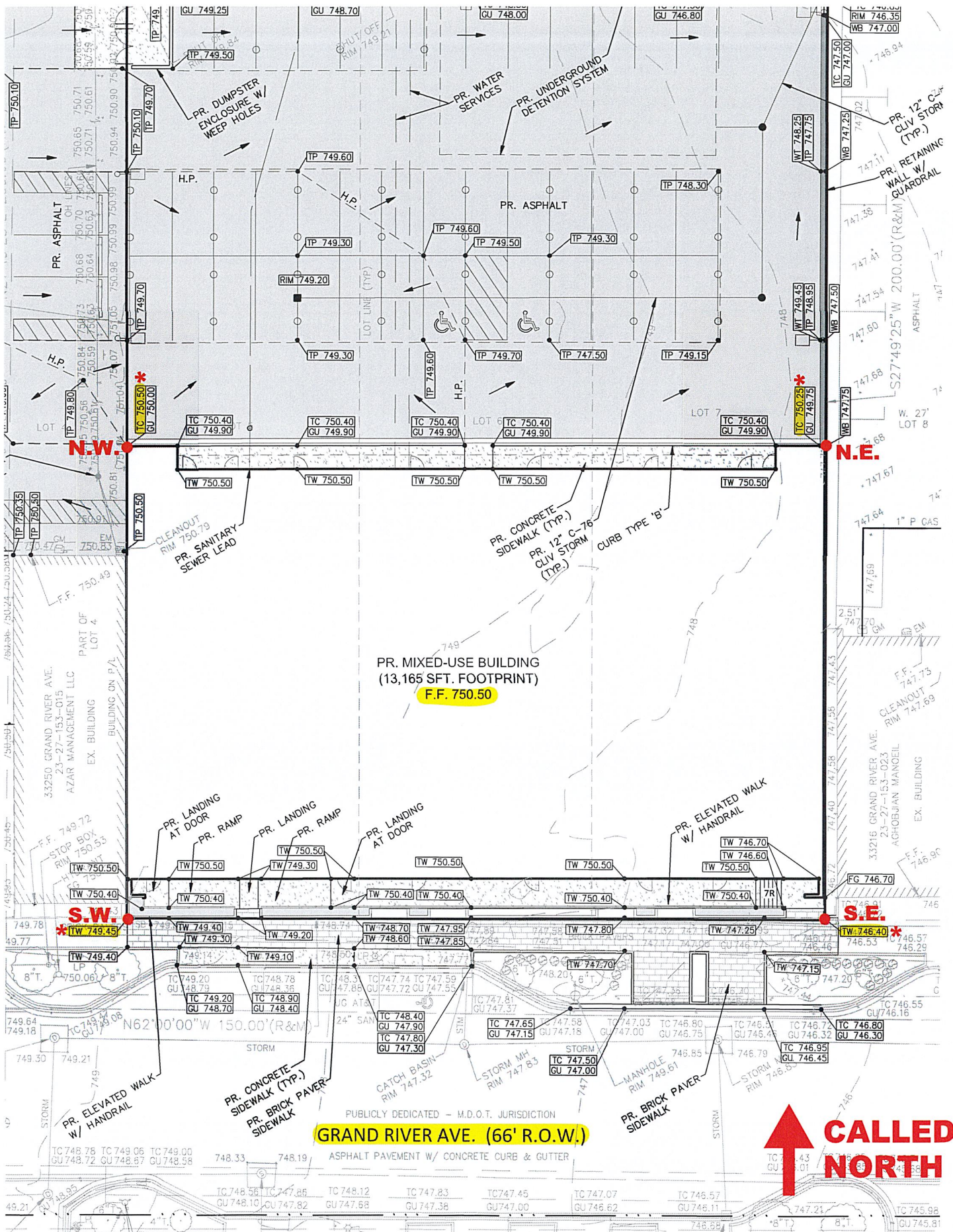
Roof Height Worksheet

Sec. 35-104.A.4: Building Height Requirement = 45 Feet Maximum

Wall	Wall Length Ft	Grade at Property Line Corner		Average Grade Elevation	First Floor Elevation	Average Grade to Finish Floor (Ft)	First Floor To Roof Deck (Ft)	Average Feet Grade to Roof Deck
South	149.33	S.W.	S.E.	747.925	750.50	2.58	44.33	46.91
%	30.42%	749.45	746.40					
Difference		3.05						
								Difference over 45'-0" 1'-11"
West	96.12	S.W.	N.W.	749.975	750.50	0.52	44.33	44.86
%	19.58%	749.45	750.50					
Difference		1.05						
								Difference <u>under</u> 45'-0" 0'-1 ⁵ / ₈ "
North	149.33	N.W.	N.E.	750.375	750.50	0.13	44.33	44.46
%	30.42%	750.50	750.25					
Difference		0.25						
								Difference <u>under</u> 45'-0" 0'-6 ¹ / ₂ "
East	96.12	N.E.	S.E.	748.325	750.50	2.17	44.33	46.51
%	19.58%	750.25	746.40					
Difference		3.85						
								Difference over 45'-0" 1'-6"
Total	490.91							
	100.00%							

Sec. 35-42: Parapet walls may be no more than six (6) feet above the height required of the district

CBD Required: 6 - 0"
 Actual: 7'- 0"
 Difference: **1' - 0"**



GRAND RIVER AVE. (66' R.O.W.)

↑ CALLED NORTH

PR. MIXED-USE BUILDING
(13,165 SFT. FOOTPRINT)
F.F. 750.50

S.E.

S.W.

N.E.

N.W.

PUBLICLY DEDICATED - M.D.O.T. JURISDICTION

ASPHALT PAVEMENT W/ CONCRETE CURB & GUTTER

PR. CONCRETE SIDEWALK (TYP.)
PR. BRICK PAVEMENT SIDEWALK

PR. BRICK PAVEMENT SIDEWALK

PR. ELEVATED WALK W/ HANDRAIL

PR. ELEVATED WALK W/ HANDRAIL

PR. LANDING AT DOOR

PR. RAMP

PR. RAMP

PR. LANDING AT DOOR

PR. CONCRETE SIDEWALK (TYP.)
PR. 12" C-76 CURB TYPE 'B'
PR. 12" C-76 CURB TYPE 'B'

CLEANOUT RIM 750.79
PR. SANITARY SEWER LEAD

CLEANOUT RIM 747.69

CLEANOUT RIM 746.57

CLEANOUT RIM 746.16

CLEANOUT RIM 745.81

CLEANOUT RIM 745.31

CLEANOUT RIM 747.00

CLEANOUT RIM 747.02

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RETAIL 1

RETAIL 2

RETAIL 3

RETAIL 4

RETAIL 5

RETAIL 6

THE BARRINGTON



THE FARMINGTON



STREET VIEW RENDERING



PARKING LOT VIEW RENDERING

DRAWING INDEX

ARCHITECTURAL

- P1 COVER SHEET, PROPOSED PLANS, ELEVATIONS
- P2 PROPOSED SITE & CARPORT INFORMATION
- P3 PROPOSED BASEMENT & 1ST FLOOR PLANS
- P4 PROPOSED 2ND FLOOR PLAN
- P5 PROPOSED 3RD FLOOR PLAN
- P6 PROPOSED 4TH FLOOR PLAN
- P7 PROPOSED ROOF PLAN
- P8 PROPOSED 2ND FLOOR FRAMING PLAN
- P9 PROPOSED PLAN DETAILS
- P10 PROPOSED NORTH & SOUTH ELEVATIONS
- P11 PROPOSED EAST & WEST ELEVATIONS
- P12 PROPOSED BUILDING SECTION

CIVIL

- SPO COVER SHEET
- SF1 BOUNDARY - TOPOGRAPHIC SURVEY
- SF2 DIMENSIONAL SITE PLAN
- SP2.1 TRUCK TURNING PLAN
- SP3 PAVING AND GRADING PLAN
- SP4 CONTECH DETENTION SYSTEM DETAILS

LANDSCAPE

- L1 LANDSCAPE PLAN

PHOTOMETRICS

- 1 OF 1 QUICK CALC V3

THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

Issued for: _____ Date: _____

SITE PLAN REVIEW 20 APR 2026

REVISIONS 28 APR 2026

REVISIONS 11 MAY 2026

SITE PLAN APPROVAL 14 MAY 2026

REVISIONS 28 MAY 2026

ZBA 08 JUN 2026

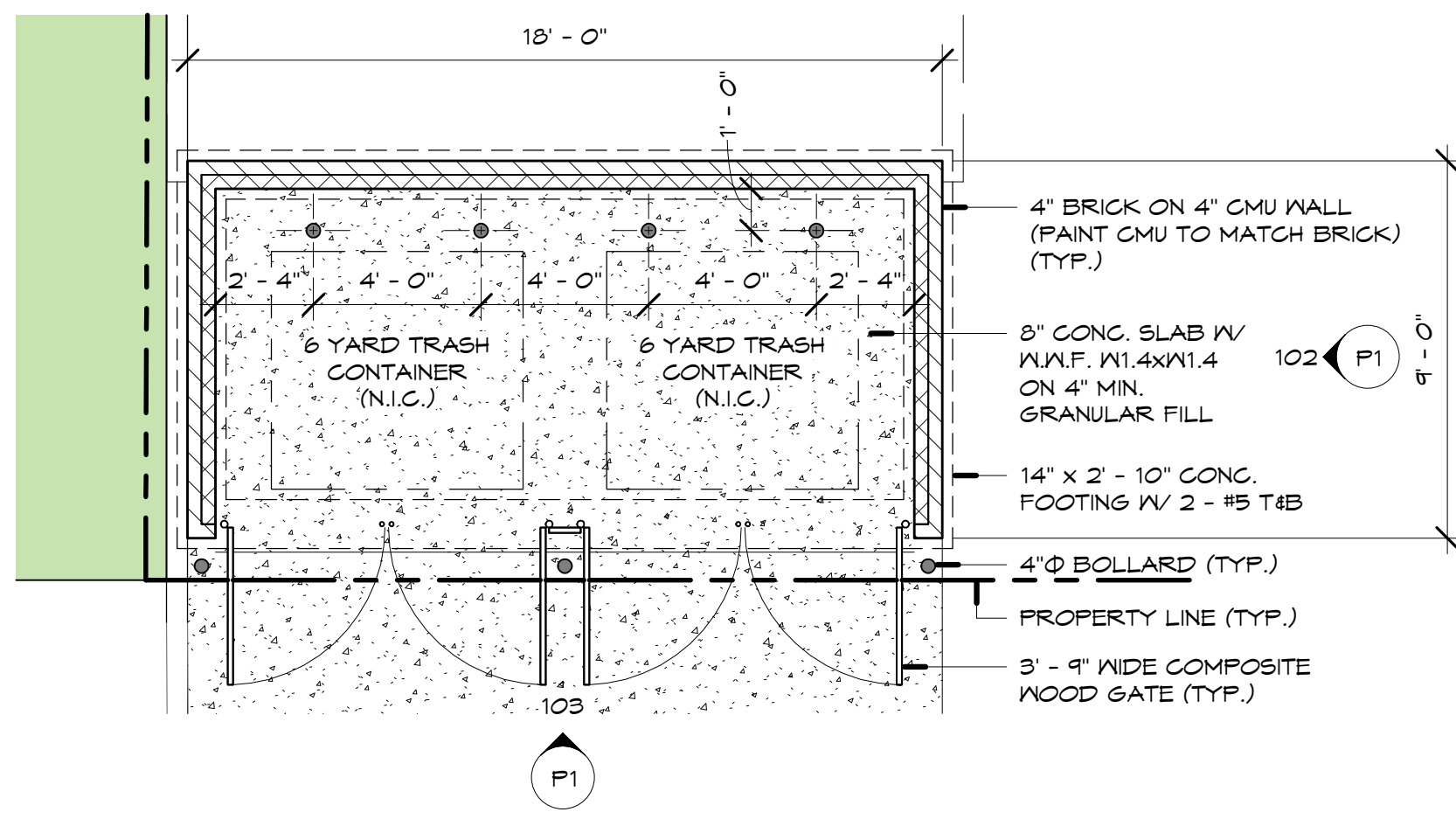
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COVER SHEET, PROPOSED PLANS, ELEVATIONS

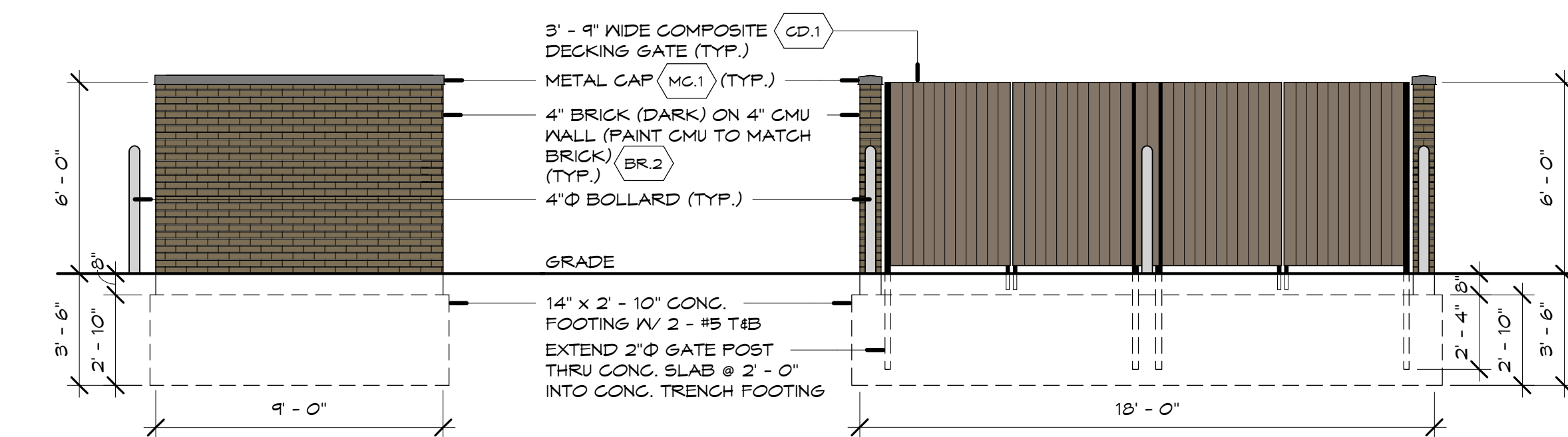
Project No. _____ Sheet No. _____

25029 P1

Date Printed: _____



101 ENLARGED PLAN @ TRASH ENCLOSURE
 SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"

TRASH ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"

WAIVERS REQUESTED:
 - Roof Height
 - Parapet Height

WAIVERS APPROVED BY THE PLANNING COMMISSION:
 - Parking Totals
 - Off-Property Trash Access
 - Loading/Unloading Zone
 - Front Setback
 - Exterior Finish Material Percentages

LEGAL DESCRIPTION - PER TITLE COMMITMENT

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:
 LOT(S) 5, 6 AND 7, BLOCK 2, OF PLAT OF DAVIS ADDITION TO VILLAGE OF FARMINGTON, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 2 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS.

ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336

TAX ID: 23-27-153-021

CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

Site/Building Data

Existing Site Area:	30,000 Sq Ft±	0.69 Acres
Proposed Building	59,149 Gross Sq Ft	
Basement	3,684 Gross Sq Ft	
1st Floor:	13,153 Gross Sq Ft	
Retail	12,375 Gross Sq Ft	
Miscellaneous	778 Gross Sq Ft	
2nd Floor:	14,104 Sq Ft	11 Condo Units
3rd Floor:	14,104 Sq Ft	11 Condo Units
4th Floor:	14,104 Sq Ft	11 Condo Units

Zoning Sec. 4.18: CBD - Central Business District

Uses Permitted:
 Table. 35-102: Retail Businesses under 50,000 sq ft
 Residential Dwellings in upper stories of mixed-uses buildings

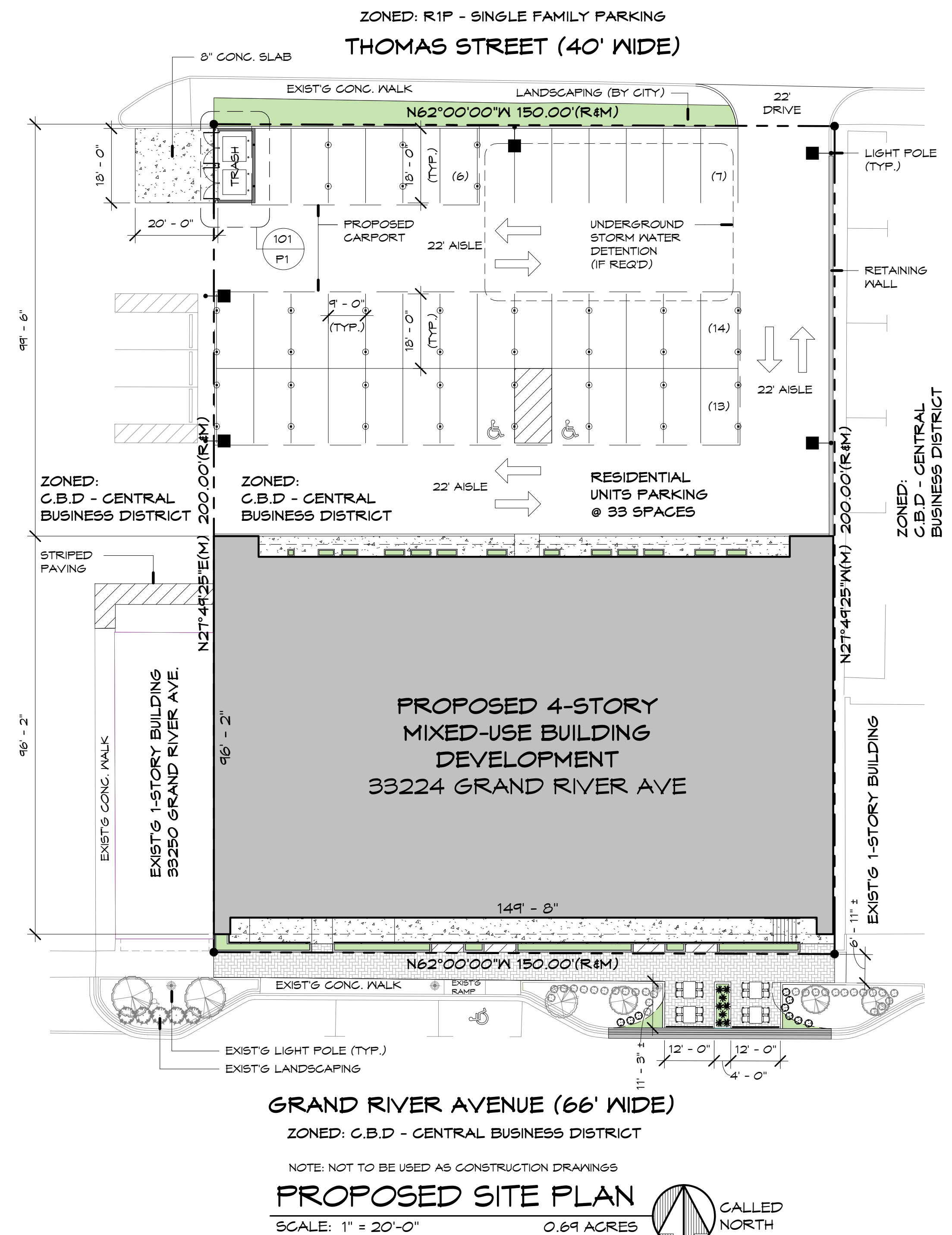
Sec. 35-104.A. Area and Bulk Requirements

Setback:
 Front (Within 3 feet of Front Line): 4'-4"± & 8'-4"± Proposed
 Side (None Side Line if Fire Wall): 0'-0" & 4" Proposed
 Rear (None): 99'-6"± Proposed

Bldg Height:
 Minimum (24 Ft & 1 Story): NA
 Maximum (45 Ft & 4 Stories): 46 Ft & 4 Stories Proposed

Off-Street Parking:
 Sec. 35-172 Parking:
 Multi-Family (2/Dwellings) 66 Spaces Required
 33 Spaces Provided
 Retail (4/1000 Sq Ft) 50 Spaces Required
 7 Spaces Provided
 116 Spaces Required
 40 Spaces Provided

Loading/Unloading:
 Sec. 35-174:
 Size: 10' x 50'
 5,000 to 20,000 Gross Sq Ft: 1 space
 None Spaces Required
 None Spaces Provided



GRAND RIVER AVENUE (66' WIDE)

ZONED: C.B.D - CENTRAL BUSINESS DISTRICT

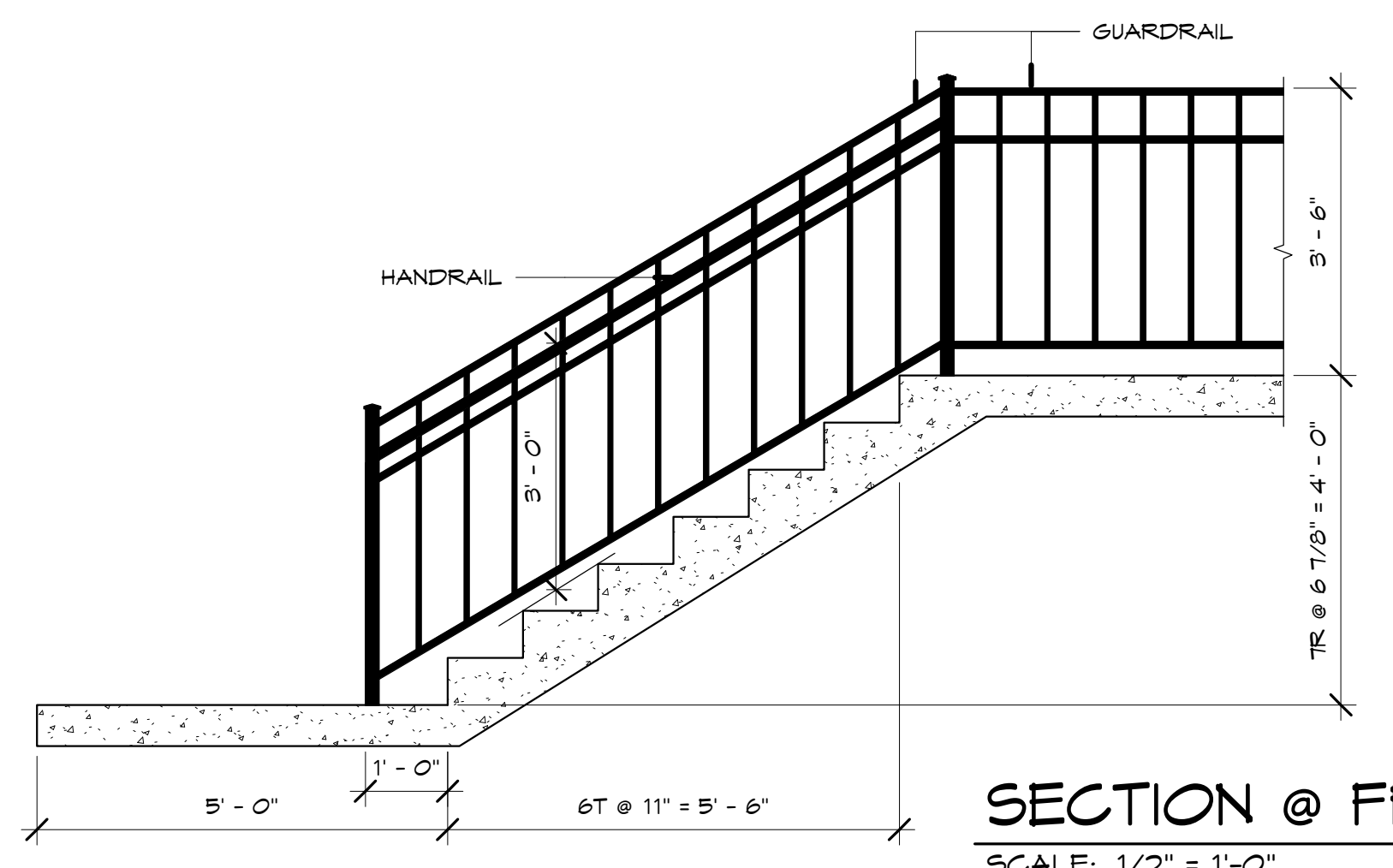
NOTE: NOT TO BE USED AS CONSTRUCTION DRAWINGS

PROPOSED SITE PLAN

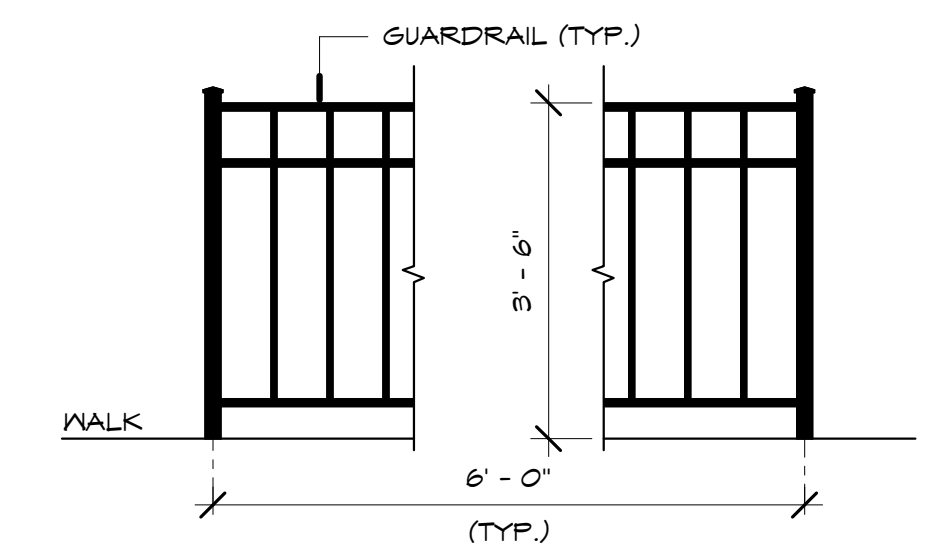
SCALE: 1" = 20'-0"

0.69 ACRES

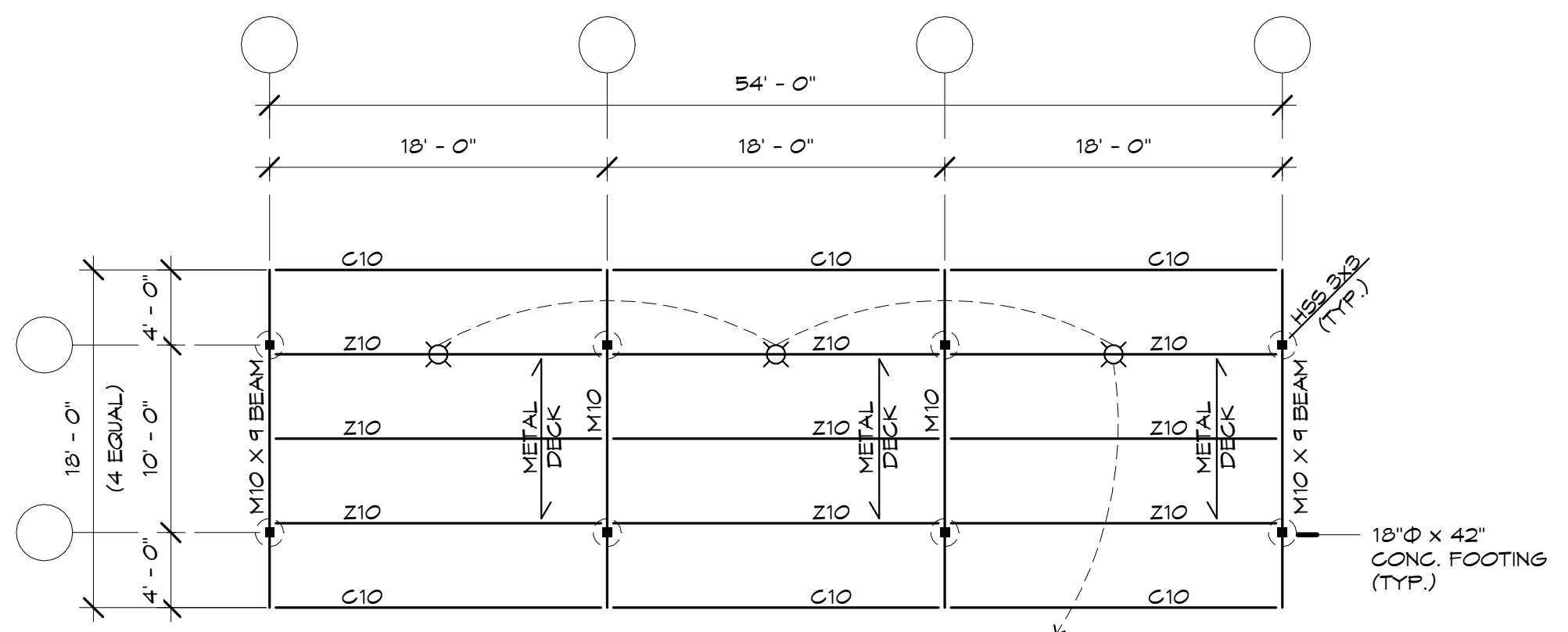




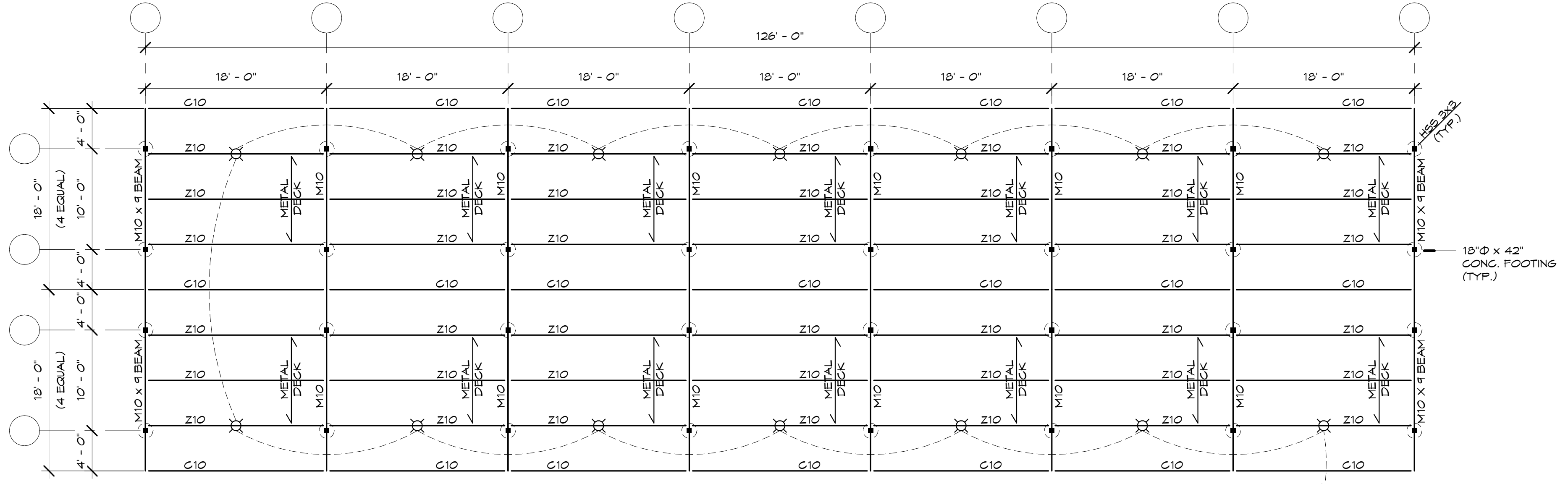
SECTION @ FRONT WALK
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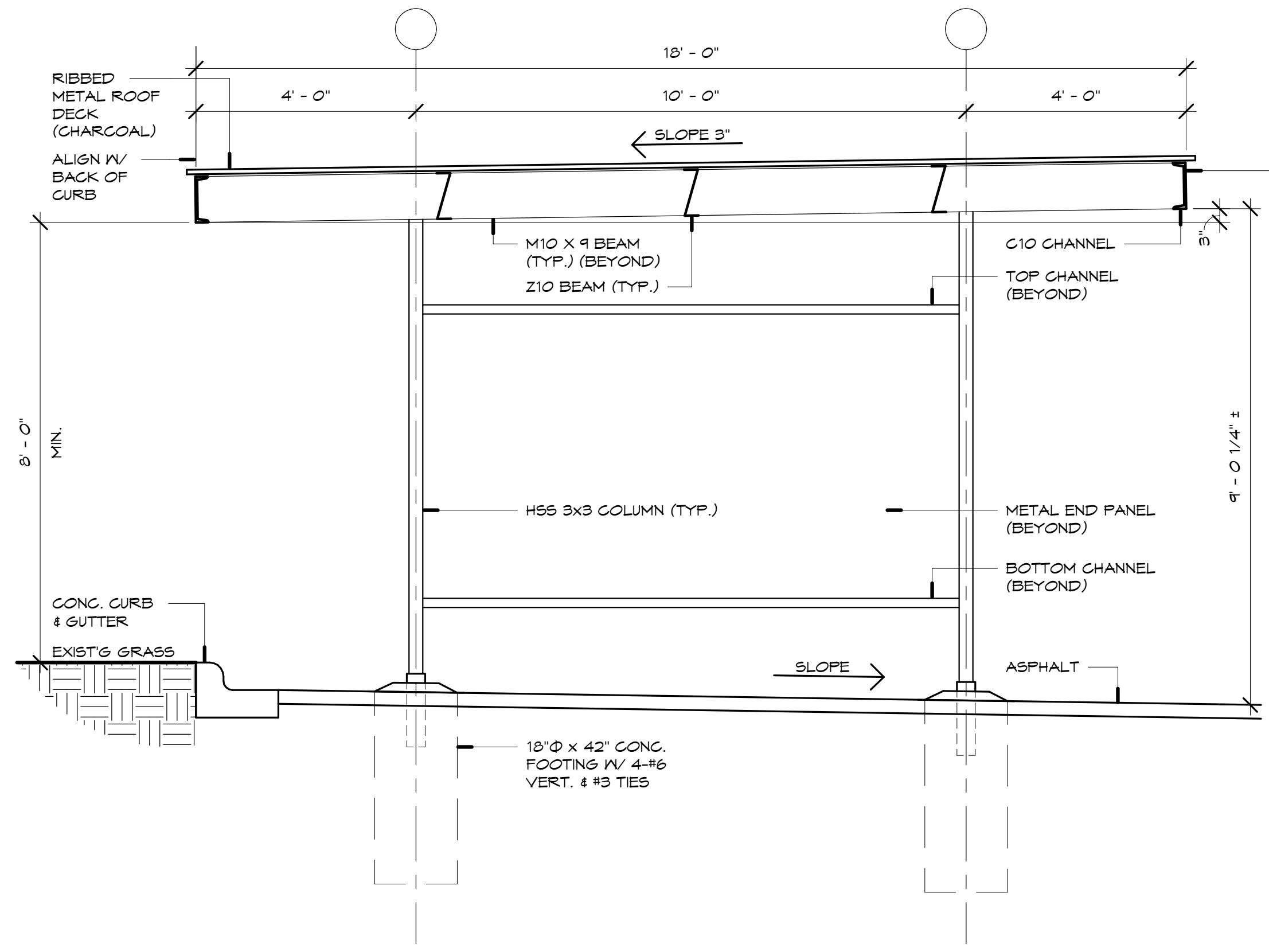
TYPICAL ORNAMENTAL GUARDRAIL ELEVATION
 SCALE: 1/2" = 1'-0"



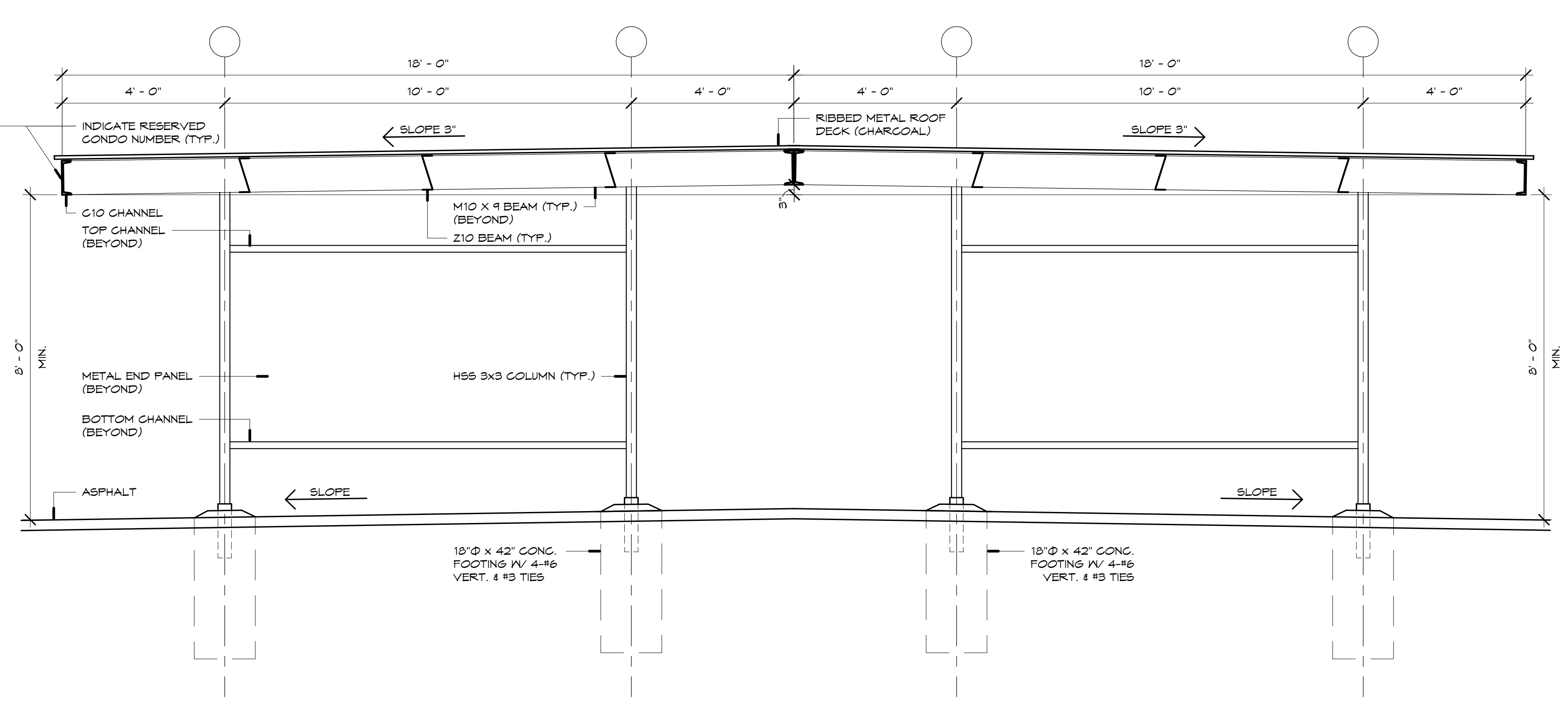
6 CAR CARPORT PLAN
 SCALE: 1/8" = 1'-0"



27 CAR CARPORT PLAN
 SCALE: 1/8" = 1'-0"



TYPICAL 6 CAR CARPORT SECTION
 SCALE: 1/2" = 1'-0"



TYPICAL 27 CAR CARPORT SECTION
 SCALE: 1/2" = 1'-0"

THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo



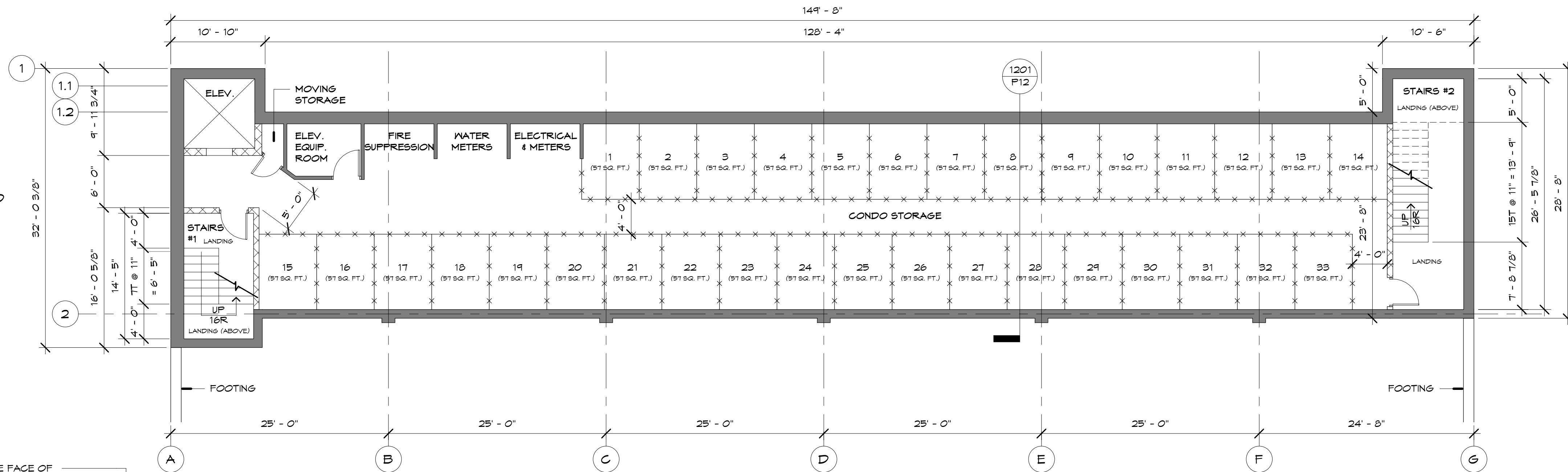
Date: 08 JUN 2026

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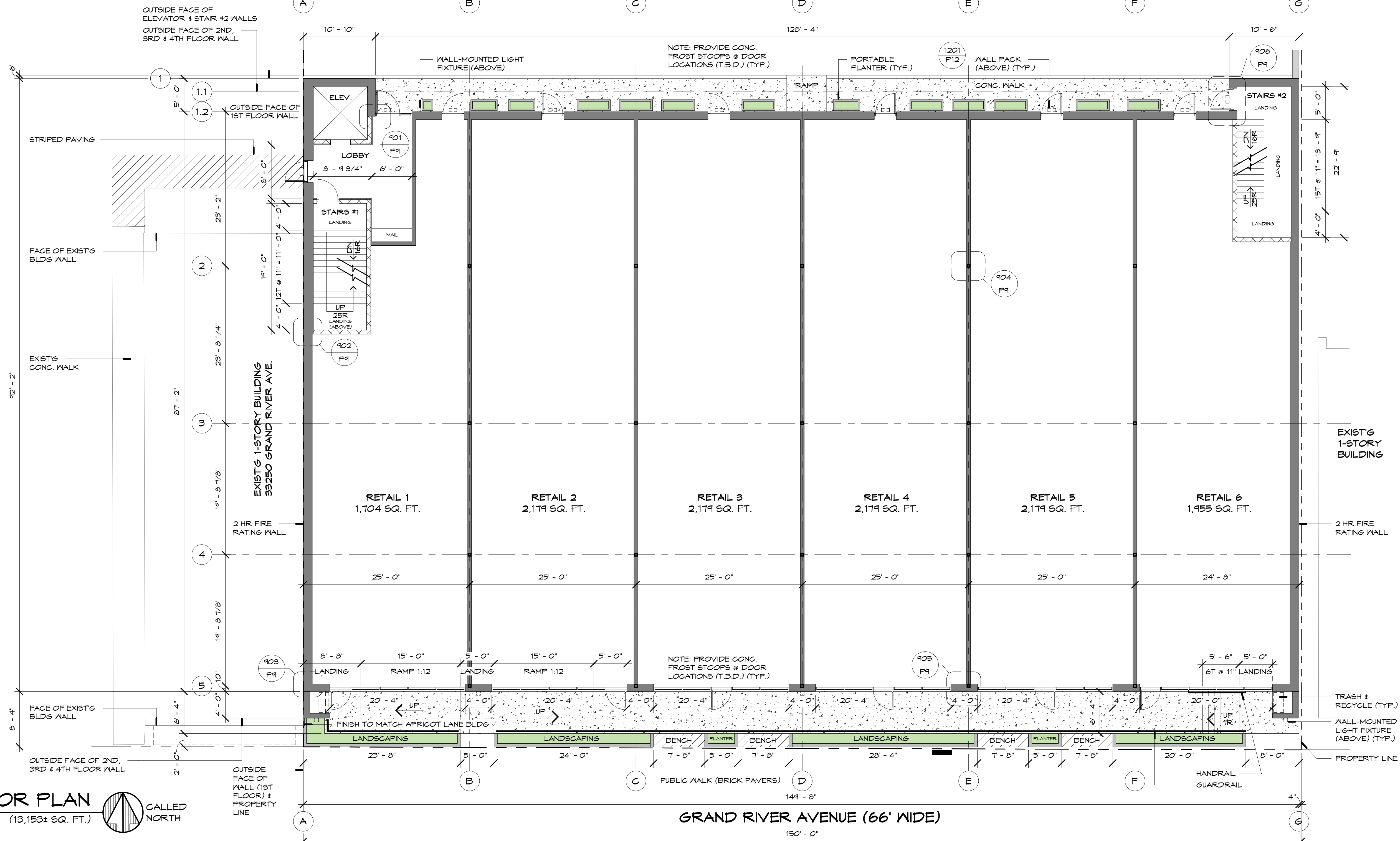
NOT FOR CONSTRUCTION
PROPOSED SITE & CARPORT INFORMATION
 Project No. 52029
 Sheet No. P2
 Date Printed:

8/7/2026 8:51:14 PM T:\Projects\25029 Farmington Village Phase - Grand River (Farmington)\Preliminary\SSOP - 501 Rev.rvt

PROPOSED BASEMENT PLAN
SCALE: 1/8" = 1'-0"
(3,684± SQ. FT.)



PROPOSED 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"
(13,153± SQ. FT.)



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TISEO Architects, Inc.
19815 Farmington Road
Livonia, Michigan
48152-1444
248.888.1300
www.tiseo.com

THE FARMINGTON
33224 Grand River Ave
Farmington, Michigan

Drawn by: Kimberly Lapinski
Checked by: Benedetto Tiseo

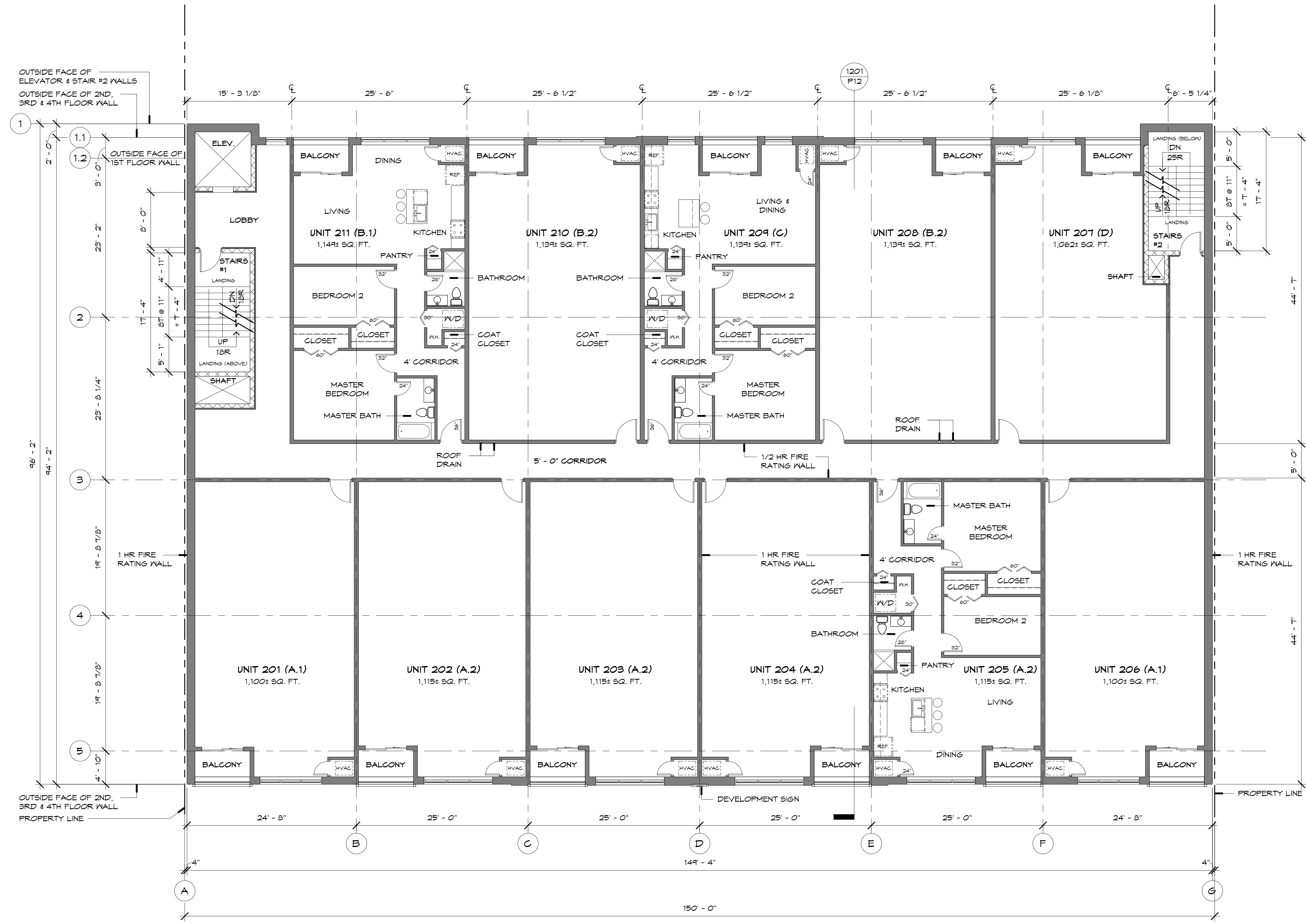
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NOT FOR CONSTRUCTION
PROPOSED BASEMENT & 1ST FLOOR PLANS
Project No. 52029
Sheet No. P3
Date Printed:

T:\Projects\52029 Farmington Village Plaza - Grand River (Farmington)\Preliminary\52029_5th Flr.rvt



GRAND RIVER AVENUE (66' WIDE)

PROPOSED 2ND FLOOR PLAN
 (14,104± SQ. FT.)

SCALE: 1/8" = 1'-0"



THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature

 Date: 08 JUN 2026

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NOT FOR CONSTRUCTION

PROPOSED 2ND FLOOR PLAN

Project No. 52029
 Sheet No. P4
 Date Printed:

8/7/2026 8:51:15 PM T:\Projects\25029 Farmington Village Phase - Grand River Farmington\01 Preliminary\25029_5th Flr.rvt



THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED 3RD FLOOR PLAN

Project No. 52029
 Sheet No. P5
 Date Printed:

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THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature

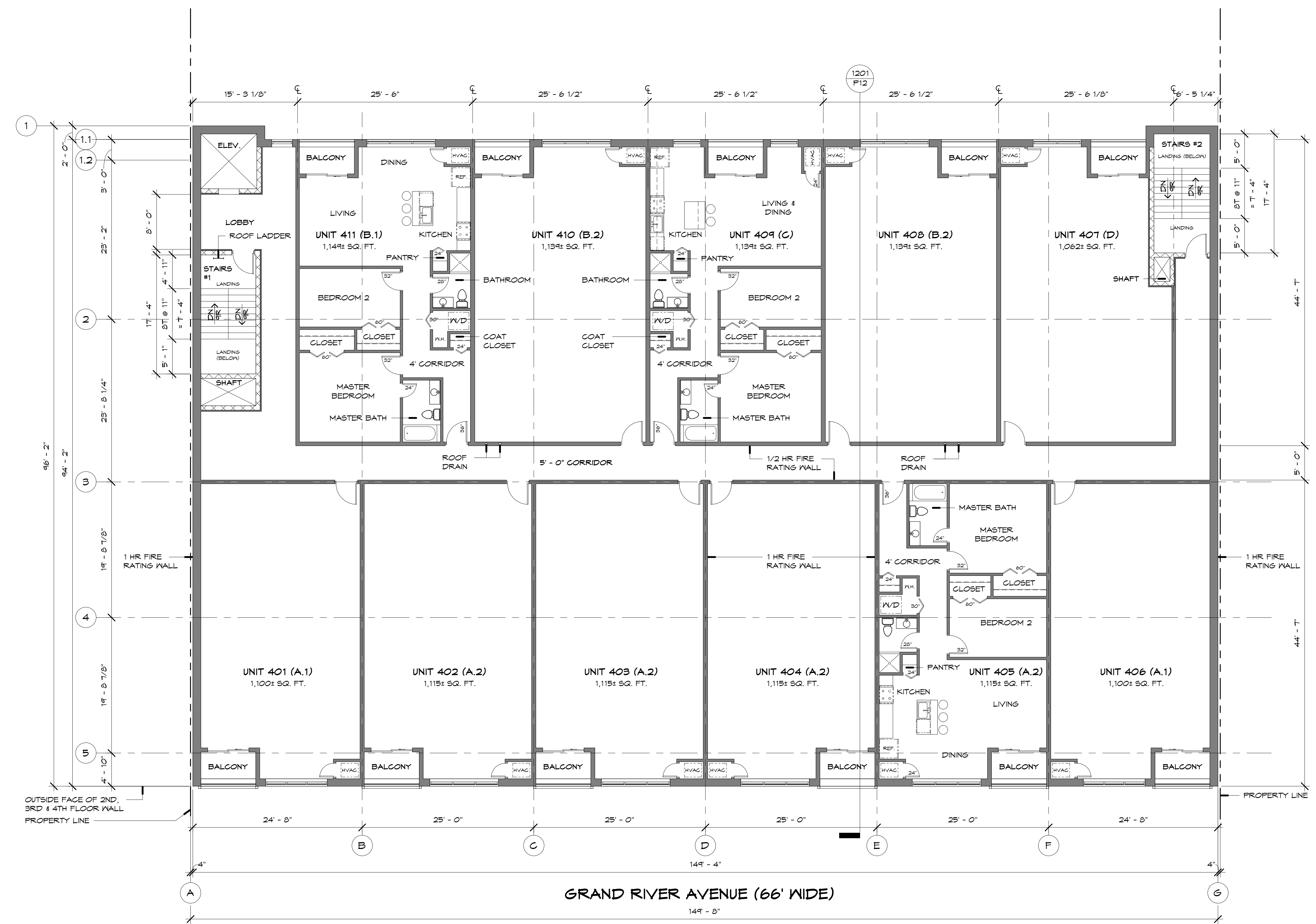
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Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED 4TH FLOOR PLAN

Project No. 52029
 Sheet No. P6
 Date Printed:



PROPOSED 4TH FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 (14,104± SQ. FT.)



8/7/2026 2:36:53 PM T:\Projects\25029 Farmington Village Phase - Grand River Farmington\4th Floor\4th Floor.dwg

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 NOTE: THIS DRAWING AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT AND NO ALTERATIONS OR TRANSMISSIONS OF WORK ARE PERMITTED UNLESS WRITTEN APPROVAL IS GRANTED BY TISEO ARCHITECTS, INC. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.
 NOTE: DO NOT SCALE PRINTS. USE ONLY FIGURED DIMENSIONS.

TISEO Architects, Inc.
 19815 Farmington Road
 Livonia, Michigan
 48152-1444
 248.888.1300
 www.tiseo.com

THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

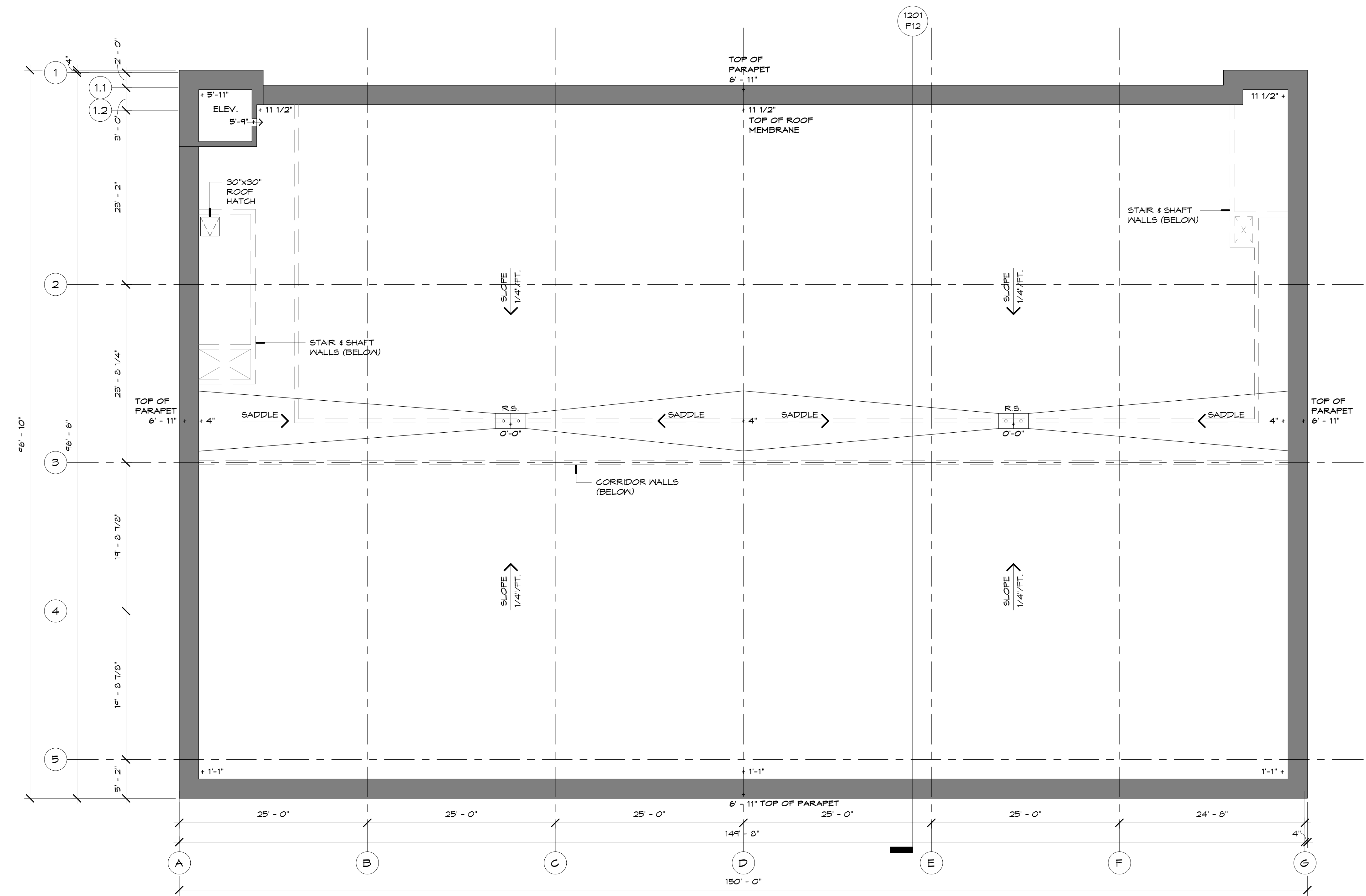
Issued for:	Date:
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SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED ROOF PLAN

Project No. **25029** Sheet No. **P7**

Date Printed:



PROPOSED ROOF PLAN CALLED NORTH
 SCALE: 1/8" = 1'-0" (14,270± SQ. FT.)

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THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

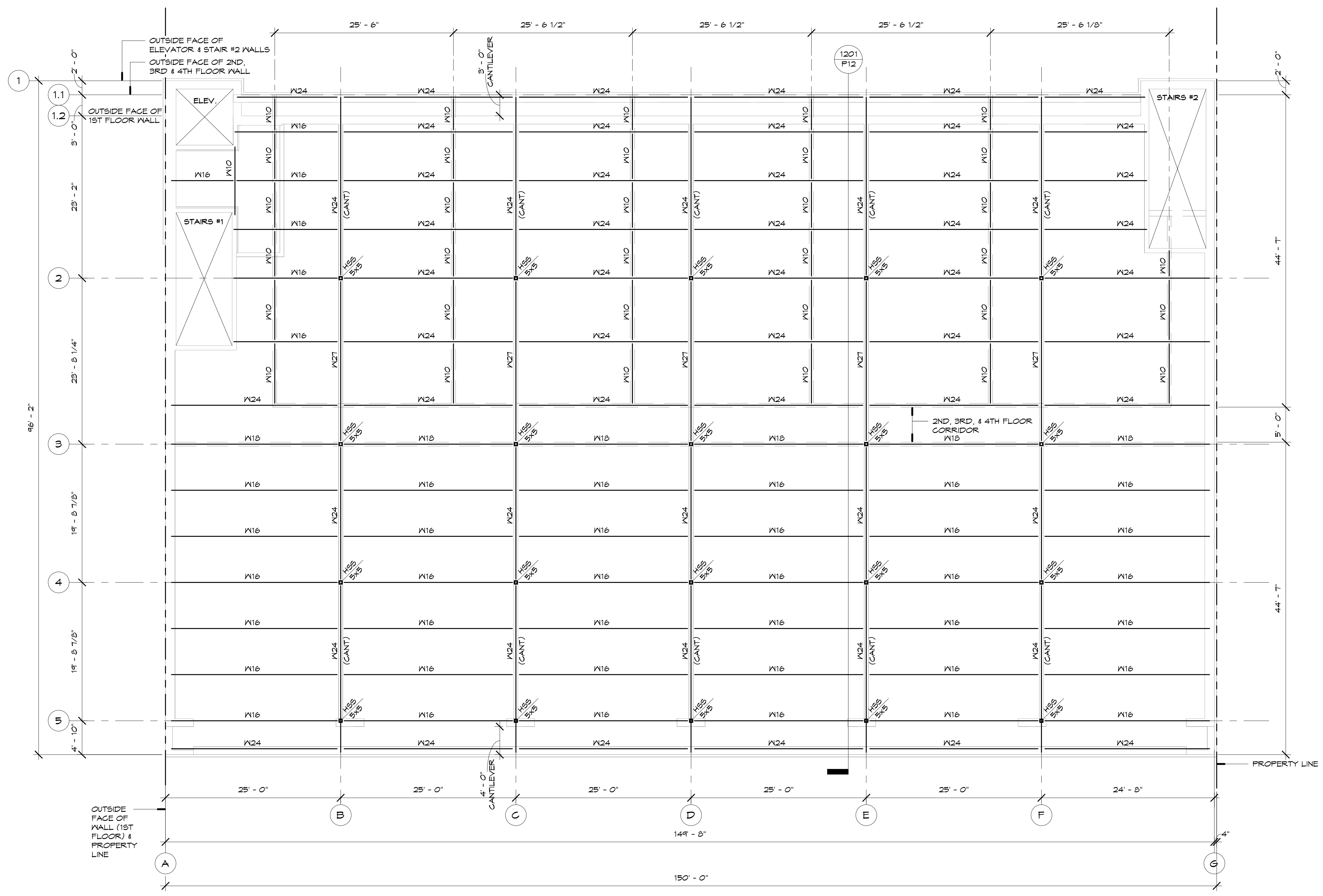
Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



Date: 08 JUN 2026

Issued for:	Date:
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ZBA	08 JUN 2026



PROPOSED 2ND FLOOR FRAMING PLAN
 SCALE: 1/8" = 1'-0"
 (13,153± SQ. FT.)



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THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



B. Tiseo

Date: 08 JUN 2026

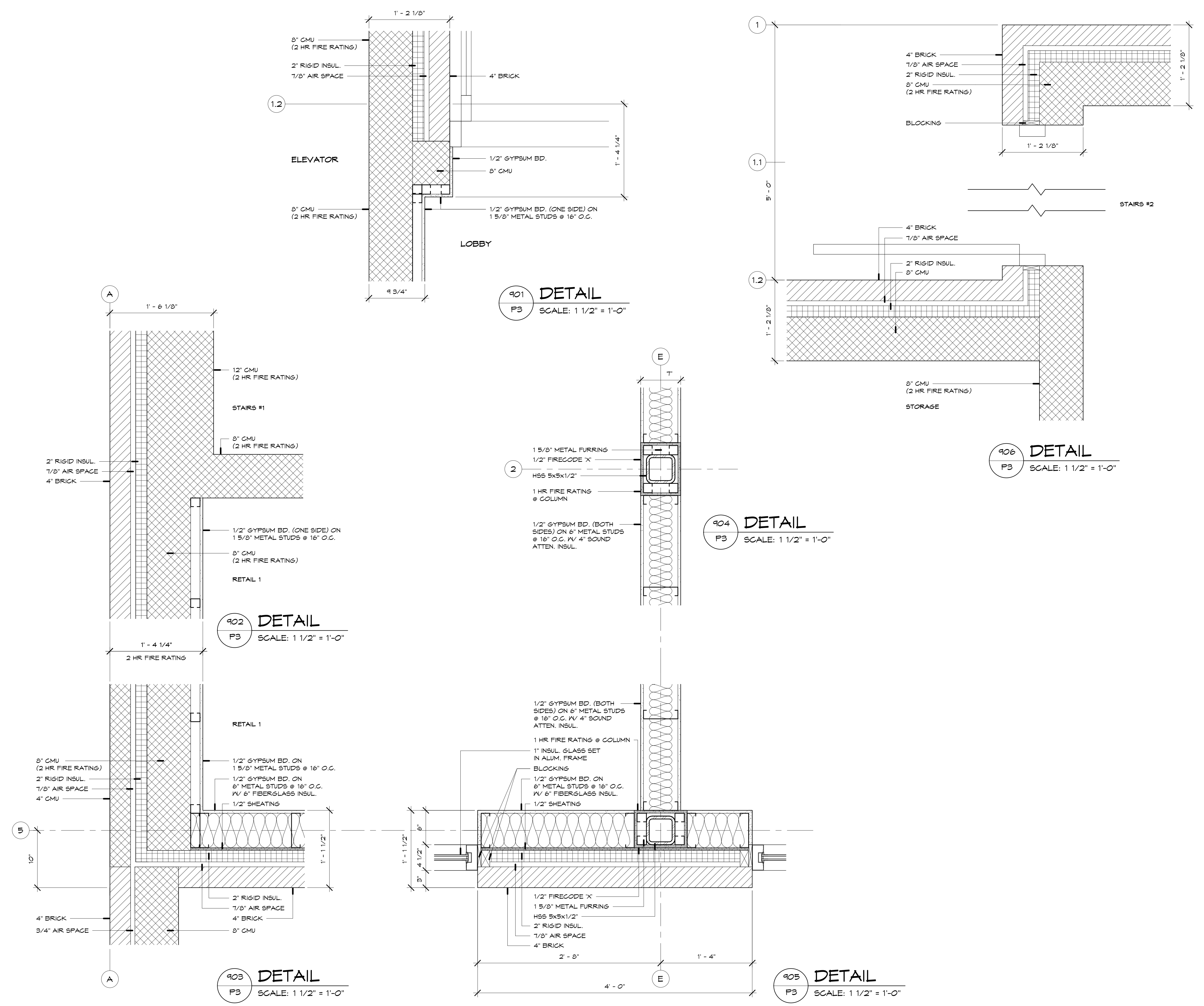
Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED PLAN DETAILS

Project No. **25029** Sheet No. **P9**

Date Printed:



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THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

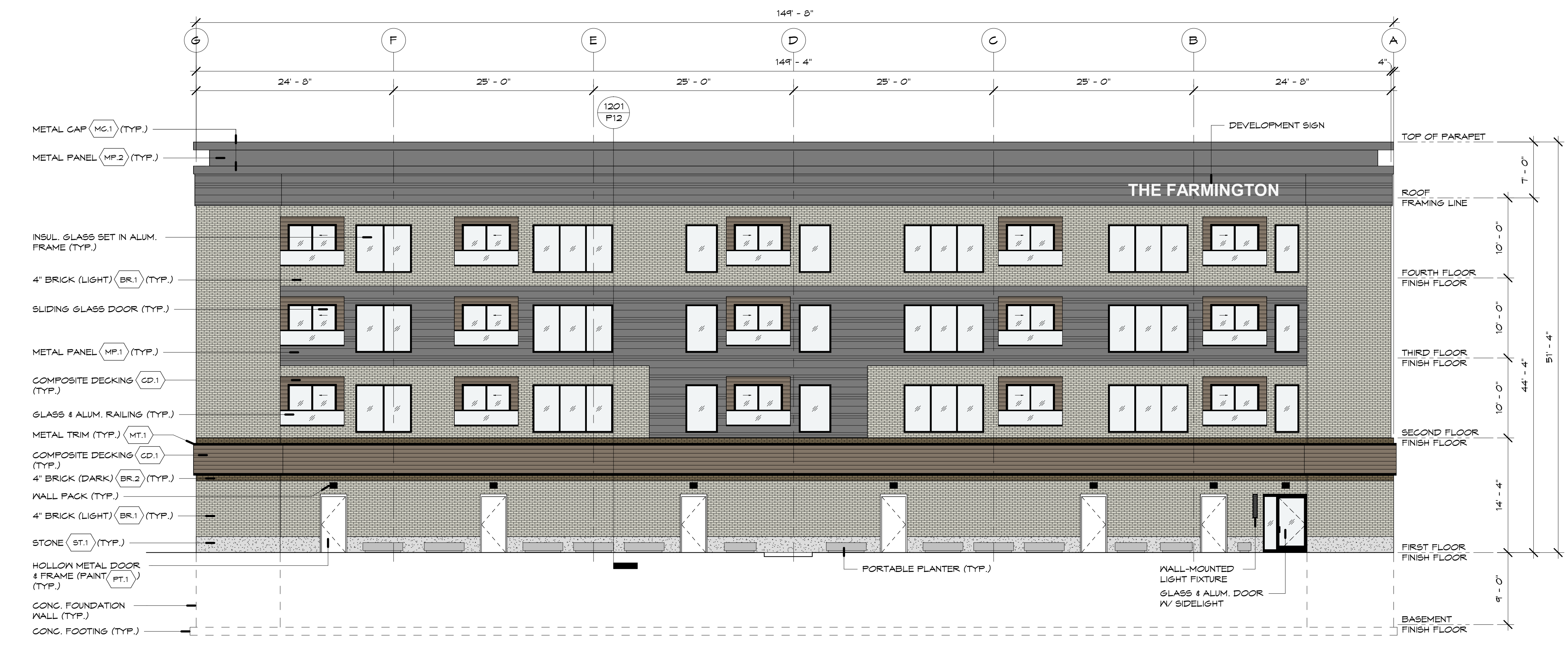
Seal / Signature



Date: 08 JUN 2026

Issued for:	Date:
SITE PLAN REVIEW	20 APR 2026
REVISIONS	28 APR 2026
REVISIONS	11 MAY 2026
SITE PLAN APPROVAL	14 MAY 2026
REVISIONS	28 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION
PROPOSED NORTH & SOUTH ELEVATIONS
 Project No. 52029 Sheet No. P10
 Date Printed:



PROPOSED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

NORTH ELEVATION MATERIAL TAKE-OFFS (7,669 SQ. FT.)

BRICK & STONE	3,189 SQ. FT.	42%
METAL PANEL & TRIM	2,026 SQ. FT.	27%
COMPOSITE DECKING	601 SQ. FT.	8%
WINDOWS & OPENINGS	1,743 SQ. FT.	23%

BLDG TOTALS (4 ELEVATIONS - 24,326 SQ. FT.)

BRICK & STONE	10,741 SQ. FT.	44%
METAL PANEL & TRIM	7,017 SQ. FT.	29%
COMPOSITE DECKING	1,723 SQ. FT.	7%
WINDOWS & OPENINGS	4,845 SQ. FT.	20%

SOUTH ELEVATION MATERIAL TAKE-OFFS (7,746 SQ. FT.)

BRICK & STONE	1,962 SQ. FT.	26%
METAL PANEL & TRIM	2,115 SQ. FT.	27%
COMPOSITE DECKING	641 SQ. FT.	8%
WINDOWS & OPENINGS	3,028 SQ. FT.	39%

WINDOW AREA - SOUTH ELEVATION

FIRST FLOOR (Measured Between 2' & 8' Above Grade)	12%
Total Area:	898 SQ. FT.
Window Area:	649 SQ. FT.
UPPER FLOORS	34%
Total Area:	5,624 SQ. FT.
Window Area:	1,932 SQ. FT.



PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

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THE FARMINGTON
 33224 Grand River Ave
 Farmington, Michigan

Drawn by: Kimberly Lapinski
 Checked by: Benedetto Tiseo

Seal / Signature



B. Tiseo

Date: 08 JUN 2026

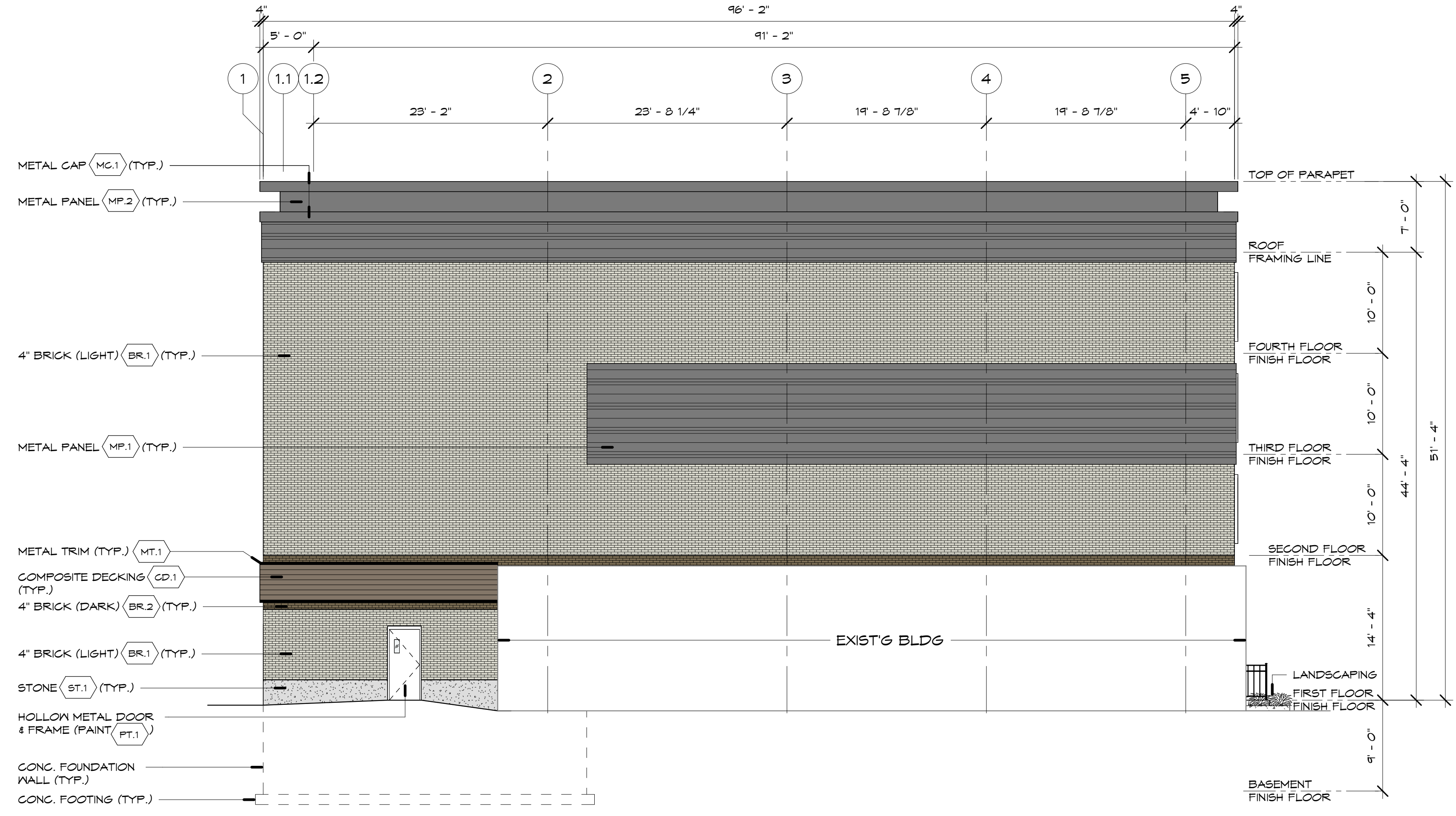
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REVISIONS	28 MAY 2026
ZBA	08 JUN 2026

NOT FOR CONSTRUCTION

PROPOSED EAST & WEST ELEVATIONS

Project No. **25029** Sheet No. **P11**

Date Printed:



**WEST ELEVATION MATERIAL TAKE-OFFS
 (3,974 SQ. FT.)**

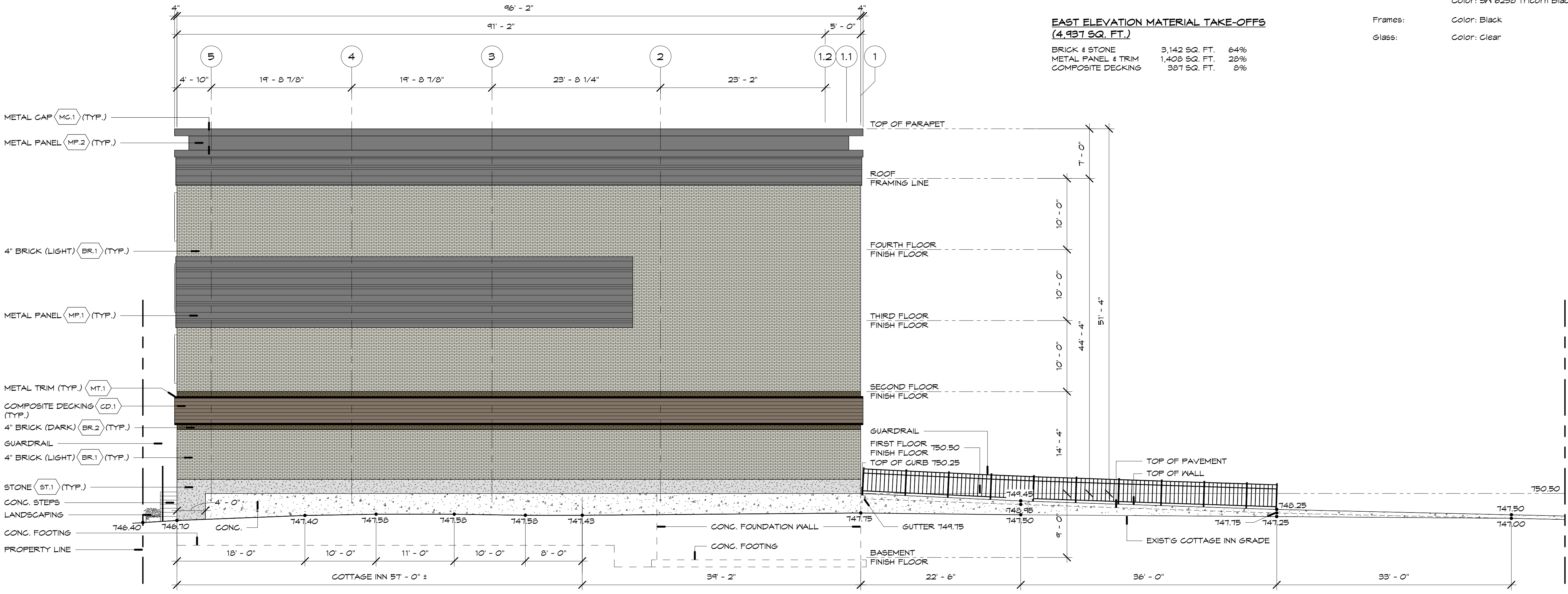
BRICK & STONE	2,448 SQ. FT.	62%
METAL PANEL & TRIM	1,408 SQ. FT.	35%
COMPOSITE DECKING	94 SQ. FT.	2%
WINDOWS & OPENINGS	24 SQ. FT.	1%

COLOR/FINISH SCHEDULE

BR.1	DIV 4	Brick (Light):	"Belden Brick" Color: Sea Gray Smooth 24-23, Size: Modular Mortar Color: Gray
BR.2	DIV 4	Brick (Dark):	"Belden Brick" Color: Brazilwood Smooth, Size: Modular Mortar Color: Gray
ST.1	DIV 4	Stone:	"RockCast" Full Bed Stone Color: Buffstone, Finish: Smooth
CD.1	DIV 6	Composite Decking:	"TimberTech by Azek" Advanced PVC Collection: Vintage, Color: English Walnut
MG.1	DIV 7	Metal Cap:	"Peterson Aluminum" Color: Musket Gray
MP.1	DIV 7	Metal Panel:	"Fac-Clad Peterson" Highline B1 Precision Series Wall Panels Color: Musket Gray
MT.1	DIV 7	Metal Trim:	"Berridge" Kynar 500 Color: Jet Black
MT.2	DIV 7	Metal Trim:	"Berridge" Kynar 500 Color: Shasta White
PT.1	DIV 9	Paint:	"Sherwin Williams" Color: SW 6258 Tricorn Black
Frames:			Color: Black
Glass:			Color: Clear

**EAST ELEVATION MATERIAL TAKE-OFFS
 (4,937 SQ. FT.)**

BRICK & STONE	3,142 SQ. FT.	64%
METAL PANEL & TRIM	1,408 SQ. FT.	28%
COMPOSITE DECKING	387 SQ. FT.	8%



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

Owner / Developer

Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

Architect

Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

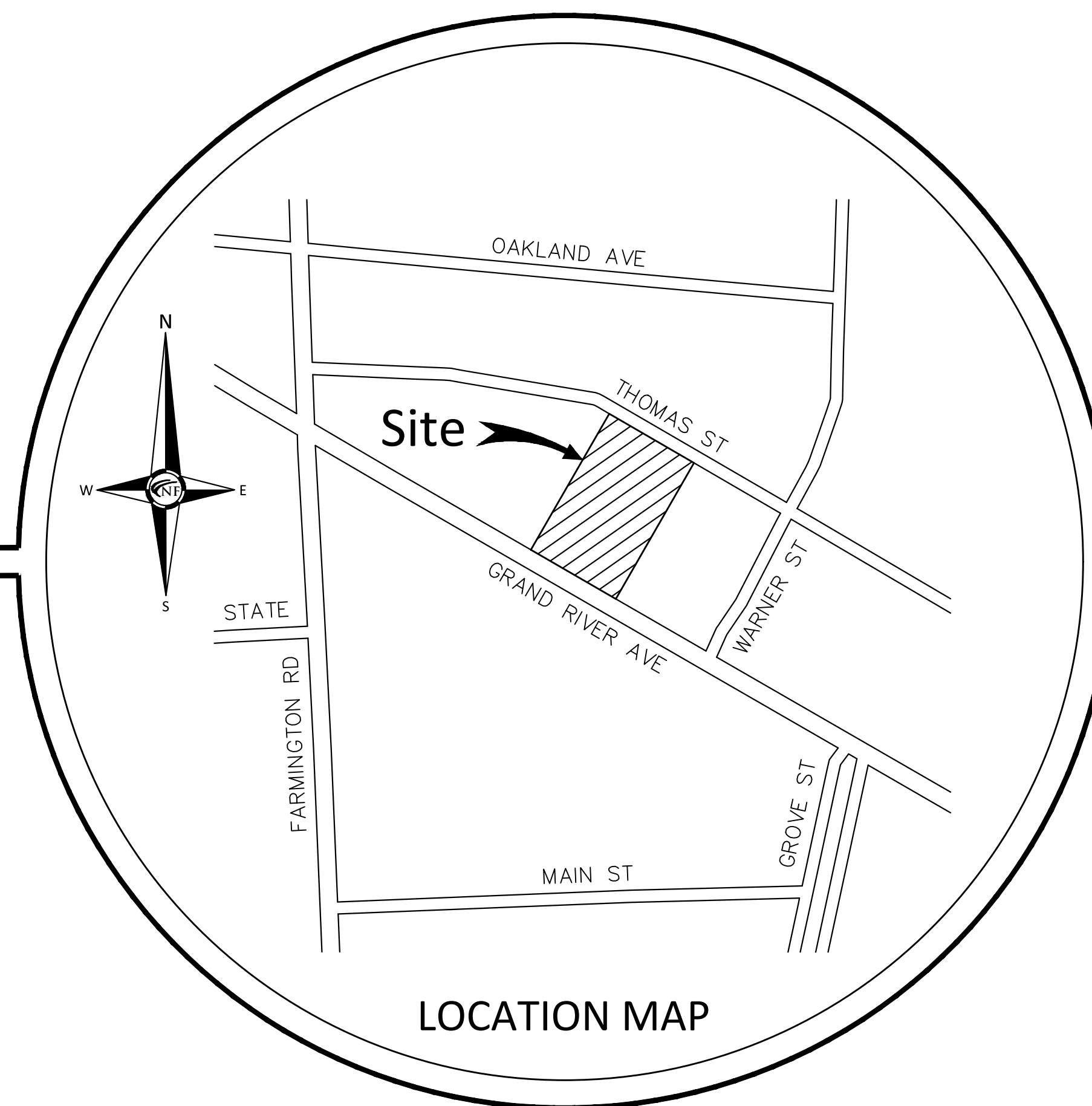
Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

Civil Engineer

Nowak and Fraus Engineers
46777 Woodward Ave.
Pontiac, MI 48342-5032

Contact:
Mr. Allen Eizember, P.E.
Ph: 248-332-7931
Fax: 248-332-8257

City of Farmington,
Oakland County, Michigan
SITE PLAN DOCUMENTS
Prepared For
Tiseo Architects, Inc.



SHEET INDEX

SP0	Cover Sheet
SP1	Boundary - Topographic Survey
SP2	Dimensional Site Plan
SP2.1	Truck Turning Plan
SP3	Paving and Grading Plan
SP4	Contech Detention System Details

LEGAL DESCRIPTION

PER TITLE COMMITMENT -

LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

LOT(S) 5, 6 AND 7, BLOCK 2, OF PLAT OF DAVIS ADDITION TO VILLAGE OF FARMINGTON, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 2 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS.

ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336

TAX ID: 23-27-153-021

CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

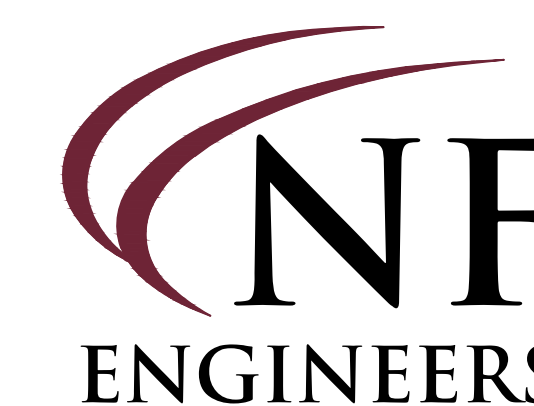
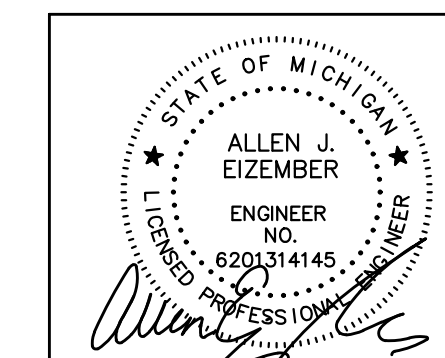
REVISIONS:
04-20-26 ISSUED FOR SITE PLAN REVIEW
04-24-26 REVISED PER CLIENT
05-11-26 REVISED PER CITY MEETING
05-28-26 REVISED PER SITE PLAN REVIEW

Project Name

**Multi-Story
Mixed Use
Development**

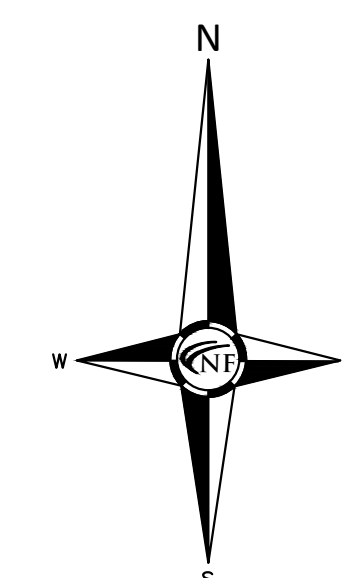


N & F JOB #N780-01



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NFE-ENGR.COM



LEGAL DESCRIPTION - PER TITLE COMMITMENT

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ADDRESS: 33224 GRAND RIVER AVE., FARMINGTON, MI 48336
TAX ID: 23-27-153-021
CONTAINING: 30,000 SQUARE FEET OR 0.689 ACRES

SITE DATA

SITE AREA:
30,000 SQUARE FEET OR 0.689 ACRES
ZONED:
CBD, CENTRAL BUSINESS DISTRICT
TOTAL PARKING SPACES:
35 STRIPPED SPACES INCLUDING 2 BARRIER-FREE (HANDICAP) SPACES
BUILDING SETBACKS:
FRONT: 5 FEET
SIDE: NONE; 10 FEET OF SIDE BUILDING WALL IS NOT FIRE RATED OR CONTAINS WINDOWS.
REAR: 25 FEET

A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF FARMINGTON TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

BASIS OF BEARING NOTE

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED BY THE AFORESAID RECORDED PLAT.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C0653F BEARING AN EFFECTIVE DATE OF 9/29/2006.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER 2026022400755, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON MARCH 16, 2026. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
HYDRANT(HYD)	EXISTING SAN. CLEAN OUT
MANHOLE(MH)	EXISTING WATER MAIN
MANHOLE(MH)	EXISTING STORM SEWER
CBB	EX. BEEHIVE CATCH BASIN
EX. UNDERGROUND (UG.) CABLE	
UTILITY POLE	OVERHEAD (OH.) LINES
UP	GUYP WIRE
LP	LIGHT POLE
↑	SIGN
↑	EXISTING GAS MAIN
ASPH.	ASPHALT
CONC.	CONCRETE
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
SPK	SET PK NAIL
(TYP)	TYPICAL
(R)	RECORD
(M)	MEASURED
C/L	CENTERLINE
P/L	PROPERTY LINE
GM	GAS METER
EM	ELECTRIC METER
LS	LANDSCAPE
DS	DOWNSPOUT
GP	GUARD POST
12" T.	12" TREE

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

SEAL



PROJECT
Multi-Story
Mixed Use Development
33224 Grand River Ave.
Farmington, MI 48336

CLIENT
Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

PROJECT LOCATION
Part of the NW, 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Boundary - Topographic
Survey



Know what's below
Call before you dig.

DATE	ISSUED/REVISED
04-20-26	ISSUED FOR SITE PLAN REVIEW
04-24-26	REVISED PER CLIENT
05-11-26	REVISED PER CITY MEETING
05-28-26	REVISED PER SITE PLAN REVIEW

DRAWN BY:
M. Carnaghi

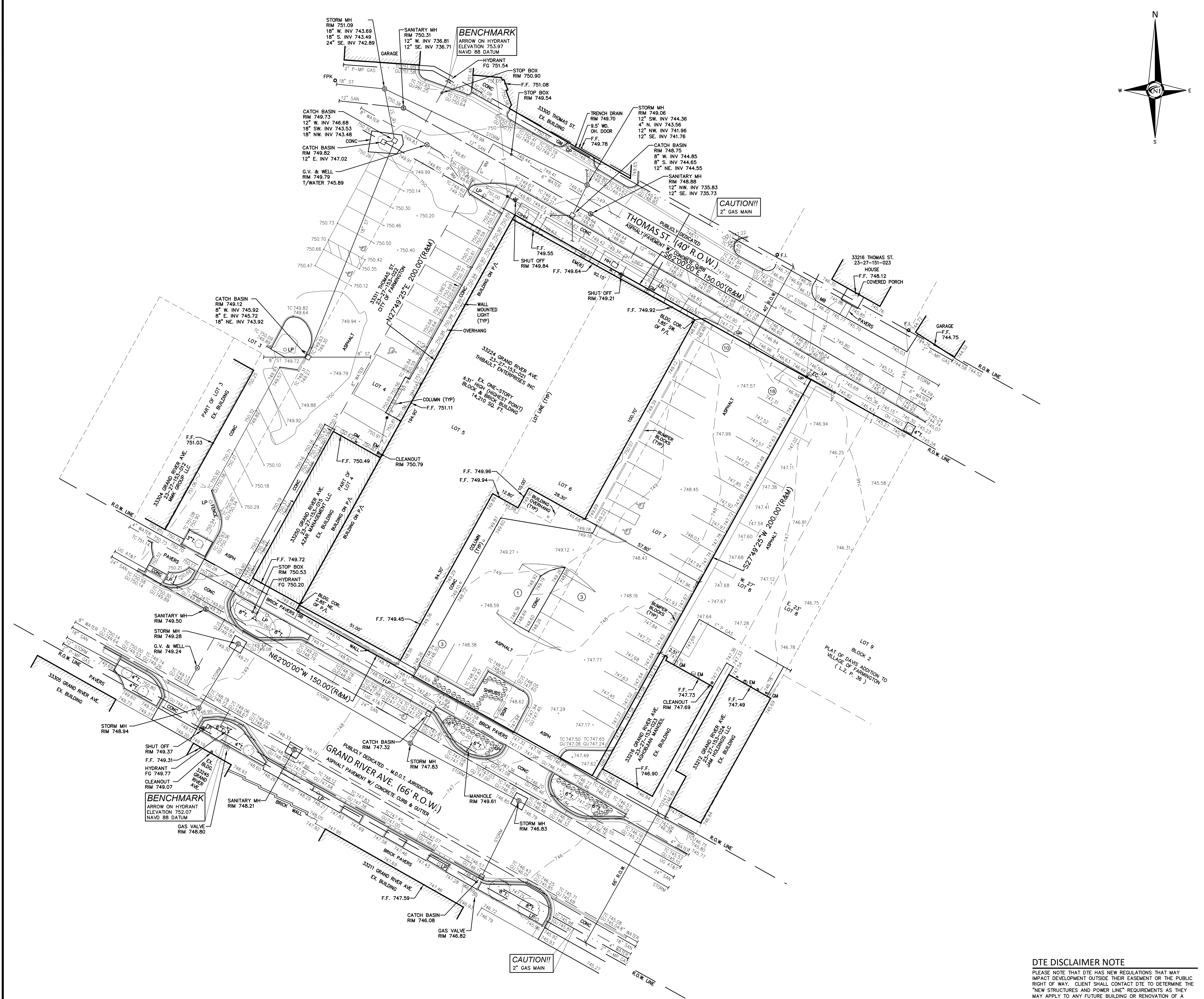
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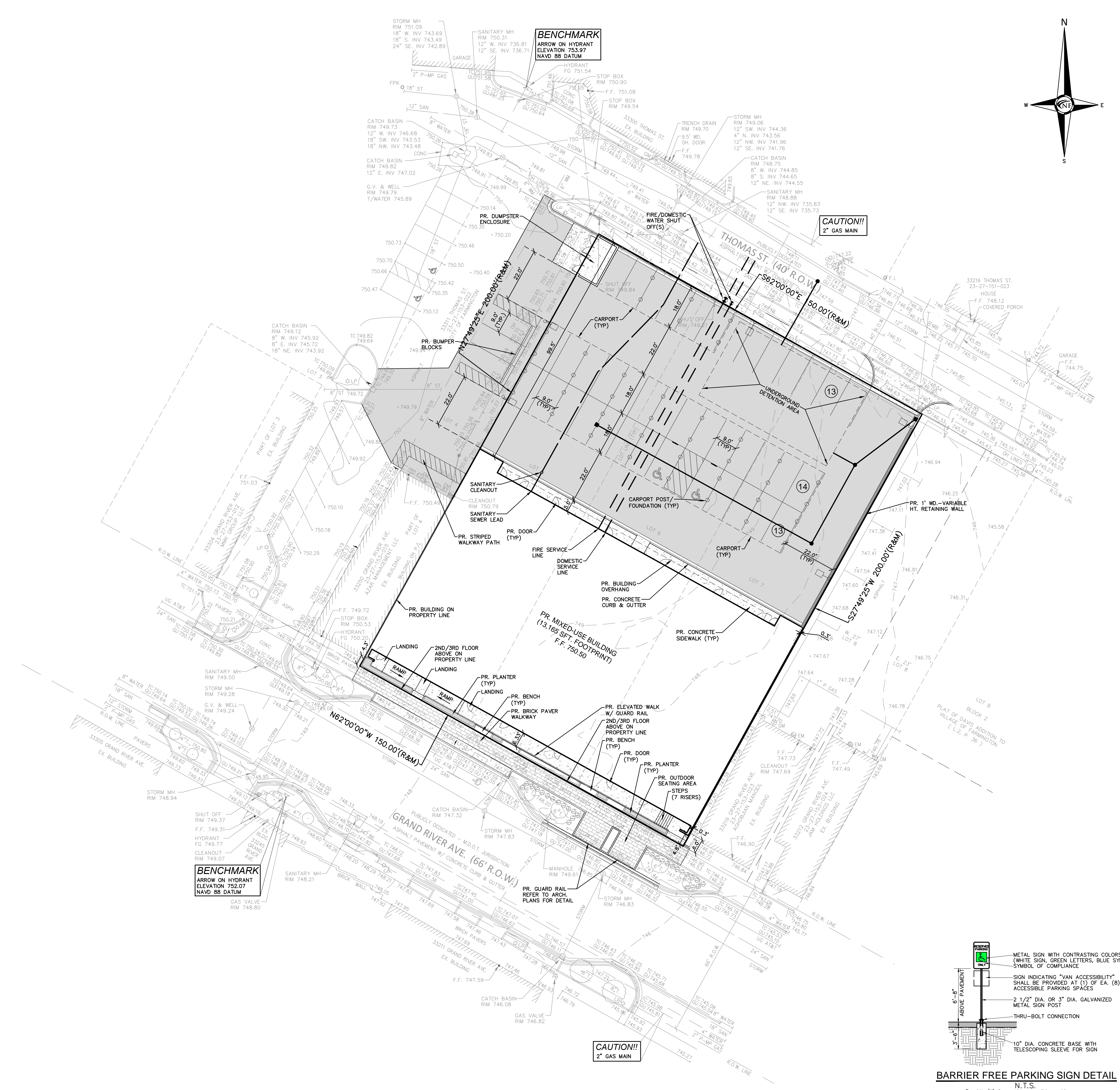
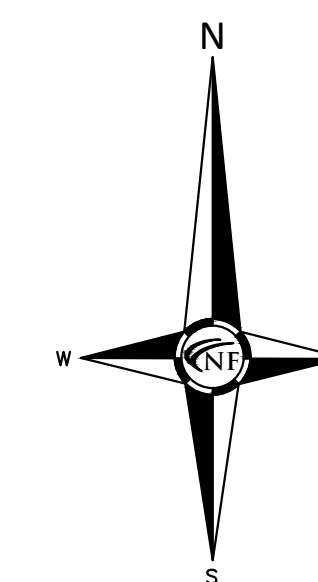
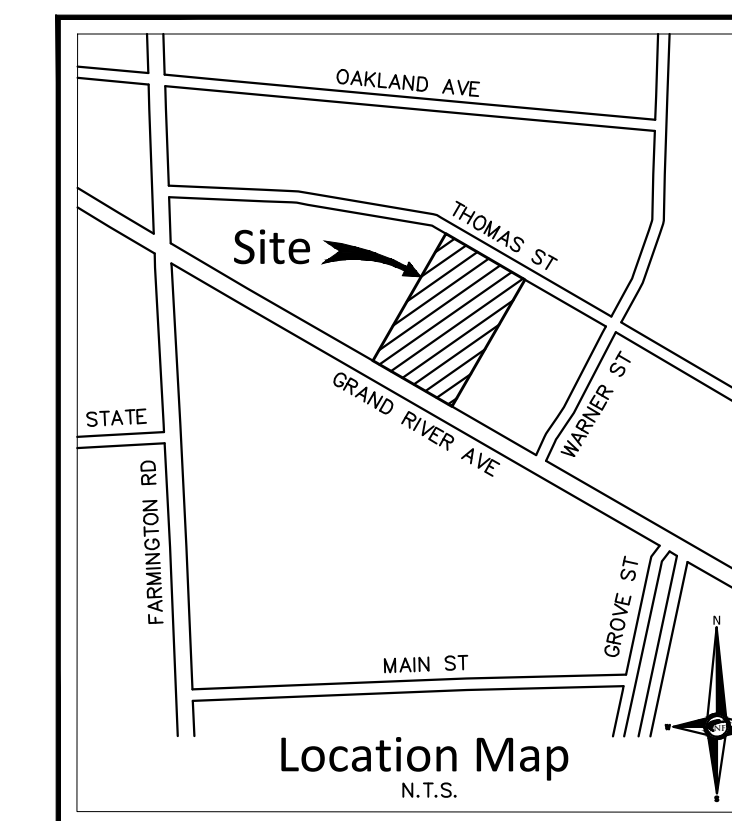
APPROVED BY:
K. Navaroli

DATE:
March 16, 2026

SCALE: 1" = 20'

NFE JOB NO. 781-01 **SHEET NO.** SP1





NOTE

ALL DRIVE ISLES ARE A MINIMUM OF 22' WIDE.

SANITARY NOTE

THE DEVELOPER SHALL TELEWISE THE SANITARY SEWER DOWNSTREAM OF EXISTING CONNECTION, ALONG WITH DOWNSTREAM OF THE PROPOSED CONNECTION AS WELL.

UTILITY NOTE

CONTRACTOR TO EXPOSE FIBER/ ELECTRIC/ TELEPHONE CONDUIT PRIOR TO COMMENCING CONSTRUCTION. UTILITY OWNER TO BE PRESENT. CONTRACTOR SHALL NOTIFY CIVIL ENGINEER OR RECORD FOLLOWING EXPOSURE TO COORDINATE.

SITE DATA

SITE AREA:	128,908.20 SFT OR 2.959 ACRES
PARKING PROVIDED:	40 SPACES
	33 TENANT SPACES (1 PER UNIT)
	7 RETAIL SPACES

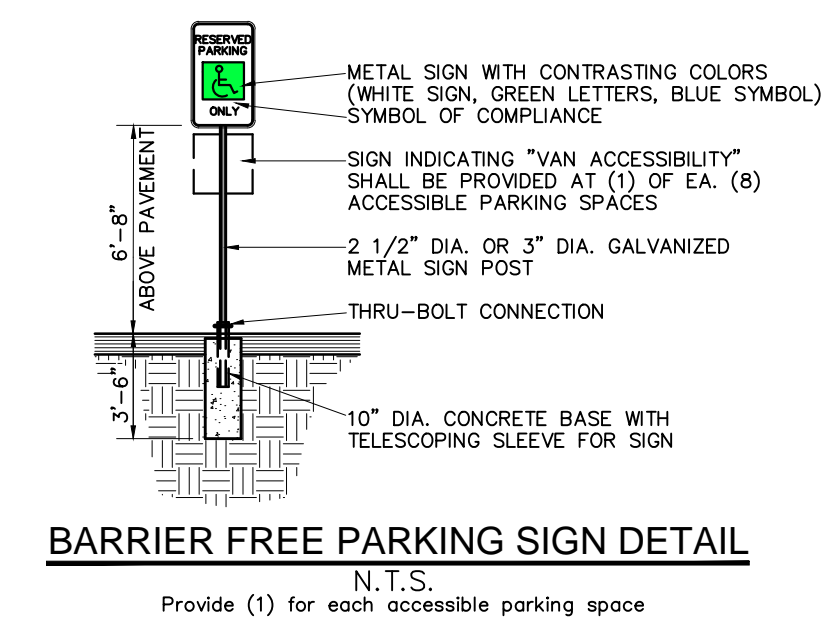
BUILDING SETBACKS (CENTRAL BUSINESS DISTRICT):	
REQUIRED	PROVIDED
FRONT (NE):	0 FT. 99.1'
FRONT (SW):	0-3 FT. 0.0'
SIDE (NW):	0 FT. 0.0'
SIDE (SE):	0 FT. 0.3'

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

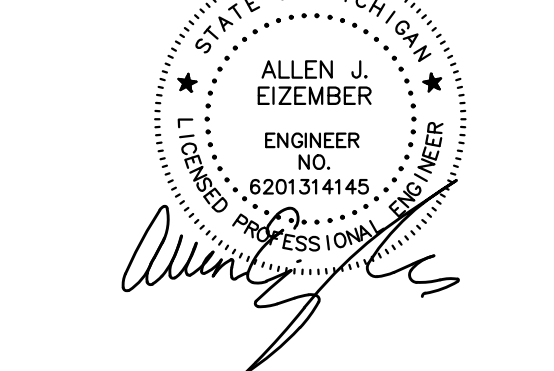
LEGEND

	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE



BARRIER FREE PARKING SIGN DETAIL
N.T.S.
Provide (1) for each accessible parking space

SEAL



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Multi-Story
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Farmington, MI 48336

CLIENT
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Contact:
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Fax: 248-888-1313

PROJECT LOCATION
Part of the NW, 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Dimensional Site Plan



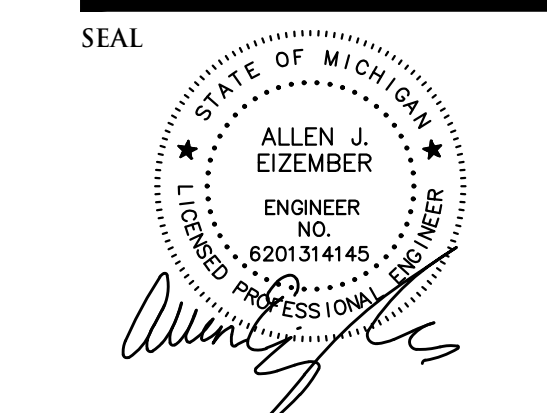
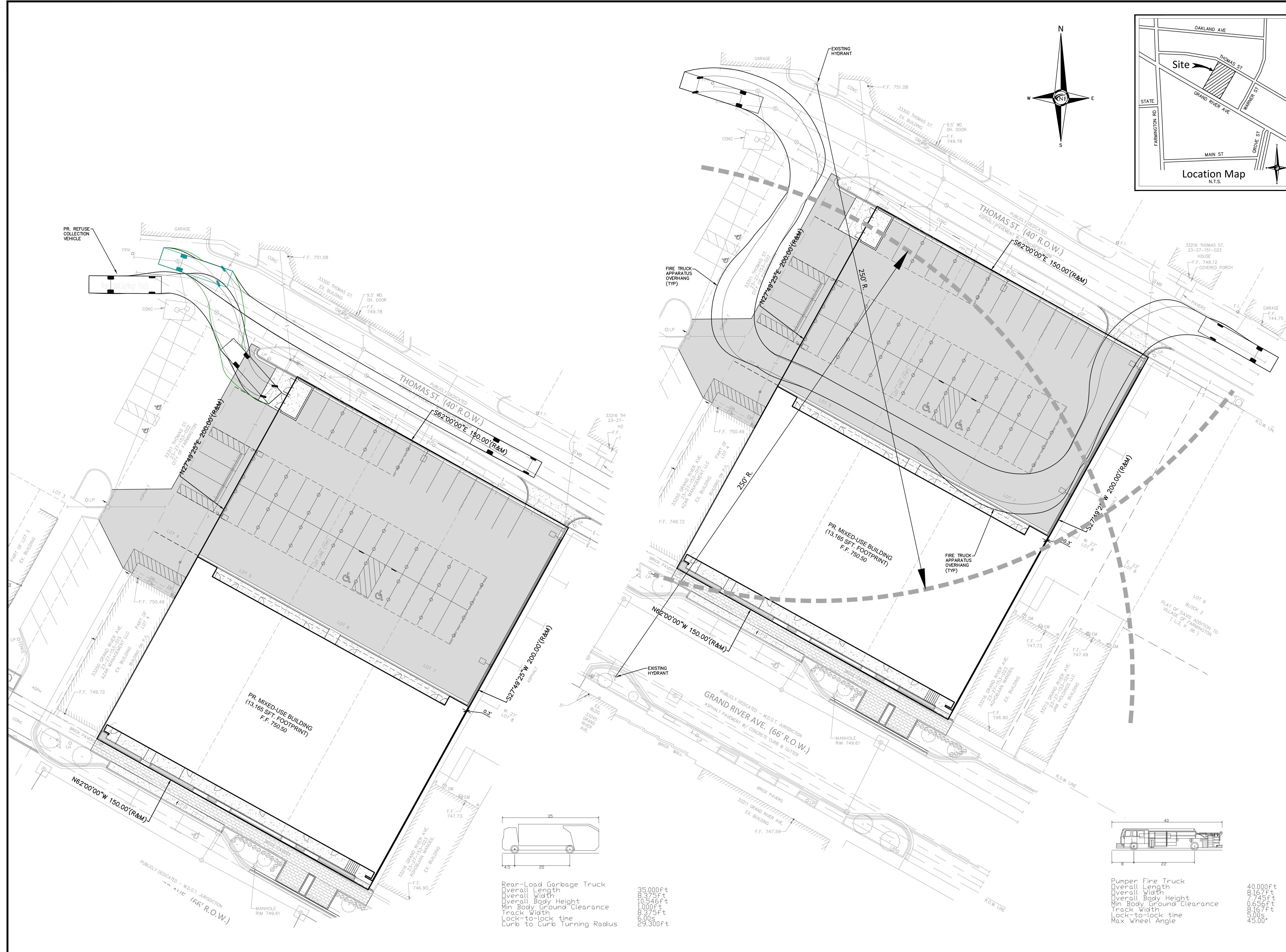
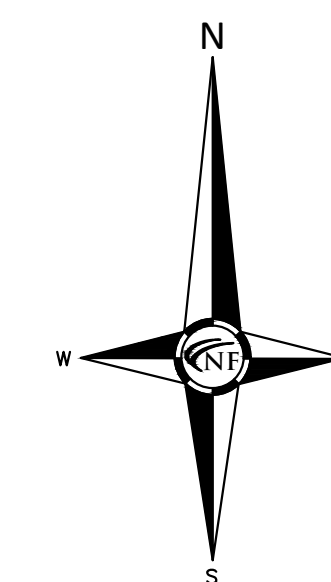
DATE	ISSUED/REVISED
04-20-26	ISSUED FOR SITE PLAN REVIEW
04-24-26	REVISED PER CLIENT
05-11-26	REVISED PER CITY MEETING
05-28-26	REVISED PER SITE PLAN REVIEW

DRAWN BY:
R. Johnson
DESIGNED BY:
A. Eizember
APPROVED BY:
A. Eizember

DATE:
March 16, 2026

SCALE: 1" = 20'
20 10 0 10 20 30

NFE JOB NO. 781-01 **SHEET NO.** SP2



PROJECT
Multi-Story
Mixed Use Development
33224 Grand River Ave.
Farmington, MI 48336

CLIENT
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19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

PROJECT LOCATION
Part of the NW, 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Truck Turning Plan



Know what's below
Call before you dig.

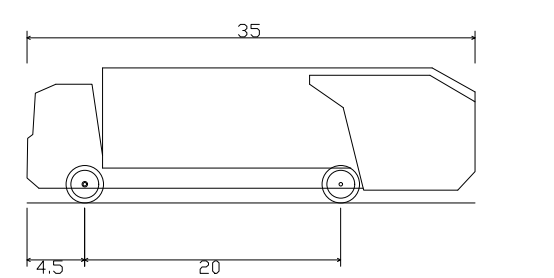
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05-28-26	REVISED PER SITE PLAN REVIEW

DRAWN BY:
R. Johnson
DESIGNED BY:
A. Eizember
APPROVED BY:
A. Eizember

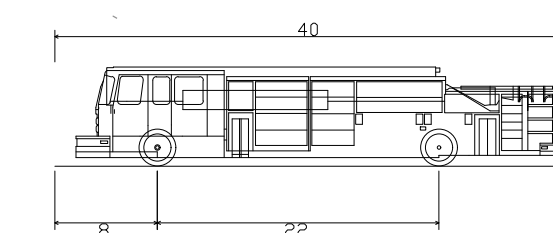
DATE:
March 16, 2026

SCALE: 1" = 20'

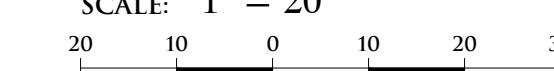
NFE JOB NO. SHEET NO.
N781-01 SP2.1



Rear-Load Garbage Truck
Overall Length 35.000ft
Overall Width 8.375ft
Overall Body Height 10.546ft
Min Body Ground Clearance 1.000ft
Track Width 9.375ft
Lock-to-lock time 9.00s
Curb to Curb Turning Radius 29.300ft



Pumper Fire Truck
Overall Length 40.000ft
Overall Width 8.167ft
Overall Body Height 10.546ft
Min Body Ground Clearance 0.556ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°



GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT HMA 4E ML (TIER I OR II); SURFACE COURSE - MDOT HMA 5E ML (TIER I OR II); BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

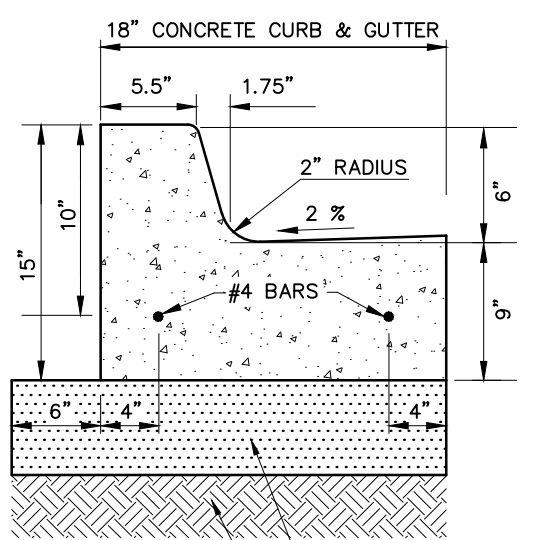
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

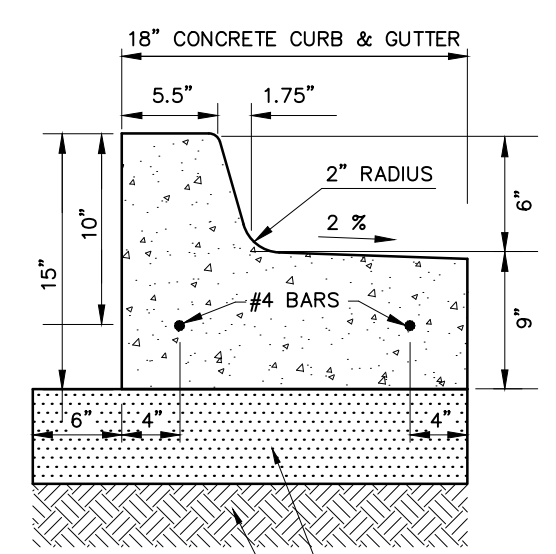
SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

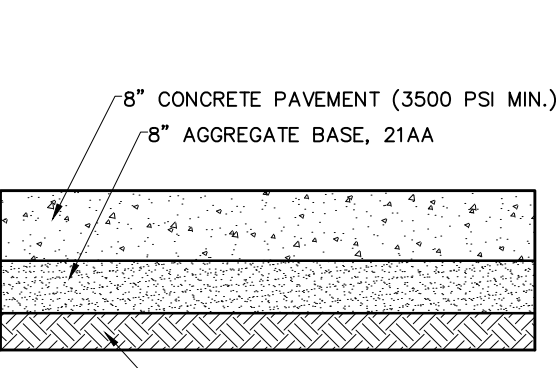
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



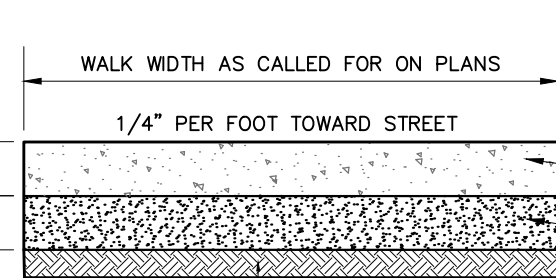
CONCRETE CURB DETAIL 'A'
N.T.S.



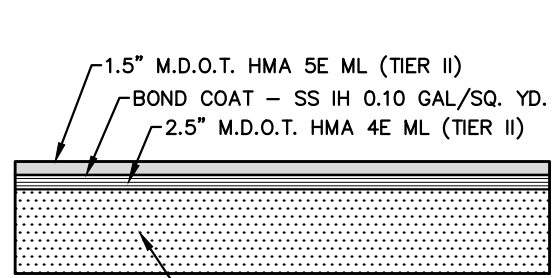
CONCRETE CURB DETAIL 'B'
N.T.S.



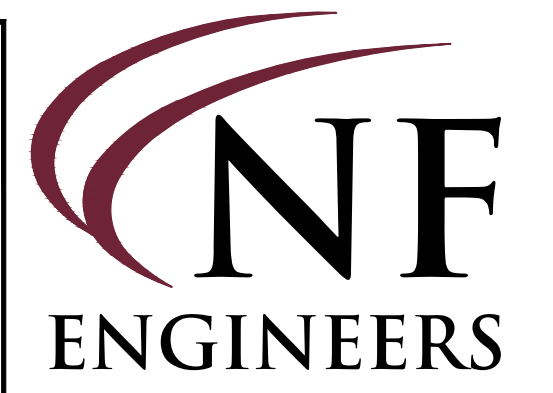
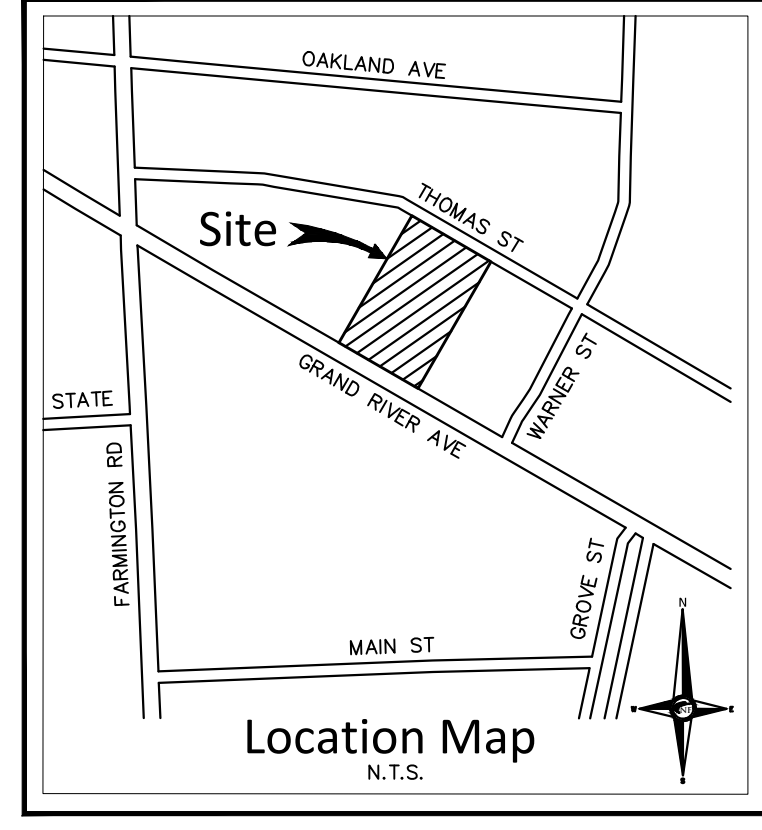
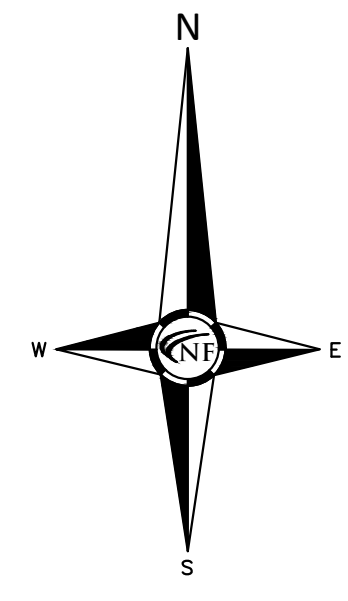
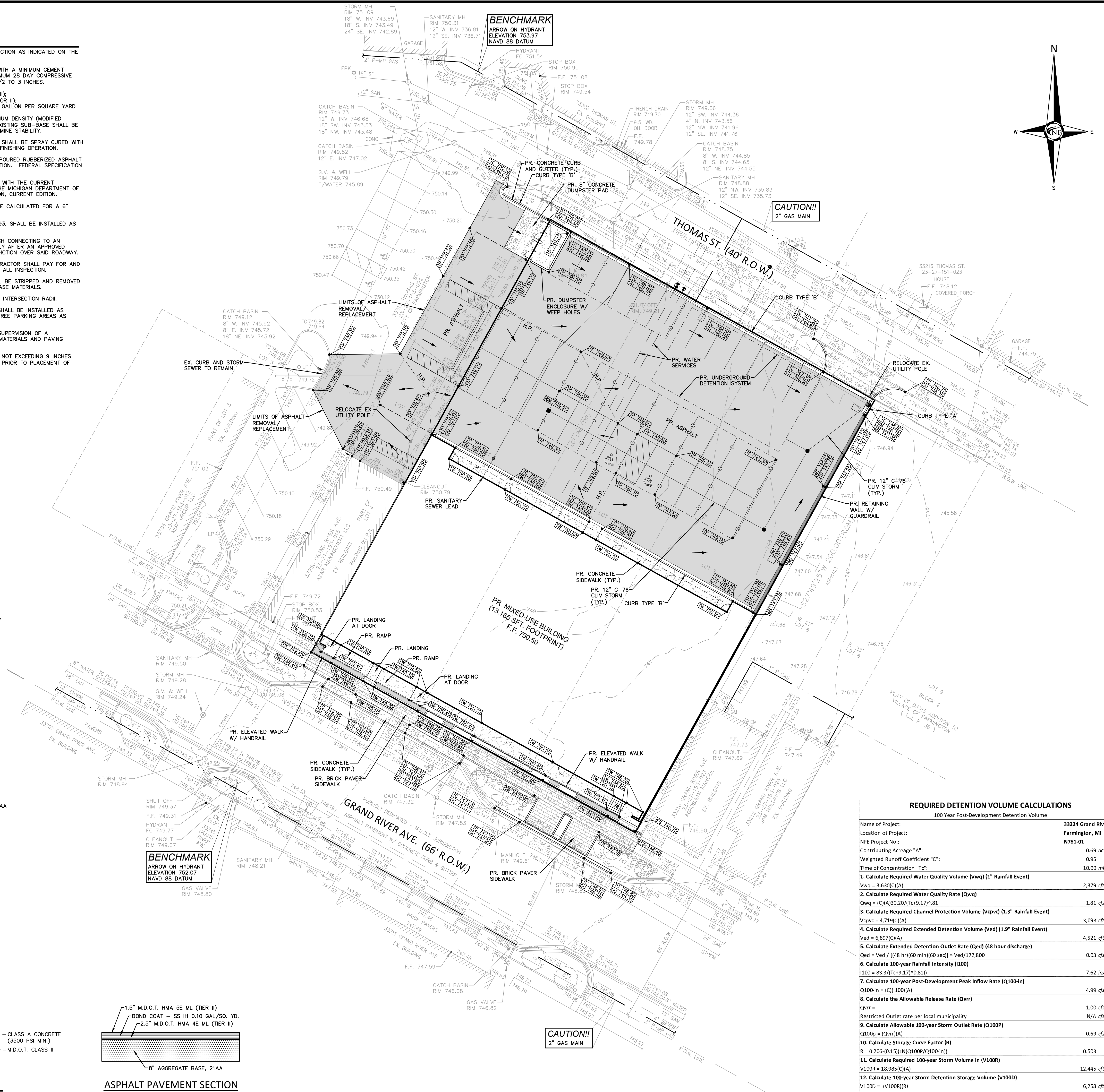
CONCRETE PAVEMENT SECTION
N.T.S.



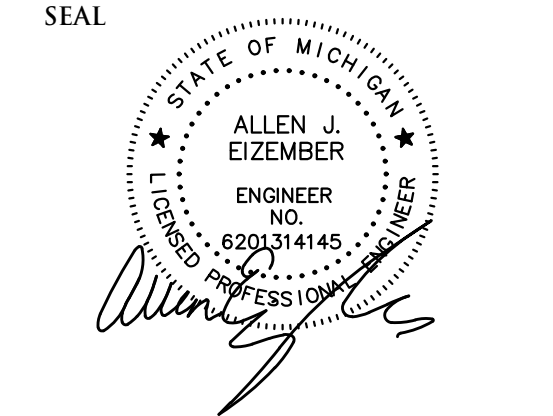
CONCRETE SIDEWALK SECTION
N.T.S.



ASPHALT PAVEMENT SECTION (DRIVE AND PARKING)



NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS
NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NFE-ENGR.COM



PROJECT
Multi-Story
Mixed Use Development
33224 Grand River Ave.
Farmington, MI 48336

CLIENT
Tiseo Architects, Inc.
19815 Farmington Rd.
Livonia, MI 48152

Contact:
Mr. Ben Tiseo
Ph: 248-888-1300
Fax: 248-888-1313

PROJECT LOCATION
Part of the NW 1/4
of Section 27,
T. 1 N., R. 9 E.,
City of Farmington,
Oakland County, Michigan

SHEET
Paving and Grading Plan



DATE ISSUED/REVISED
04-20-26 ISSUED FOR SITE PLAN REVIEW
04-24-26 REVISED PER CLIENT
05-11-26 REVISED PER CITY MEETING
05-28-26 REVISED PER SITE PLAN REVIEW

DRAWN BY:
R. Johnson
DESIGNED BY:
A. Eizember
APPROVED BY:
A. Eizember

DATE:
March 16, 2026
SCALE: 1" = 20'
20 10 0 10 20 30
NFE JOB NO. SHEET NO.
N781-01 SP3

REQUIRED DETENTION VOLUME CALCULATIONS
100 Year Post-Development Detention Volume

Name of Project:	33224 Grand River Farmington, MI
Location of Project:	N781-01
NFE Project No.:	
Contributing Area "A":	0.69 ac
Weighted Runoff Coefficient "C":	0.95
Time of Concentration "Tc":	10.00 min
1. Calculate Required Water Quality Volume (Vwq) (1" Rainfall Event)	
Vwq = 3.630(C)A	2,379 cft
2. Calculate Required Water Quality Rate (Qwq)	
Qwq = (C)A(30.20)/(Tc+9.17)*81	1.81 cfs
3. Calculate Required Channel Protection Volume (Vcpv) (1.3" Rainfall Event)	
Vcpv = 4.719(C)A	3,093 cft
4. Calculate Required Extended Detention Volume (Ved) (1.9" Rainfall Event)	
Ved = 6.897(C)A	4,521 cft
5. Calculate Extended Detention Outlet Rate (Qed) (48 hour discharge)	
Qed = Ved / [(48 hr)(60 min)(60 sec)] = Ved/172,800	0.03 cfs
6. Calculate 100-year Rainfall Intensity (I100)	
I100 = 83.3/(Tc+9.17)^0.811	7.62 in/hr
7. Calculate 100-year Post-Development Peak Inflow Rate (Q100-in)	
Q100-in = (C)(I100)A	4.99 cfs
8. Calculate the Allowable Release Rate (Qvrr)	
Qvrr = Restricted Outlet rate per local municipality	1.00 cfs/ac
Qvrr = N/A cfs/ac	N/A cfs/ac
9. Calculate Allowable 100-year Storm Outlet Rate (Q100P)	
Q100P = (Qvrr)A	0.69 cfs
10. Calculate Storage Curve Factor (R)	
R = 0.206-(0.15)ln[(Q100P/Q100-in)]	0.503
11. Calculate Required 100-year Storm Volume In (V100R)	
V100R = 18.985(C)A	12,445 cft
12. Calculate 100-year Storm Detention Storage Volume (V100D)	
V100D = (V100R)R	6,258 cft
Vcpv(credit)	0 cft
TOTAL DETENTION VOLUME REQUIRED:	6,258 cft
TOTAL DETENTION VOLUME PROVIDED:	6,258 cft

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE
	PR. TOP OF CURB ELEVATION
	PR. GUTTER ELEVATION
	PR. TOP OF WALK ELEVATION
	PR. TOP OF P.V.M.T. ELEVATION
	FINISH GRADE ELEVATION
	WALL TOP/BOTTOM ELEVATION

SEAL

PROJECT
 Multi-Story
 Mixed Use Development
 33224 Grand River Ave.
 Farmington, MI 48336

CLIENT
 Tiseo Architects, Inc.
 19815 Farmington Rd.
 Livonia, MI 48152

Contact:
 Mr. Ben Tiseo
 Ph: 248-888-1300
 Fax: 248-888-1313

PROJECT LOCATION
 Part of the NW. 1/4
 of Section 27,
 T. 1 N., R. 9 E.,
 City of Farmington,
 Oakland County, Michigan

SHEET
 Contech Detention
 System Details



DATE ISSUED/REVISED
 04-20-26 ISSUED FOR SITE PLAN REVIEW
 04-24-26 REVISED PER CLIENT
 05-11-26 REVISED PER CITY MEETING
 05-28-26 REVISED PER SITE PLAN REVIEW

DRAWN BY:
 Others
DESIGNED BY:
 A. Eizember
APPROVED BY:
 A. Eizember
DATE:
 March 16, 2026
SCALE: N.T.S.

PROJECT SUMMARY

CALCULATION DETAILS
 •LOADING = HSZS2S
 •APPROX. LINEAR FOOTAGE = 364 LF

STORAGE SUMMARY
 •STORAGE VOLUME REQUIRED = 6,256 CF
 •PIPE STORAGE VOLUME = 4,574 CF
 •BACKFILL STORAGE VOLUME = 1,684 CF
 •TOTAL STORAGE PROVIDED = 6,256 CF
 •STONE VOID = 40%

PIPE DETAILS
 •DIAMETER = 48"
 •CORRUGATION = 2.23x1/2"
 •GAGE = 16
 •COATING = ALT2
 •WALL TYPE = PERFORATED
 •BARREL SPACING = 24"

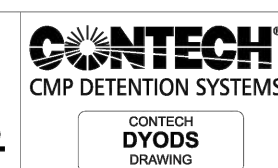
BACKFILL DETAILS
 •WIDTH AT ENDS = 12"
 •ABOVE PIPE = 0"
 •WIDTH AT SIDES = 12"
 •BELOW PIPE = 0"

NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A153.
- ALL RISERS AND STUBS ARE 2 1/2" x 1 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUBS FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN, QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.



ASSEMBLY
 SCALE: 1" = 10'



DYO102471 Tiseo - Farmington
 Detention System
 Farmington, MI
 DETENTION SYSTEM

PROJECT NO.	7800	REV. NO.	02/21	DATE	4/18/2026
DESIGNED BY	DYO	DRAWN BY	DYO	CHECKED BY	DYO
APPROVED BY	DYO	DATE			
SHEET NO.					1

TABLE 1:

DIAMETER, D	MIN. COVER	CORR. PROFILE
6"-10"	12"	1 1/2" x 1/4"
12"-48"	12"	2.23" x 1/2"
>48"-96"	12"	3" x 1 1/2" x 1"
>96"	DIB	3" x 1 1/2" x 1"

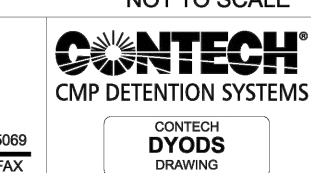
TABLE 2: PERFORATED STANDARD

CMP RETENTION STANDARD BACKFILL SPECIFICATIONS

MATERIAL LOCATION	MATERIAL SPECIFICATION	DESCRIPTION
FILL ENVELOPE WIDTH	PER ENGINEER OF RECORD	MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING. THE SUGGESTED MINIMUM TRENCH WIDTH, OR OUR RECOMMENDATION: PIPE = 12" D + 18" PIPE = 12" 1.5D + 12"
FOUNDATION	AASHTO M 26.5.2 - PER ENGINEER OF RECORD	PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND FOUNDATION BROUGHT BACK TO GRADE WITH A FILL MATERIAL APPROVED BY THE ENGINEER OF RECORD.
BEDDING	AASHTO M 43.3, 357, 4, 467, 5, 56, 57	ENGINEER OF RECORD TO DETERMINE IF BEDDING IS REQUIRED. PIPE MAY BE PLACED ON THE TRENCH BOTTOM OF A RELATIVELY LOOSE, NATIVE SUITABLE WELL GRADED GRANULAR MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, 2" MIN DEPTH. THE BEDDING MATERIAL MAY BE SUITABLE OPEN GRADED GRANULAR BEDDING CONFORMING TO AASHTO SOIL CLASSIFICATIONS A1, A2, OR A3 WITH MAXIMUM PARTICLE SIZE OF 3/8" PER AASHTO 26.3.1.
BACKFILL	FREE DRAINING, ANGULAR, NATURALLY OCCURRING WASHED-STONE PER M 43.3, 357, 4, 467, 5, 56, 57 APPROVED EQUAL.	CORRUGATED METAL PIPE HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION WITHOUT SOFT SPOTS. BACKFILL SHALL BE PLACED IN 8" +/- LOOSE LIFTS AND COMPACTED TO 90% STANDARD PROCTOR PER AASHTO T 99. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO (2) DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHOULD BE ADVANCED ALONG THE LENGTH OF THE SYSTEM TO AVOID DIFFERENTIAL LOADING. WHERE CONVENTIONAL COMPACTION TESTING IS NOT PRACTICAL, THE MATERIAL SHALL BE MECHANICALLY COMPACTION UNTIL NO FURTHER YIELDING OF MATERIAL IS OBSERVED UNDER THE COMPACTOR. AREAS WITH HIGH WATER TABLE FLUCTUATIONS THAT INTERACT WITH THE PIPE ZONE, CONSIDER INSTALLING A GEOTEXTILE SEPARATION LAYER TO PREVENT SOIL MIGRATION.
COVER MATERIAL	UP TO MIN. COVER - AASHTO M 146: A-1, A-2, A-3 ABOVE MIN. COVER - PER ENGINEER OF RECORD	COVER MATERIAL MAY INCLUDE NON-BITUMINOUS, GRANULAR ROADBASE MATERIAL WITHIN MIN COVER LIMITS
RIGID OR FLEXIBLE PAVEMENT (IF APPLICABLE)	PER ENGINEER OF RECORD	FLEXIBLE PAVEMENT SHOULD NOT BE COUNTED AS PART OF THE FILL HEIGHT OVER THE CMP. FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD.
OPTIONAL SIDE GEOTEXTILE	NONE	GEOTEXTILE LAYER IS RECOMMENDED ON SIDES OF EXCAVATION TO PREVENT SOIL MIGRATION.
GEOTEXTILE BETWEEN LAYERS	NONE	IF SOIL TYPES DIFFER AT ANY POINT ABOVE PIPE INVERT, A GEOTEXTILE LAYER IS RECOMMENDED TO BE PLACED BETWEEN THE LAYERS TO PREVENT SOIL MIGRATION.

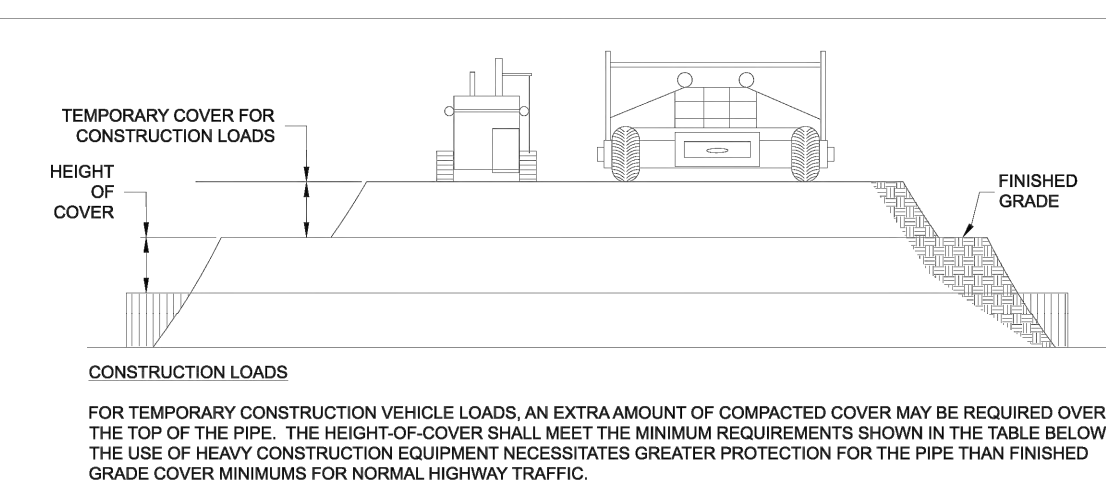
- NOTES:**
- FOR MULTIPLE BARREL INSTALLATIONS, THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE THE PIPE DIAMETER (2) BUT NO LESS THAN 12" FOR DIAMETERS < 72". FOR 72" AND LARGER DIAMETERS, THE MINIMUM SPACING IS 36". CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING.
 - APPROVED REGIONAL EQUIVALENTS FOR SECTION 5 INCLUDE CA-7, MIDD 6A, GA, OR SG, PROVIDED THEY MEET THE PARTICLE SIZES INDICATED.

MANUFACTURER RECOMMENDED BACKFILL



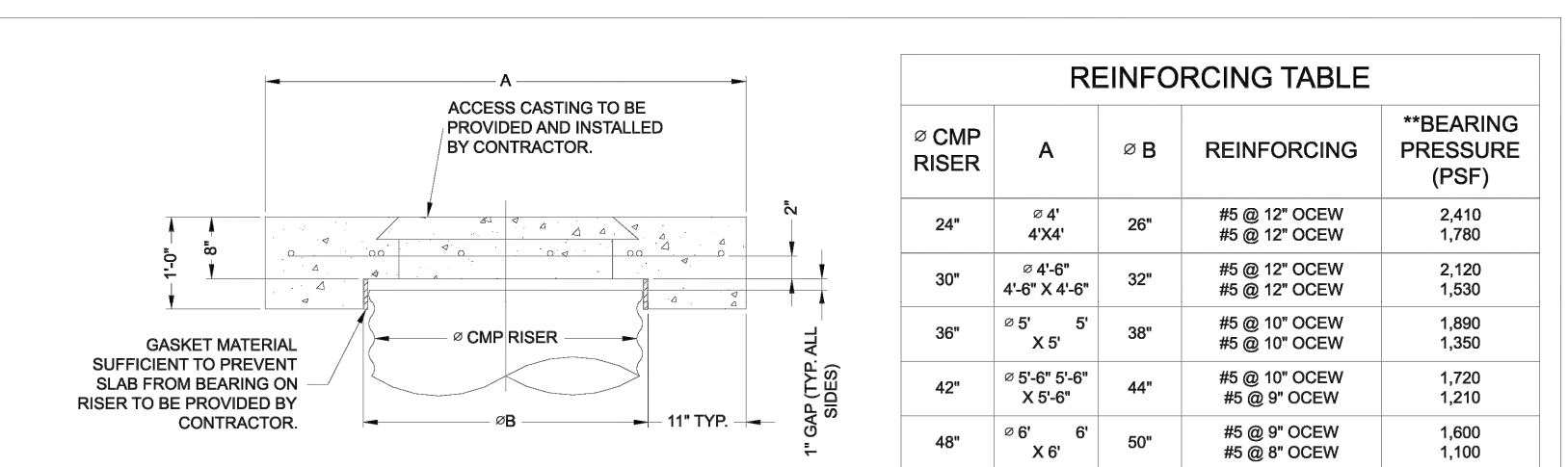
DYO102471 Tiseo - Farmington
 Detention System
 Farmington, MI
 DETENTION SYSTEM

PROJECT NO.	7800	REV. NO.	02/21	DATE	4/18/2026
DESIGNED BY	DYO	DRAWN BY	DYO	CHECKED BY	DYO
APPROVED BY	DYO	DATE			
SHEET NO.					1



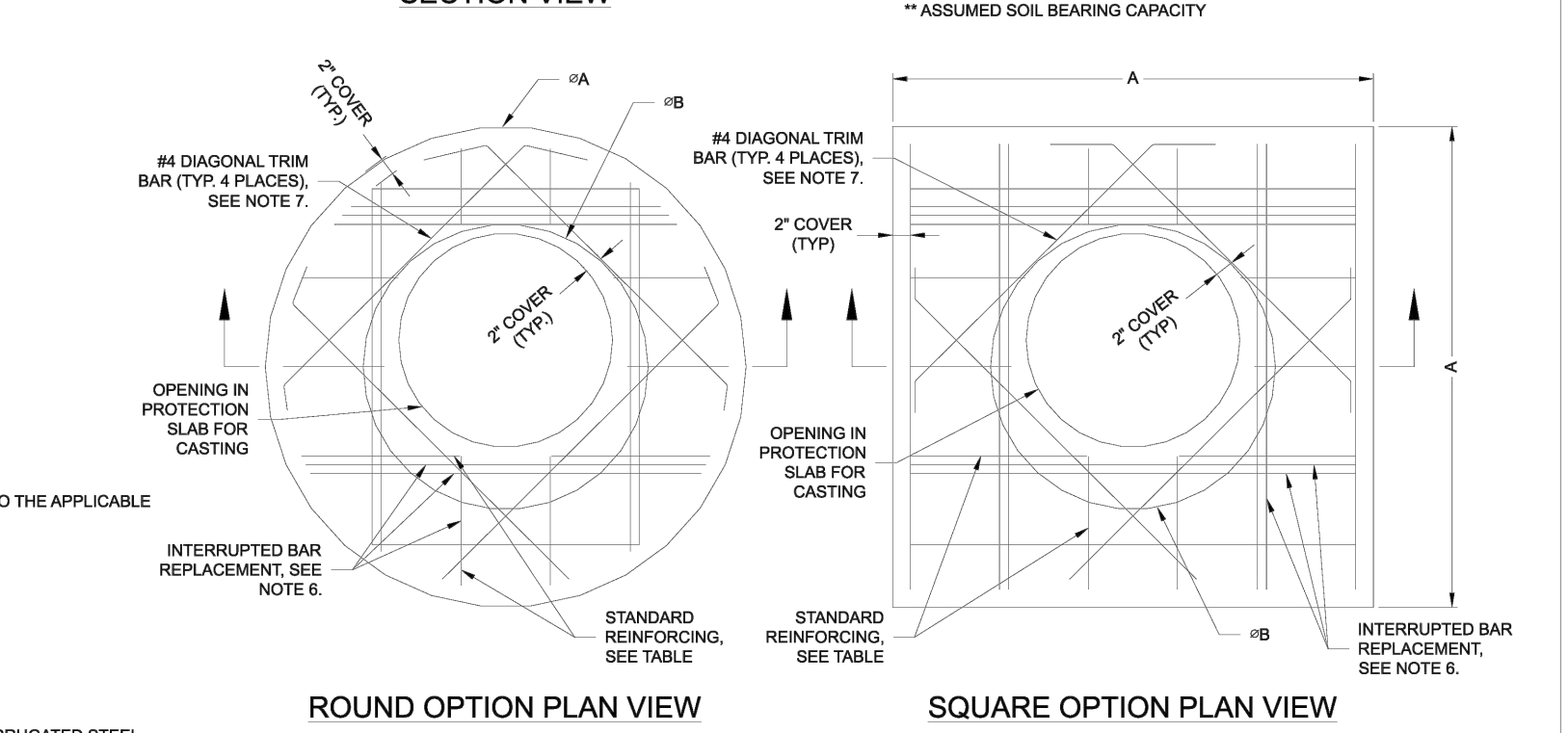
CONSTRUCTION LOADING DIAGRAM
 SCALE: N.T.S.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	16-50	50-75	75-110	110-150
16-50	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
76-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5



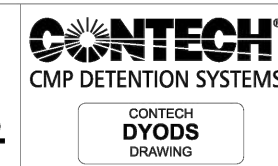
REINFORCING TABLE

Ø CMP RISER	A	B	REINFORCING	**BEARING PRESSURE (PSF)
24"	4"	20"	#5 @ 12" OCEW #5 @ 12" OCEW	2,410 1,760
30"	4" x 4"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
36"	5" x 5"	38"	#5 @ 10" OCEW #5 @ 10" OCEW	1,860 1,350
42"	5" x 6" x 6"	44"	#5 @ 10" OCEW #5 @ 10" OCEW	1,720 1,210
48"	6" x 6"	50"	#5 @ 8" OCEW #5 @ 8" OCEW	1,600 1,100



- NOTES:**
- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
 - DESIGN LOAD HS2S.
 - EARTH COVER = 1' MAX.
 - CONCRETE STRENGTH = 3,500 psi
 - REINFORCING STEEL = ASTM A615, GRADE 60.
 - PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
 - TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
 - PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
 - DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MANHOLE CAP DETAIL
 SCALE: N.T.S.



DYO102471 Tiseo - Farmington
 Detention System
 Farmington, MI
 DETENTION SYSTEM

PROJECT NO.	7800	REV. NO.	02/21	DATE	4/18/2026
DESIGNED BY	DYO	DRAWN BY	DYO	CHECKED BY	DYO
APPROVED BY	DYO	DATE			
SHEET NO.					1

CMP DETENTION INSTALLATION GUIDE
 PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION
 CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION.
 IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPETENT BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS, AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOTEXTILE REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.

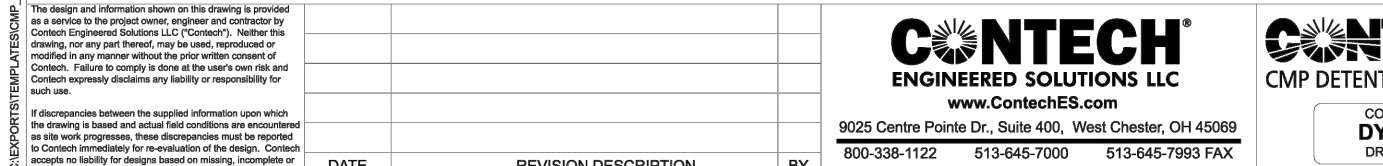
GEOMEMBRANE BARRIER
 THE RESISTIVITY OF A PROJECT SITE MAY CHANGE OVER TIME DUE TO THE USE OF VARIOUS SALTING, DEICING, AND AGRICULTURAL AGENTS APPLIED ON OR NEAR THE AREA. TO MITIGATE THE POTENTIAL IMPACT OF THESE AGENTS, AN HDPE MEMBRANE LAYER WILL BE INSTALLED ON THE CROWN OF EACH PIPE, CREATING AN IMPERMEABLE BARRIER. THIS MEASURE IS DESIGNED TO PROTECT THE SYSTEM FROM ENVIRONMENTAL CHANGES THAT COULD LEAD TO PREMATURE CORROSION AND REDUCE THE OVERALL SERVICE LIFE.

IN-SITU TRENCH WALL
 IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE BEARS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT. PERFORM A SIMPLE SOIL PRESSURE CHECK USING THE APPLIED LOADS TO DETERMINE THE LIMITS OF EXCAVATION BEYOND THE SPRING LINE OF THE OUTER MOST PIPES.
 IN MOST CASES THE REQUIREMENTS FOR A SAFE WORK ENVIRONMENT AND PROPER BACKFILL PLACEMENT AND COMPACTION TAKE CARE OF THIS CONCERN.

BACKFILL PLACEMENT
 MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL-SLICKING, RODDING, AIR TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS.
 GRADE THE FOUNDATION SUBGRADE TO A UNIFORM OR SLIGHTLY SLOPING GRADE. IF THE SUBGRADE IS CLAY OR RELATIVELY NON-POROUS, AND THE CONSTRUCTION SEQUENCE WILL LAST FOR AN EXTENDED PERIOD OF TIME, IT IS BEST TO SLOPE THE GRADE TO ONE END OF THE SYSTEM. THIS WILL ALLOW EXCESS WATER TO DRAIN QUICKLY, PREVENTING SATURATION OF THE SUBGRADE.

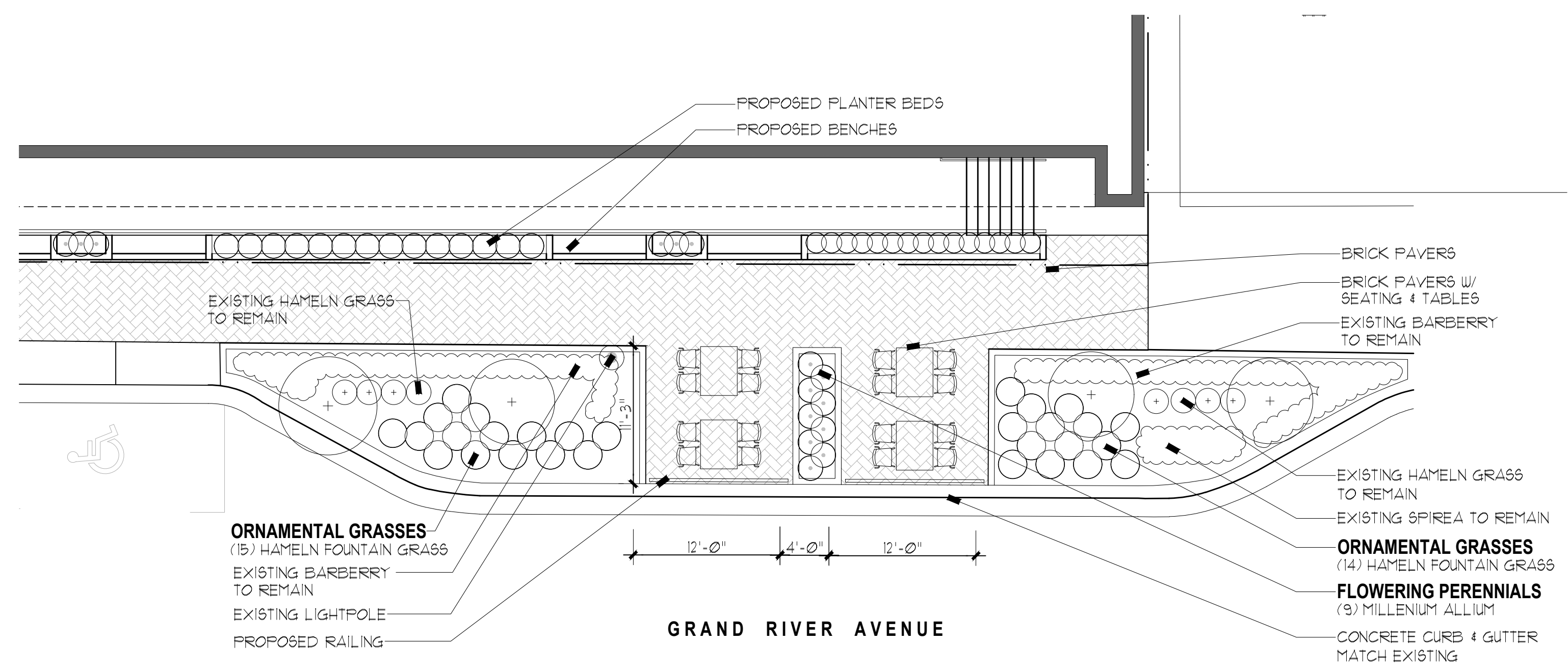
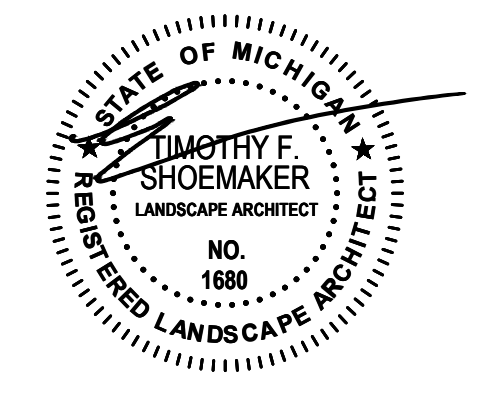
CONSTRUCTION LOADING
 TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H-20 LIVE LOAD. BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS, INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY. SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB, IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

ADDITIONAL CONSIDERATIONS
 BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION, POTENTIALLY CAUSING FLOATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DRAINAGE MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



DYO102471 Tiseo - Farmington
 Detention System
 Farmington, MI
 DETENTION SYSTEM

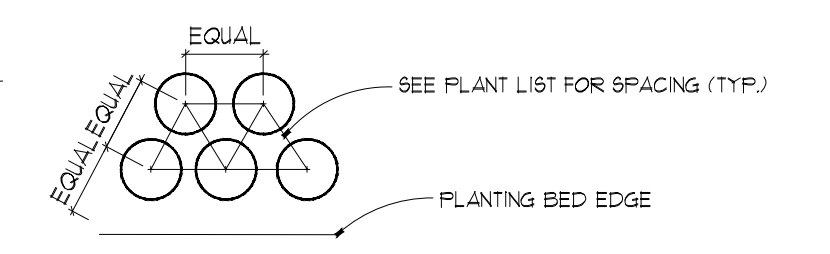
PROJECT NO.	7800	REV. NO.	02/21	DATE	4/18/2026
DESIGNED BY	DYO	DRAWN BY	DYO	CHECKED BY	DYO
APPROVED BY	DYO	DATE			
SHEET NO.					1



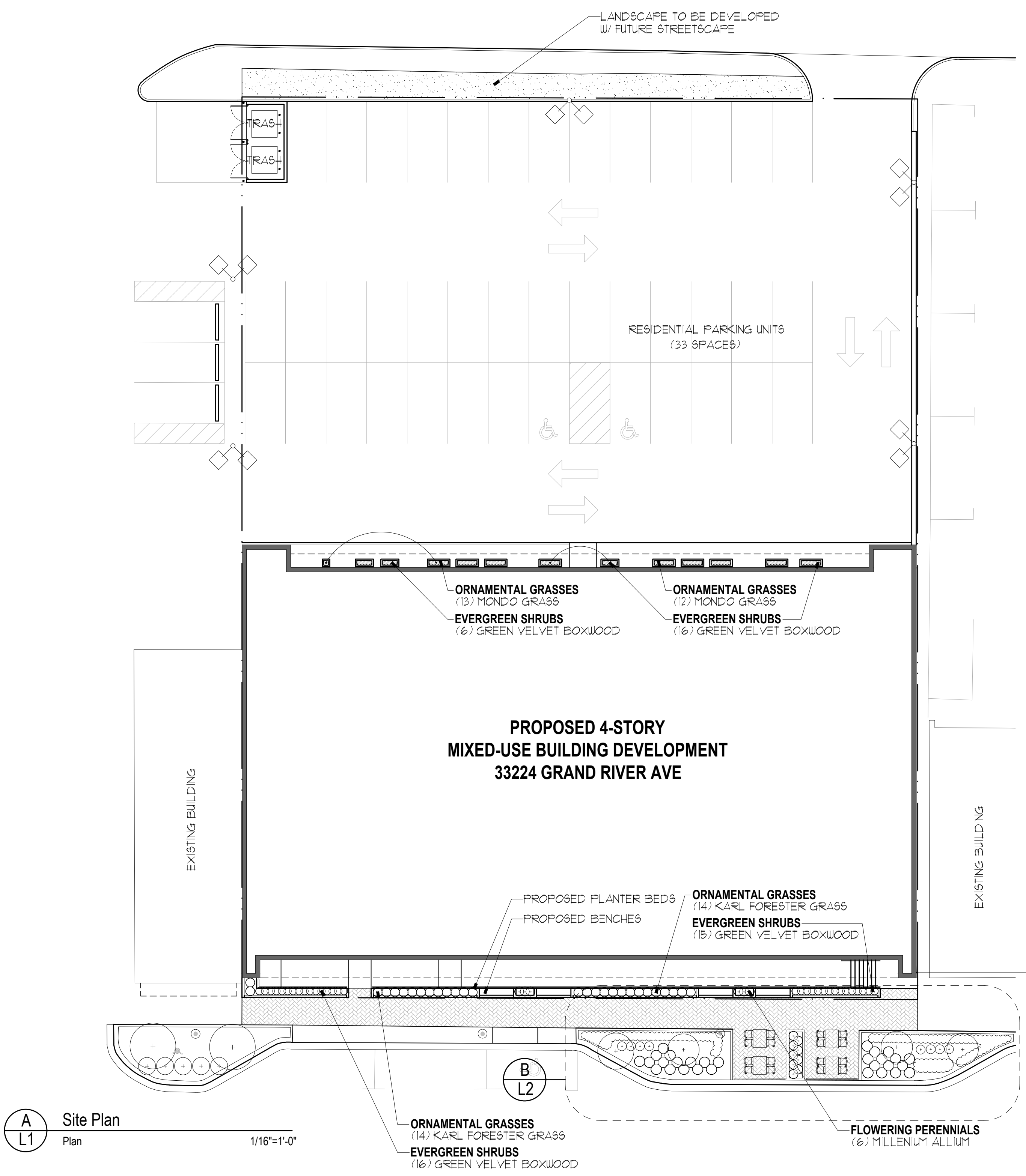
B L2 Enlarged Planting Plan
Plan 1/8"=1'-0"

Qty.	Botanical Name	Common Name	Size	Root	Comments
Ornamental Grasses & Perennials					
29	<i>Fernisetum alopecuroides</i> 'Hameln'	Hameln Fountain Grass	1 gal.	Can	Space 26" o.c.
53	<i>Buxus x microphylla</i> 'Green Velvet'	Green Velvet Boxwood	15-18"	B4B	Space 15" o.c.
12	<i>Allium</i> 'Millenium'	Millenium Ornamental Onion	1 gal.	Can	Space 18" o.c.
28	<i>Calamagrostis x acutiflora</i> 'Karl Forester'	Karl Forester Grass	1 gal.	Can	Space 24" o.c.
25	<i>Ophiopogon japonicus</i> 'Nana'	Dwarf Mondo Grass	1 gal.	Can	Space 15" o.c.
Materials					
3 cy	Shredded pine bark mulch (seasoned), 3" deep in perennial and groundcover beds, 4" depth in shrub/tree beds.				
1 cy	Planting mix - 3 parts well drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss.				

IRRIGATION
Retrofit and adjust existing irrigation to accommodate proposed landscape plantings in ROW beds.
Install new irrigation (drip) for planter bed along building foundation.



Ground Cover / Perennial Planting
Plan No Scale



A L1 Site Plan
Plan 1/16"=1'-0"

THOMAS STREET (40' WIDE)

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	A	4	Lithonia Lighting	DSX0 LED P4 30K 80CRI BLC4	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Type 4 Extreme Backlight Control	7283	0.9	93.04
	B	7	Lithonia Lighting	WDGE2 LED P2 30K 80CRI TFFM	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	1934	0.9	18.9815
	C	8	WAC Lighting	Surface-mounted Luminaires	WS-W17532-3000K	924	0.9	44.2989
	D	1	Lithonia Lighting	DSX0 LED P4 30K 80CRI RCCO	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control	7116	0.9	93.04

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade	+	1.0 fc	7.2 fc	0.0 fc	N/A	N/A	0.1:1
North Entrance	X	4.5 fc	7.2 fc	3.3 fc	2.2:1	1.4:1	0.6:1
Parking	X	2.0 fc	4.4 fc	0.4 fc	11.0:1	5.0:1	0.5:1
South Entrance	X	1.8 fc	5.1 fc	0.4 fc	12.8:1	4.5:1	0.4:1

- General Note**
- SEE SITE PLAN FOR LUMINAIRE MOUNTING HEIGHT, CALLED OUT IN FIXTURE LABEL FOLLOWING FIXTURE LETTER.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
 - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

WAC LIGHTING

Outdoor Wall Sconce 4CCT

Model: WS-W17532-3000K

Finish: White

Material: Aluminum

Weight: 1.2 lbs

Dimensions: 11.5" x 4.5" x 4.5"

Light Output: 924 lumens

Beam Spread: 120°

Color Temperature: 3000K

Dimming: DALI, 0-10V

Warranty: 5 years

D-Series Size 0 LED Area Luminaire

Model: DSX0 LED P4 30K 80CRI BLC4

Finish: White

Material: Aluminum

Weight: 1.2 lbs

Dimensions: 11.5" x 4.5" x 4.5"

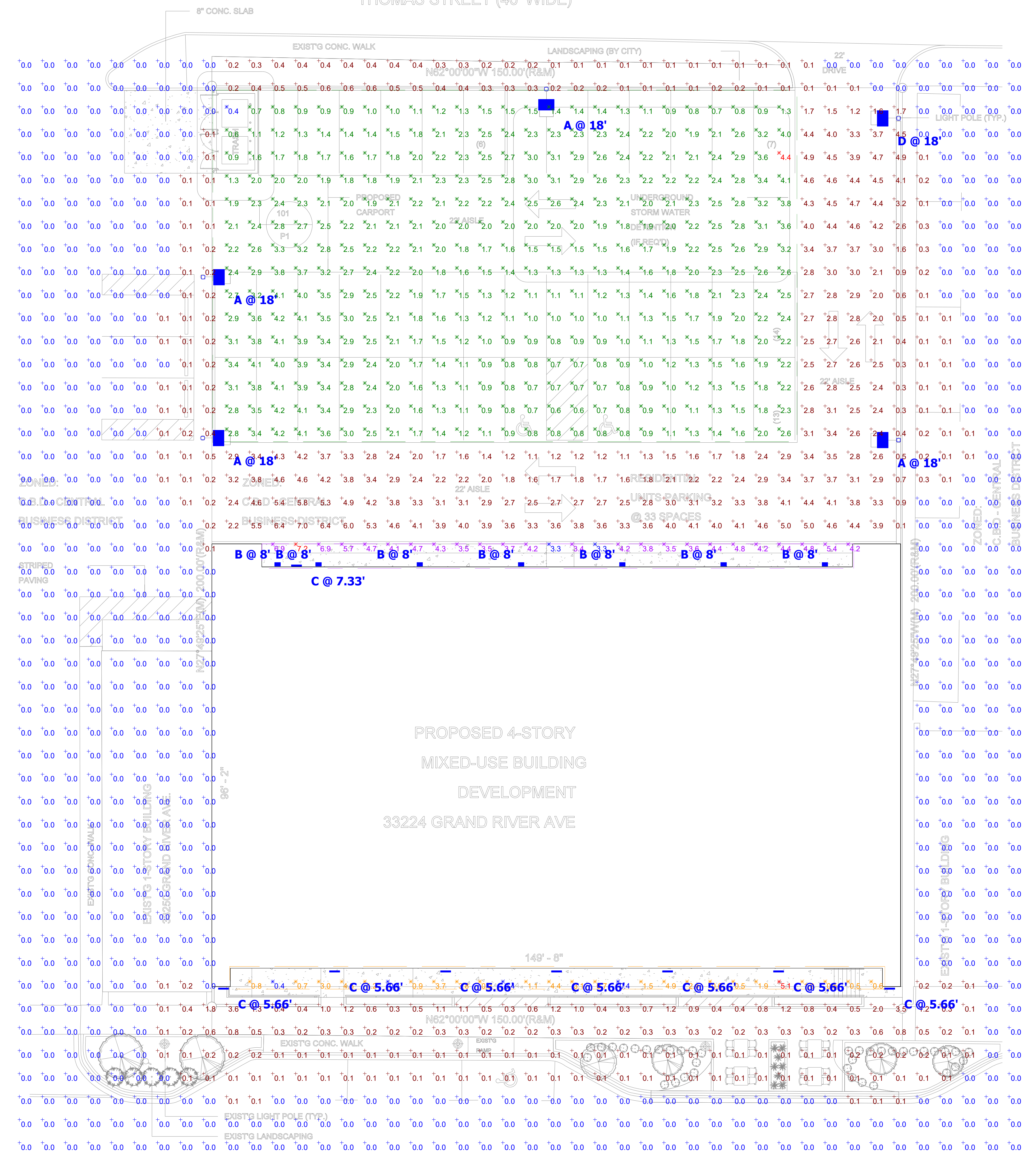
Light Output: 7283 lumens

Beam Spread: 120°

Color Temperature: 3000K

Dimming: DALI, 0-10V

Warranty: 5 years



GRAND RIVER AVENUE (66' WIDE)

ZONED: C.B.D - CENTRAL BUSINESS DISTRICT

Plan View
Scale - 1" = 12ft

NOTE: NOT TO BE USED AS CONSTRUCTION DRAWINGS



FARMINGTON VILLAGE PLACE
 PHOTOMETRIC SITE PLAN
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer: DB
 Date: 05/28/2026
 Scale: Not to Scale
 Drawing No.: QUICK CALC V3
 1 of 1

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Zoning Board of Appeals for the City of Farmington will meet at 7:00 p.m. on Wednesday, July 1, 2026, in the Council Chambers, 23600 Liberty, Farmington, Michigan in accordance with Article XVIII of the Farmington City Code. All property owners within 300 feet of the site in question are being notified.

LOCATION: 33224 Grand River

SIDWELL: 20-23-27-153-021

ZONING: CBD, Central Business District

APPLICANT: Benedetto Tiseo – Developer (Purchase Agreement)

OWNER: Thibault Enterprises Inc.

APPEAL: Owner / Applicant requests a variance for:

1. A variance to section 35.104.A.4 Building Height, The existing grade of the property which slopes downward from west to east has more than 4 feet of fall. The proposed, allowable four (4) story structure will exceed the allowable height of 45 feet by 3.85 feet on the east end of the building. The overall average height increase is 1'11" and as proposed is not in compliance with the City of Farmington Zoning ordinance requiring the variance.
2. Further, the building has a parapet wall that screens roof top equipment. Section 35-42 limits the parapet wall height to Six (6) feet. The requested – proposed elevation has the parapet wall at a height of seven (7) feet, thus they are requesting a One (1) foot Variance to this zoning ordinance section.

This is a Public Hearing, and comments may be directed to the Board during the meeting. When replying by mail, write your comments on the back of this notice and address it to the **City of Farmington, Board of Zoning Appeals, 23600 Liberty Street, Farmington, MI 48335**. All written comments will be read at the meeting and become part of the record.

Jeffrey Bowdell, Building Inspector
Publish: June 14, 2026 in the Oakland Press



AFFIDAVIT OF PUBLICATION

39949 Garfield Rd., Suite D, Clinton Twp., MI 48038

City of Farmington
23600 Liberty St.
Farmington, MI 48335

STATE OF MICHIGAN COUNTY OF OAKLAND

The undersigned, **NOELLE KLOMP** being duly sworn he/she is the principal clerk of **The Oakland Press**, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

33224 Grand River - Jolene Leitner

Published in the following edition(s)

The Oakland Press: 14 Jun 2026

Signature of Principle Clerk

Noelle Klomp

Name of Principle Clerk

Sworn to and subscribed before me this 15 Jun 2026,

**Notary Public, State of Michigan
Acting in Oakland County**

VICKI ARSENAULT
Notary Public - State of Michigan
County of Oakland
My Commission Expires 05/11/2032
Acting in the County of _____

Advertiser Name / ID: City of Farmington / 261172 - Ad ID: 87913-334547 - PO: - Affidavit ID: 26730



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